

AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administrative Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside, California

Thursday 9:30 A.M., August 8, 2019

CHAIR

Steve Manos
Lake Elsinore

VICE CHAIR

Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St, 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14th Floor, Riverside, CA 92501 during normal business hours.

Live Streaming of the meeting will be available during the meeting on our website at www.rcaluc.org.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at basantos@rivco.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 INTRODUCTIONS

1.1 CALL TO ORDER

1.2 SALUTE TO FLAG

1.3 ROLL CALL

2.0 PUBLIC HEARING: CONTINUED ITEMS

None

3.0 PUBLIC HEARING: NEW ITEMS

BANNING AIRPORT

- 3.1 ZAP1034BA19 – AT&T Wireless (Representative: Smartlink, LLC) – City of Banning Case Nos. CUP19-8004 (Conditional Use Permit), DR19-7005 (Design Review). A proposal to establish a 70 foot tall "monopine" wireless communications facility with a 960 square foot equipment shelter area on 2.18 acres located northerly of Ramsey Street, easterly of Phillips Street, southerly of Williams Street and westerly of Hathaway Street (Airport Compatibility Zones C & D of the Banning Municipal Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: **CONDITIONALLY CONSISTENT**

PALM SPRINGS INTERNATIONAL AIRPORT

- 3.2 ZAP1076PS19 – Desert Springs Finance, LLC (Representative: William Spencer) – City of Cathedral City Case Nos. GPA18-003 (General Plan Amendment), CZ18-002 (Change of Zone), CUP18-024 (Conditional Use Permit), TTM37745 (Tentative Tract Map). A proposal to establish a 110 unit multi-family condominium complex with amenities on 7.06 acres, involving a Conditional Use Permit and a Tentative Tract Map, located at the southerly terminus of Landau Boulevard, southerly of Ramon Road, easterly of the Whitewater River/Coachella Valley Stormwater Channel, westerly of Banff Way, and northwesterly of Creekside Apartments. The applicant also proposes amending the City's General Plan designation of the site from Medium Density Residential to High Density Residential and changing the site's zoning from R2 Multiple Family Residential District to R3 Multiple Family Residential District (Airport Compatibility Zone D of the Palm Springs International Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

4.0 ADMINISTRATIVE ITEMS

- 4.1 Director's Approvals
- 4.2 ALUC Commissioner Recusals
- 4.3 Commission Request for Notification of Off-Field Landings
- 4.4 The FAA Glare Policy

5.0 APPROVAL OF MINUTES

July 11, 2019

6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**7.0 COMMISSIONER'S COMMENTS**

Y:\ALUC Agendas\ALUC Commission Agendas\2019 Agendas\ALUCAGDA-8-8-19.doc

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.1

HEARING DATE: August 8, 2019

CASE NUMBER: ZAP1034BA19 – AT&T Wireless (Representative: Smartlink, LLC)

APPROVING JURISDICTION: City of Banning

JURISDICTION CASE NOS: CUP19-8004 (Conditional Use Permit), DR19-7005 (Design Review)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Conditional Use Permit and Design Review be found **CONDITIONALLY CONSISTENT**, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

PROJECT DESCRIPTION: The applicant proposes to establish a 70 foot tall monopine wireless communications facility with a 960 square foot equipment shelter on 2.18 acres.

PROJECT LOCATION: The site is located northerly of Ramsey Street, easterly of Phillips Street, southerly of Williams Street, and westerly of Hathaway Street, in the City of Banning, approximately 1,682 feet westerly of the westerly terminus of Runway 8-26 at Banning Municipal Airport.

LAND USE PLAN: 2004 Banning Municipal Airport Land Use Compatibility Plan, as amended in 2016

- a. Airport Influence Area: Banning Municipal Airport
- b. Land Use Policy: Compatibility Zones C & D
- c. Noise Levels: Below 55 CNEL from aircraft

BACKGROUND:

Non-Residential Intensity: The site is located in Airport Compatibility Zones C and D of the Banning Municipal Airport Influence Area; however, the actual wireless communication facility is

located entirely within Compatibility Zone C, which restricts non-residential intensity to an average of 75 people per acre and 150 people in any given single-acre area. The proposed project is an unmanned wireless facility with no onsite occupancy.

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zones C and D of the Banning Municipal Airport Influence Area.

Noise: The Banning Municipal Airport Land Use Compatibility Plan depicts the site as being located outside the 55 CNEL aircraft noise contour. The project does not propose any uses that would be sensitive to noise, and, therefore, would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 8-26 at its westerly terminus is 2,212 feet above mean sea level (2212 AMSL). At a distance of approximately 1,682 feet from the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 2,228 feet AMSL. The site's elevation is 2,281 feet AMSL and the proposed structure height is 70 feet, for a top point elevation of 2,351 feet AMSL. Therefore, review by the FAA OES is required. Submittal to the FAAOES was made, and Aeronautical Study Number 2019-AWP-7842-OE has been assigned to this project. At the time of writing of this staff report, no determination has been made, but the study is in a "Work in Progress" status.

Open Area: The site is located within Compatibility Zones C and D of the Banning Municipal Airport Influence Area, which requires projects 10 acres or larger to designate 20% of project area for Zone C and 10% for Zone D as ALUC qualifying open area that could potentially serve as emergency landing areas. Since the overall project size is less than 10 acres, the open area requirement is not applicable to this project.

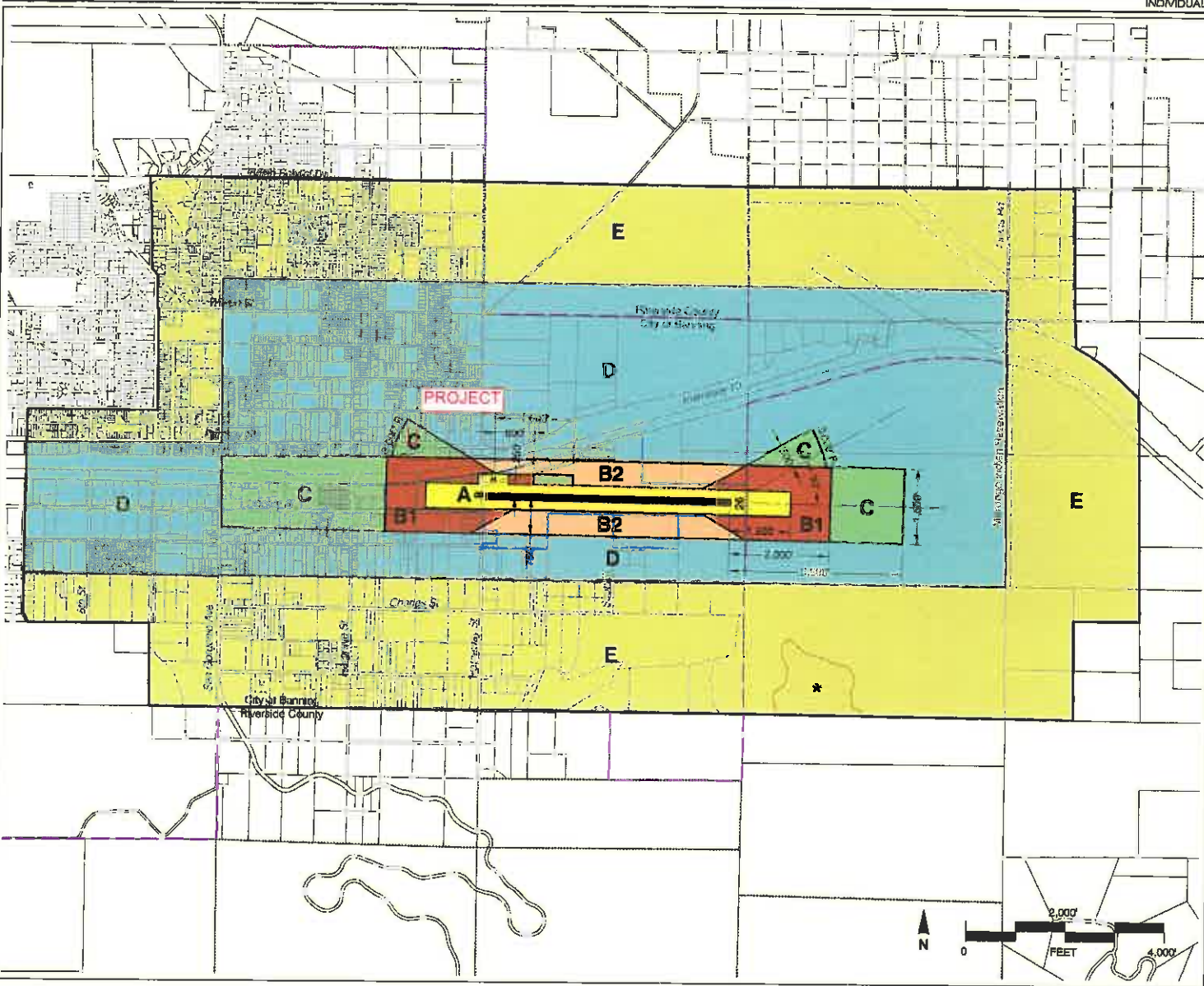
CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

- (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, and nursing homes.
3. The attached notice shall be given to all prospective purchasers and/or tenants of the property, and shall be recorded as a deed notice.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits
 - Mojave Indian Reservation

Note
Dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

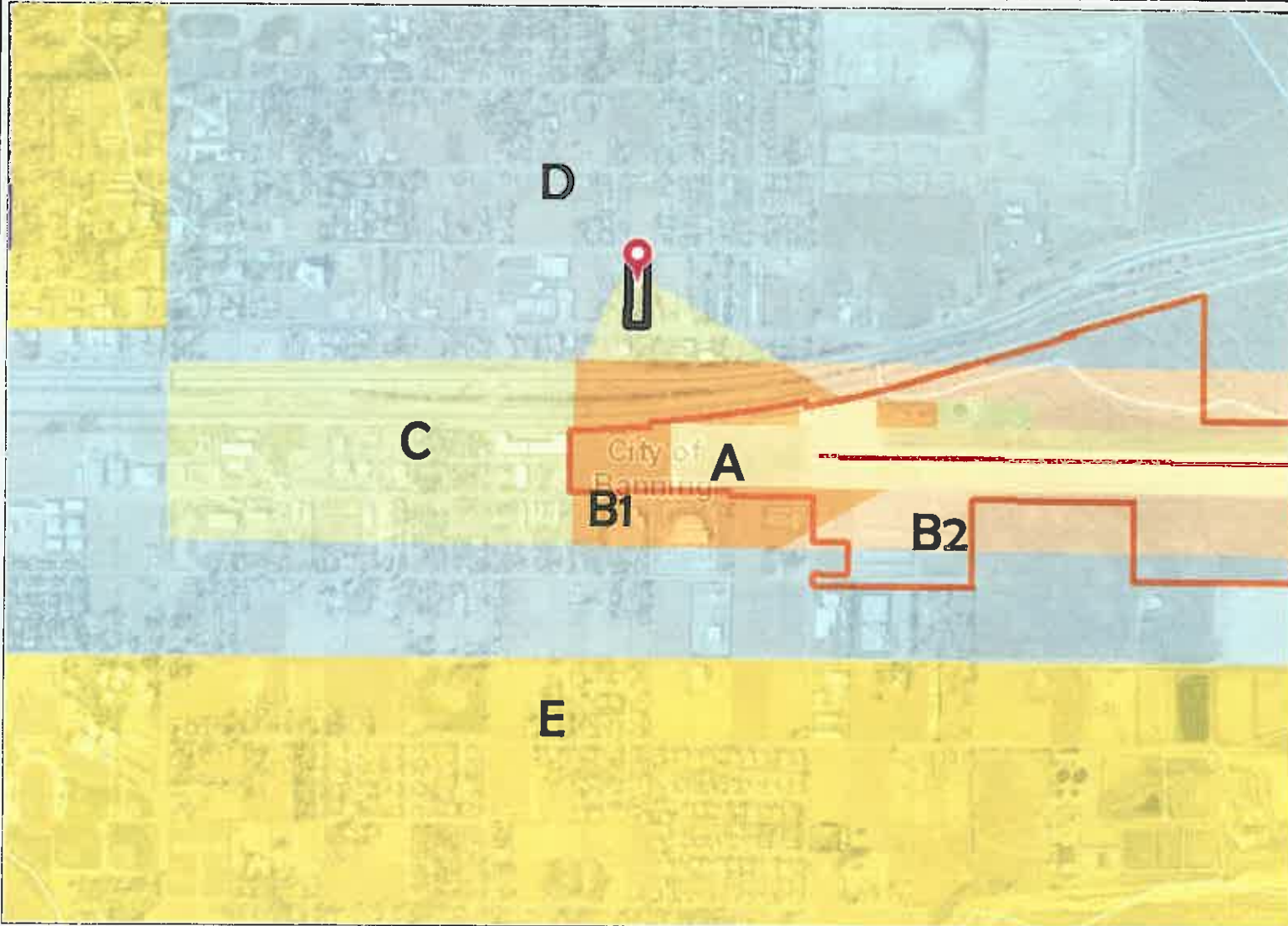
Riverside County
 Airport Land Use Commission
**Riverside County
 Airport Land Use Compatibility Plan
 Policy Document**
 (Adopted October 2004)

Map BN-1

Compatibility Map
 Banning Municipal Airport

BNG-compatibility

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

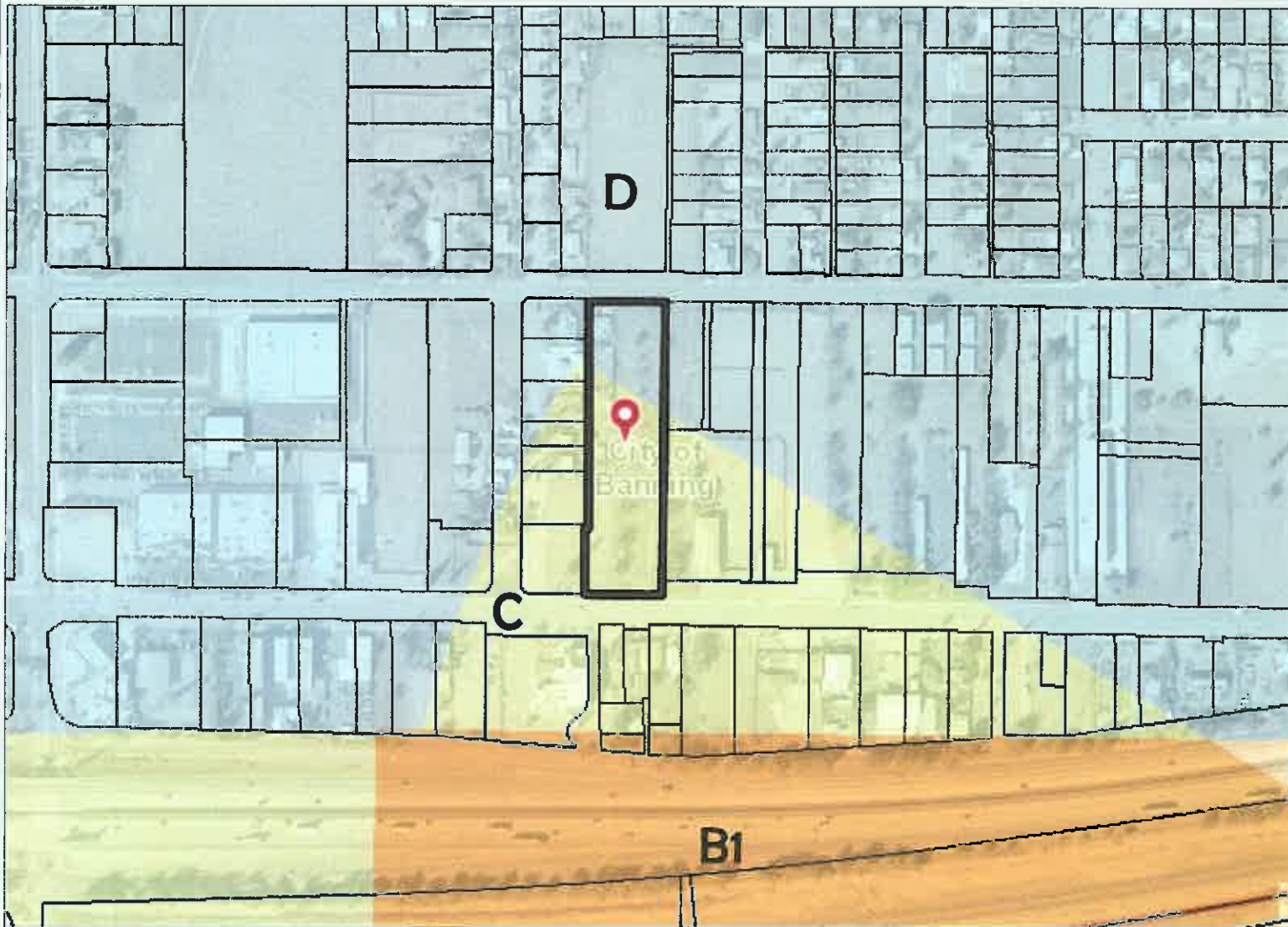


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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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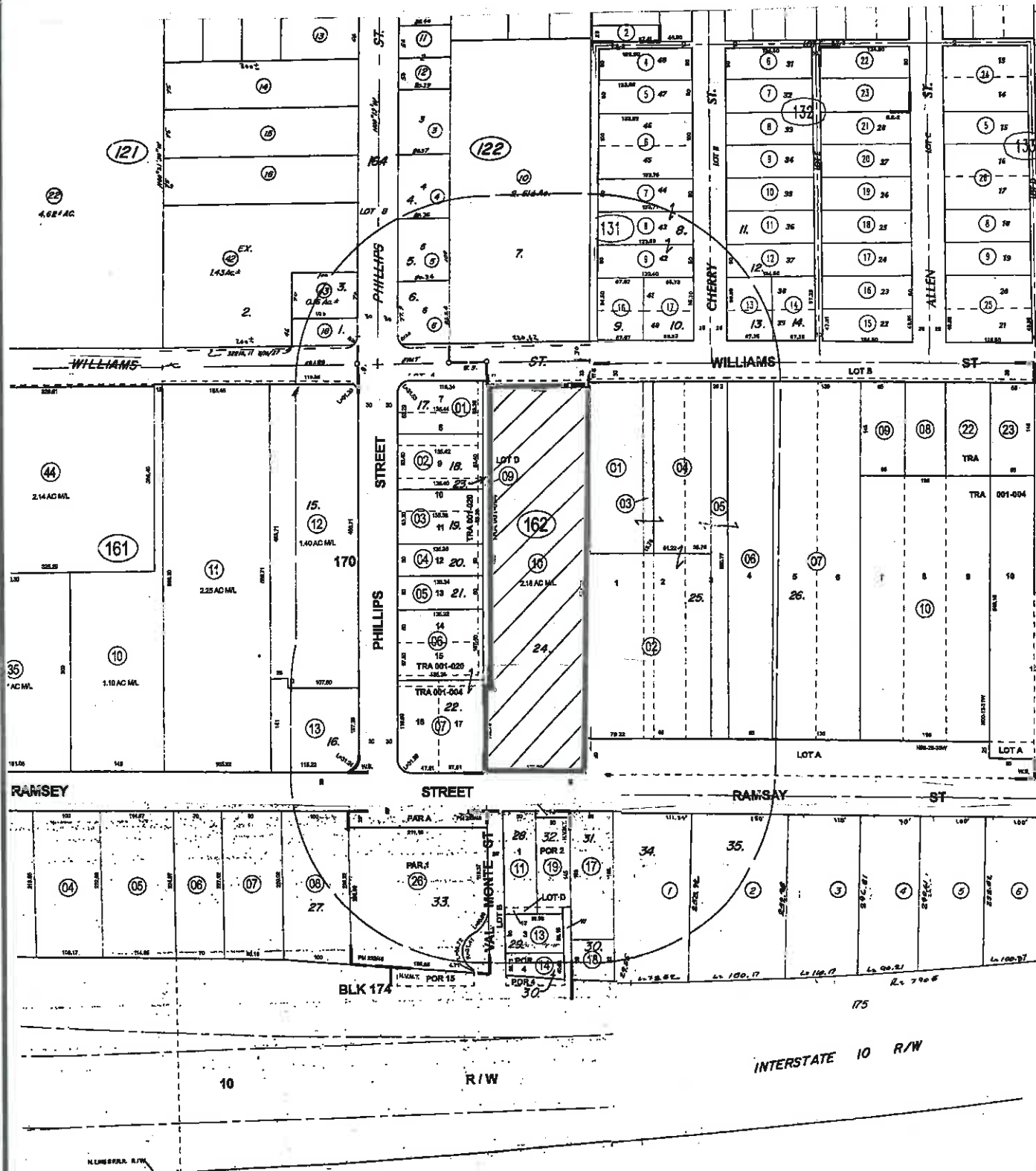
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Notes

CITY OF BANNING



300' RADIUS MAP

GC MAPPING SERVICE, INC.

3055 WEST VALLEY BOULEVARD
 ALHAMBRA CA 91803
 (626) 441-1080, FAX (626) 441-8850
 gcmapping@radiusmaps.com

LEGEND

- 24. OWNERSHIP NO.
- 1 OWNERSHIP HOOK

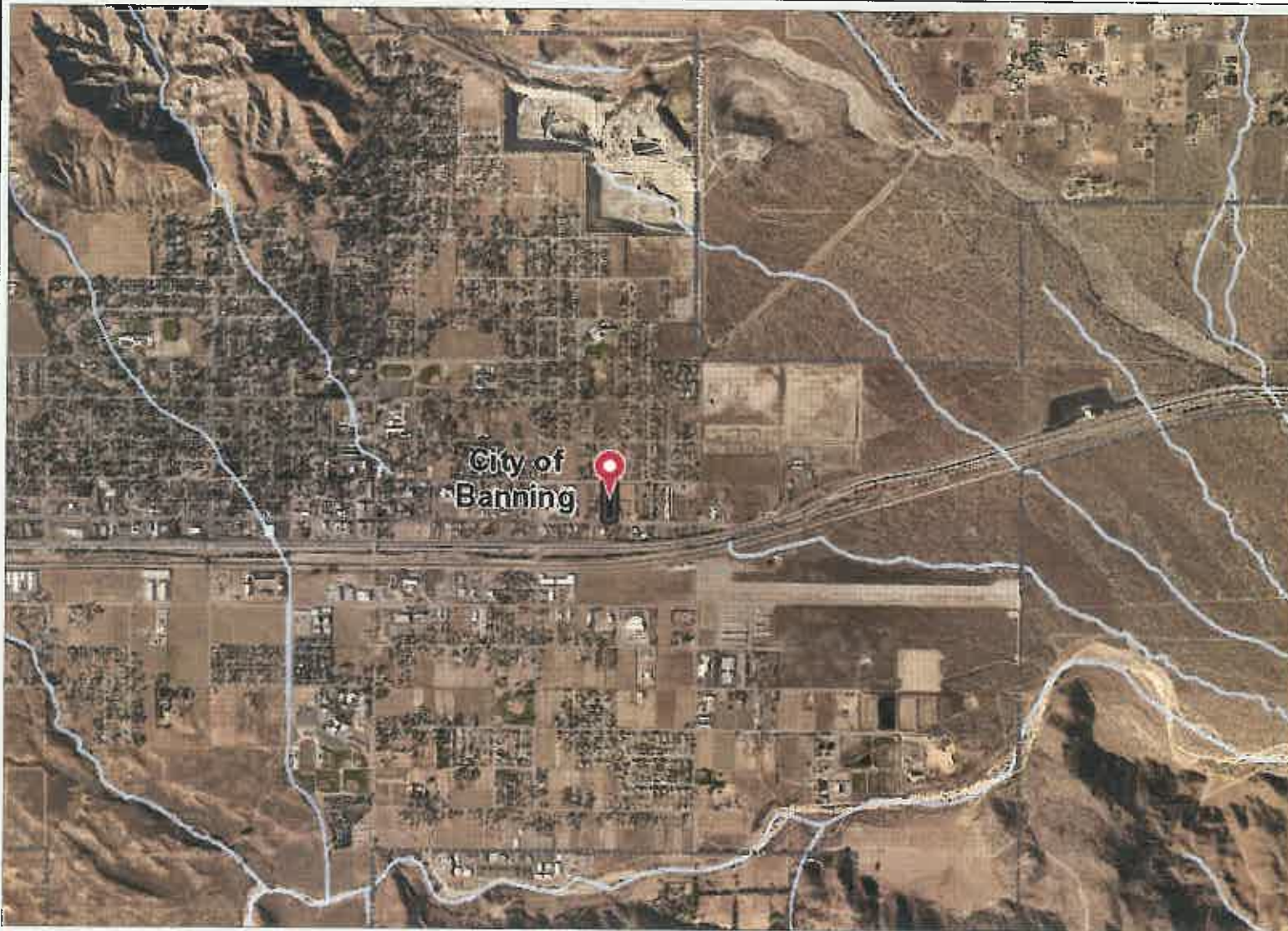
CASE NO.

DATE: 05 - 31 - 2019

SCALE: 1" = 100'

OWNERSHIP MAP

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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032

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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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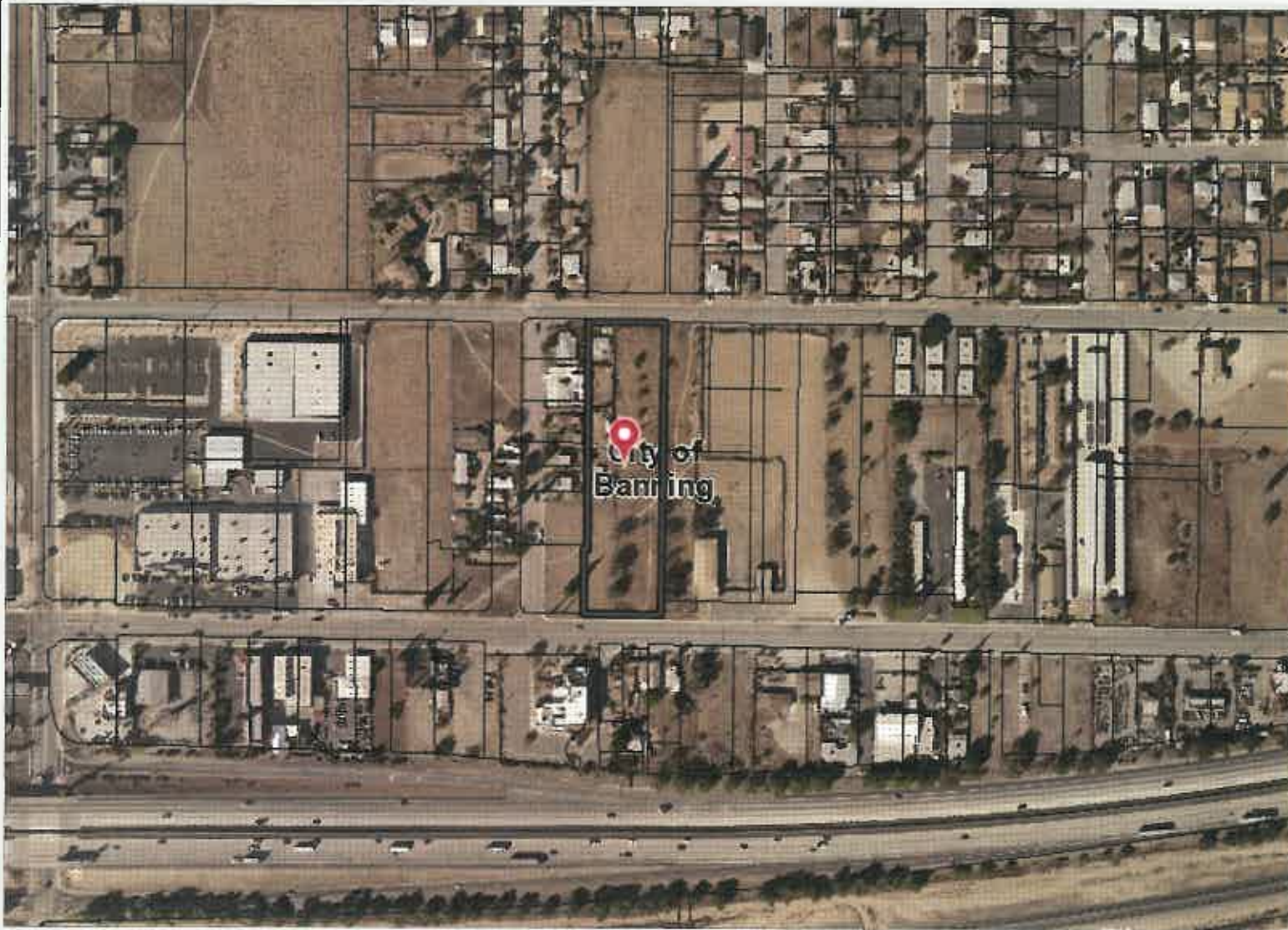
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Notes

Map My County Map



Legend

-  Parcels
-  Blueline Streams
-  City Areas
-  World Street Map



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0 379 758 Feet

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Notes

CODE COMPLIANCE

ALL WORKS AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 1. 2018 CALIFORNIA BUILDING CODE
- 2. 2018 CALIFORNIA ELECTRICAL CODE
- 3. 2018 CALIFORNIA FIRE CODE
- 4. 2018 CALIFORNIA MECHANICAL CODE
- 5. 2018 CALIFORNIA PLUMBING CODE
- 6. 2018 CALIFORNIA ENERGY CODE
- 7. COUNTY COASTAL ZONE LAND USE ORDINANCE/TITLE 22
- 8. COUNTY FIRE CODE ORDINANCE - TITLE 18
- 9. COUNTY LAND USE ORDINANCE - TITLE 22
- 10. COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 18

PROJECT TEAM

CLIENT REPRESENTATIVE

COMPANY: SMARTLINK LLC
 ADDRESS: 3300 IRVINE AVENUE, SUITE 300
 CITY/STATE/ZIP: NEWPORT BEACH, CA 92660
 CONTACT: ALEXIS DUNLAP
 PHONE: (949) 859-7312
 EMAIL: alexis.dunlap@smartlink.com

CONSTRUCTION MANAGER

COMPANY: BECHTEL COMMUNICATIONS, INC.
 ADDRESS: 1800 S WASHINGTON AVENUE, SUITE 225
 CITY/STATE/ZIP: IRVINE, CA 92614
 CONTACT: KEN WANG
 PHONE: (714) 940-2851
 EMAIL: ken.wang@bechtel.com

SITE ACQUISITION

COMPANY: SMARTLINK LLC
 ADDRESS: 3300 IRVINE AVENUE, SUITE 300
 CITY/STATE/ZIP: NEWPORT BEACH, CA 92660
 CONTACT: ALEXIS DUNLAP
 PHONE: (949) 859-7312
 EMAIL: alexis.dunlap@smartlink.com

ATT PROJECT MANAGER

COMPANY: AT&T
 ADDRESS: 3072 ADAMS
 CITY/STATE/ZIP: RIVERSIDE, CA 92504
 CONTACT: BOB STURTEVANT
 PHONE: (714) 475-7288
 EMAIL: bobst@att.com

ZONING

COMPANY: SMARTLINK LLC
 ADDRESS: 3300 IRVINE AVENUE, SUITE 300
 CITY/STATE/ZIP: NEWPORT BEACH, CA 92660
 CONTACT: WILL KOZUM
 PHONE: (949) 859-7227
 EMAIL: will.kozum@smartlink.com

APPLICANT

COMPANY: AT&T
 ADDRESS: 3072 ADAMS
 CITY/STATE/ZIP: RIVERSIDE, CA 92504
 CONTACT: BOB STURTEVANT
 PHONE: (714) 475-7288
 EMAIL: bobst@att.com

ENGINEER

COMPANY: CASA INDUSTRIES, INC.
 ADDRESS: 8928 PROMER BLVD #106
 CITY/STATE/ZIP: SANTA FE SPRINGS, CA 90670
 CONTACT: JULIUS SANTIAGO
 PHONE: (714) 958-8880
 EMAIL: jsantiago@casaand.com

RF ENGINEER

COMPANY: AT&T
 ADDRESS: 1482 EDINGER AVE
 CITY/STATE/ZIP: TUSTIN, CA 92780
 CONTACT: TAREX OUAZZANI
 PHONE: (714) 291-1111
 EMAIL: t1912@att.com

SITE INFORMATION

APPLICANT / LESSEE



Your world. Delivered

1482 EDINGER AVE 3RD FLOOR
 TUSTIN, CALIFORNIA 92780

PROPERTY OWNER

NAME: KRISTAL PEREZ ORLIZ
 CONTACT: JOHN COCHRAN - BUSINESS MANAGER FOR KRISTAL ORLIZ
 ADDRESS: 130 E RAMSEY STREET
 CITY/STATE/ZIP: BANNING, CA 92220
 PHONE: (951) 753-5118
 EMAIL: Cocchrans@csz.com | jpcocchrans@att.com

LATITUDE: 33° 52' 32.267" (33.875611)
 LONGITUDE: -117° 51' 50.687" (-117.863877)
 LAT/LONG TYPE: NAD 83
 GROUND ELEVATION: 2281.7 F AMSL
 ABOVE GROUND LEVEL: 707 A.G.L.
 APN#: 841-082-0104
 AREA OF CONSTRUCTION: 992 SQ. FT.
 ZONING JURISDICTION: CITY OF BANNING
 CURRENT ZONING: SF - BUSINESS PARK
 PROPOSED USE: UNIMANNED TELECOMMUNICATIONS FACILITY
 HANDICAP REQUIREMENTS: FACILITY IS UNIMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.



AT&T

Your world. Delivered

SITE NUMBER: CSL04820 - NSB

FA#: 11553757

USID#: 259139

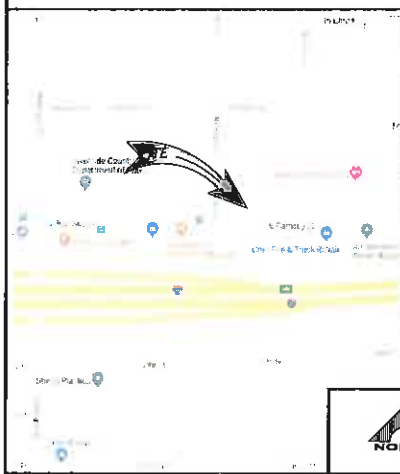
SITE NAME: CRUZ TIRE SHOP

1233 E RAMSEY STREET,

BANNING, CA 92220

RIVERSIDE COUNTY

VICINITY MAP



LOCAL MAP



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:
 HEAD NORTHWEST TOWARD EDINGER AVE, TURN LEFT TOWARD EDINGER AVE, TURN RIGHT ONTO EDINGER AVE, USE THE LEFT 2 LANES TO TURN LEFT ONTO DEL AHO AVE, USE THE RIGHT 2 LANES TO TAKE THE RAMP ONTO CA-66 N/STATE RTE 25 N, MERGE ONTO CA-55 N/STATE RTE 25 N, MERGE ONTO CA-31 E, USE THE RIGHT 2 LANES TO TAKE EXIT 85 B FOR CA-80 E/1-215 E TOWARD SAN DIEGO/INDIO, MERGE ONTO CA-40 E, CONTINUE ONTO CA-60 E/1-215 S, KEEP LEFT AT THE FORK TO CONTINUE ON CA-80 E, USE ANY LANE TO TAKE THE INTERSTATE 10 S EXIT, MERGE ONTO I-10 E, TAKE EXIT 101 FOR HARVINE ST, TURN LEFT ONTO HARVINE ST, TURN RIGHT AT THE JAG CROSS STREET ONTO E RAMSEY ST.

LEGAL DESCRIPTION

SEE SURVEY FOR LEGAL DESCRIPTION



APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

DISCIPLINE	SIGNATURE	DATE
AT&T RF ENGINEER		
AT&T OPERATIONS		
SITE ACQUISITION		
CONSTRUCTION MANAGER		
PROPERTY OWNER		
ZONING VENDOR		
PROJECT MANAGER		

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWING
 SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

GENERAL NOTES

THE FACILITY IS UNIMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FROM MONTHLY MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL STORAGE IS PROPOSED.

**PROJECT DESCRIPTION
 (INDOR EQUIPMENT/W/C CABINET)**

- THE SCOPE WILL CONSIST OF THE FOLLOWING:
- INSTALL 1 (P) 20'-0" HIGH MONOPINE.
 - INSTALL 1 (P) 8' HIGH CHAIN LINK ENCLOSURE.
 - INSTALL 1 (P) 8'-0" X 6'-0" W.C. ON HELICAL PILES.
 - INSTALL 1 (P) 3000 GENERATOR DIESEL GENERATOR ON CONCRETE PAD.
 - INSTALL 1 (P) DC POWER RACK.
 - INSTALL 1 (P) FE RACK.
 - INSTALL (P) UTILITY CABINETS.
 - INSTALL 1 (P) GPS ANTENNA.
 - INSTALL 2 (P) DC-12 OUTDOOR UNITS.
 - INSTALL 12 (P) 8' PANEL ANTENNAS (4 PER SECTION).
 - INSTALL 28 (P) LTE RISES AT ANTENNA LEVEL (12 PER SECTION).
 - INSTALL 4 (P) DC-9 SURGE SUPPRESSORS (SOUND).
 - INSTALL 1 (P) 2' x 4' NY ANTENNA.
 - TOTAL LEASE AREA - 880 SQ.FT.

DRAWING INDEX

SHEET NO.	TITLE SHEET
T-1	TITLE SHEET
LS-1	SITE SURVEY
LS-2	SITE SURVEY
A-1	USE PLAN AND DETAILED SITE PLAN
A-2	CONCRETE/ANTENNA PLAN AND ANTENNA/RFU SCHEDULE
A-3	ELECTRICAL
A-4	ELECTRICAL



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PRELIMINARY & CONFIDENTIAL. TO AVOID UNLAWFUL REUSE OR REPRODUCTION, ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AGENCY BUSINESS IS STRICTLY PROHIBITED.



3300 IRVINE AVENUE, SUITE 300
 NEWPORT BEACH, CA 92660
 TEL: (949) 387-1285
 FAX: (949) 387-1275



8928 PROMER BLVD #106
 SANTA FE SPRINGS, CALIFORNIA 90670

REV	DATE	DESCRIPTION
0	05/05/19	ISSUE DURING DRAWING
1	07/18/19	ISSUE DURING DRAWING

NOT TO BE USED FOR CONSTRUCTION

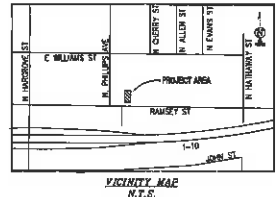
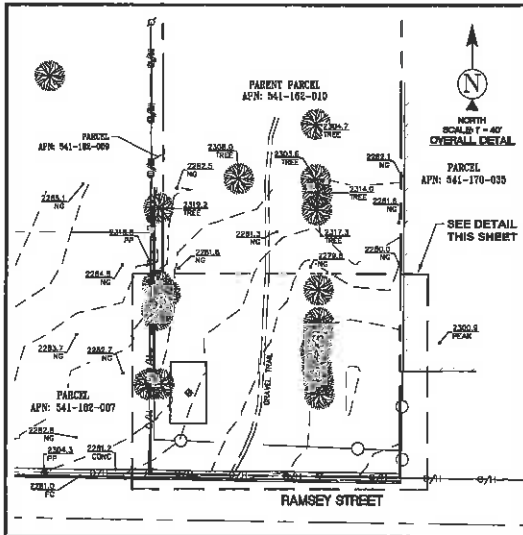
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CSL04820
 CRUZ TIRE SHOP
 1233 E RAMSEY STREET,
 BANNING, CA 92220
 MONOPINE (INDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
 TITLE SHEET

SHEET NUMBER:
 T-1



LEGEND

AP	ASPHALT	AS NOTED
CLP	CHAIN LINK FENCE	
CONC	CONCRETE	
D/W	ACCESS DRIVEWAY	
EDR	EDGE OF DIRT ROAD	
EP	EDGE OF PAVEMENT	
FC	FACE OF CURB	
NG	NATURAL GRADE	
N/W	NOISE WALL	
LP	LIGHT POLE	
TREE	TREE	
U/M	UTILITY MANHOLE	
U/P	UTILITY POLE	
LC	LEASING CONTRACT	
DLF	CHAIN LINK FENCE	
O/H	OVERHEAD LINES	
SC	STREET CENTERLINES	
RL	RIGHT OF WAY LINES	
SP	SUBJECT PROPERTY LINE	
APL	ADJACENT PROPERTY LINE	
EL	EASEMENT LINES	
SL	SETBACK LINES	
UL	UTILITY LINES	
ML	MARK CONTOUR INTERVAL	
LI	LINE CONTOUR INTERVAL	

POSITION OF GEODETIC COORDINATES
 LATITUDE 33° 56' 32.00" (33.925511°) NORTH (NAD83)
 LONGITUDE 115° 51' 50.84" (115.864067°) WEST (NAD83)
 GROUND ELEVATION @ 2281.1' (NAVD83)

SURVEY DATE
 05/04/2019

BASIS OF BEARING
 BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE SIX, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK
 PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS GEOD 128 MOODED SEPARATIONS TO ELIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE "CITY" REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD83.

GRID-TO-GROUND SCALE FACTOR NOTE
 ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99985845

FLOOD ZONE
 THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X" ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #0806500536C, DATED 8/28/2008

UTILITY NOTES
 SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

SURVEYOR'S NOTES
 REFERENCE IS MADE TO COMMONWEALTH LAND TITLE INSURANCE COMPANY ORDER NO. 92006572-820-CMM-CMB, DATED APRIL 25, 2018. ALL EASEMENTS CONTAINED WITHIN SAID GUARANTEE AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. ITEMS A-C & 3-5 ARE NOT SURVEY RELATED ITEMS.

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, GRANTED TO: SOUTHERN SIERRAS POWER COMPANY, A CORPORATION. PURPOSE: PUBLIC UTILITIES. RECORDING DATE: JANUARY 10, 1935. RECORDING NO. IN BOOK 212, PAGE 250 OF OFFICIAL RECORDS. AFFECTS: A PORTION OF SAID LAND (AS SHOWN ON SURVEY).
- AN EASEMENT WHICH IS RESERVED IN FAVOR OF THE OWNERS OF THE REAL PROPERTY ADJOINING SAID REAL PROPERTY ON THE EAST, THEIR HEIRS AND ASSIGNS TO THE JOINT USE OF THE PRESENT SEWER CONNECTION CONNECTING SAID PROPERTIES TO THE SEWER SYSTEM OF THE CITY OF BANNING, AS RESERVED IN DEED FROM W.L. FORBES AND NOVA FORBES, HUSBAND AND WIFE AND R.T. FORBES AND LEAH FORBES, HUSBAND AND WIFE TO WILLIAM L. SMITH AND ROSA SMITH, HUSBAND AND WIFE RECORDED MARCH 3, 1945 IN BOOK 053, PAGE 390 OF OFFICIAL RECORDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD. (NOT SHOWN - EXCEPTION INDETERMINATE)

SURVEYOR'S NOTES
 SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

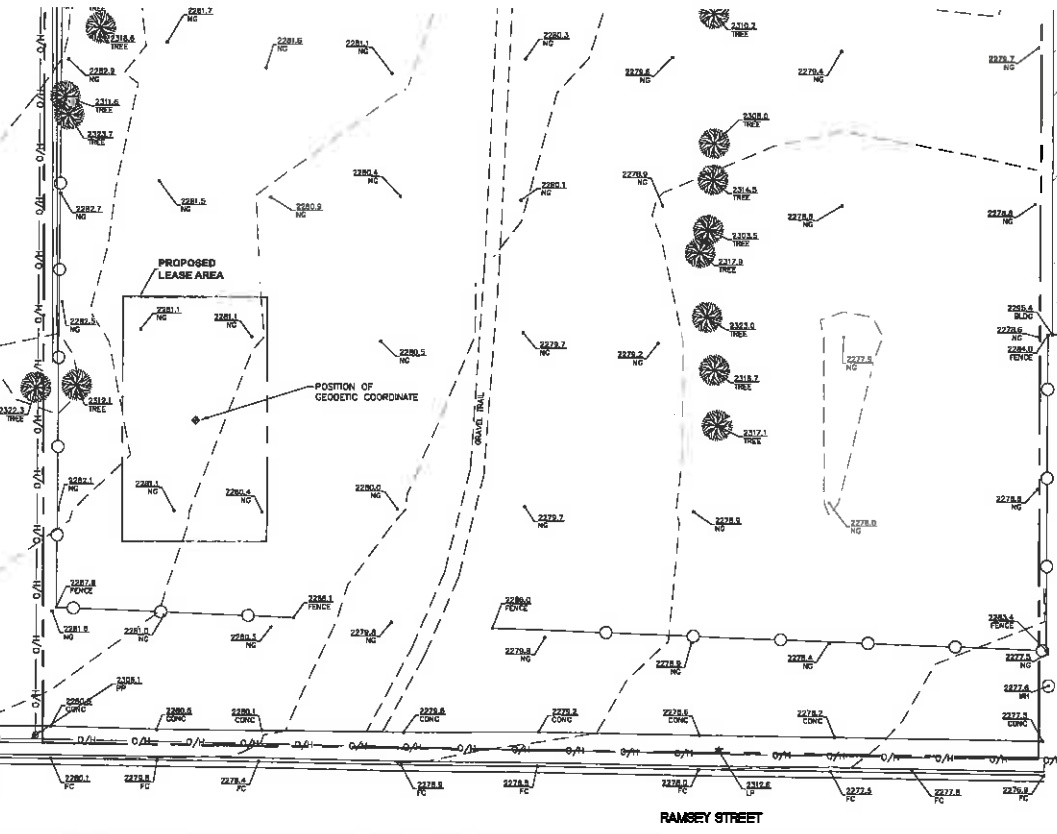
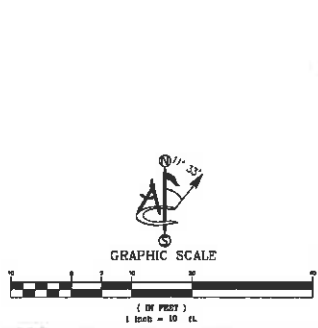
ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS AND FOLLOW THE CURRENT NATIONAL MAP STANDARDS FOR VERTICAL ACCURACY.

LESSOR'S LEGAL DESCRIPTION
 THAT PORTION OF BLOCK 170 OF BANNING COLONY LAND, IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 3, PAGE 148 OF MAPS, SAN DIEGO COUNTY RECORDS, LYING EASTERLY OF THE EASTERLY LINE OF WANLAN SUBDIVISION AS SHOWN BY MAP ON FILE IN BOOK 18, PAGE 7 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THE NORTHERLY 30 FEET GRANTED TO THE CITY OF BANNING FOR HIGHWAY PURPOSES BY DEED RECORDED AUGUST 10, 1932 IN BOOK 344, PAGE 48 OF OFFICIAL RECORDS, RIVERSIDE COUNTY.

ALSO EXCEPTING THEREFROM ANY PORTION THEREOF INCLUDED IN RAMSEY STREET ON THE SOUTH.



ambit consulting
 410 E. SOUTHERN AVE. TEMPE, AZ 85282
 PH. (480) 658-4072

CASA
 9828 PIONEER BLVD. #105
 SANTA FE SPRINGS, CALIFORNIA 90707

REV	DATE	DESCRIPTION
1	05/14/19	ADD TITLE (0.0)
A	05/06/19	INITIAL ISSUE

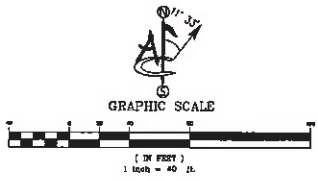
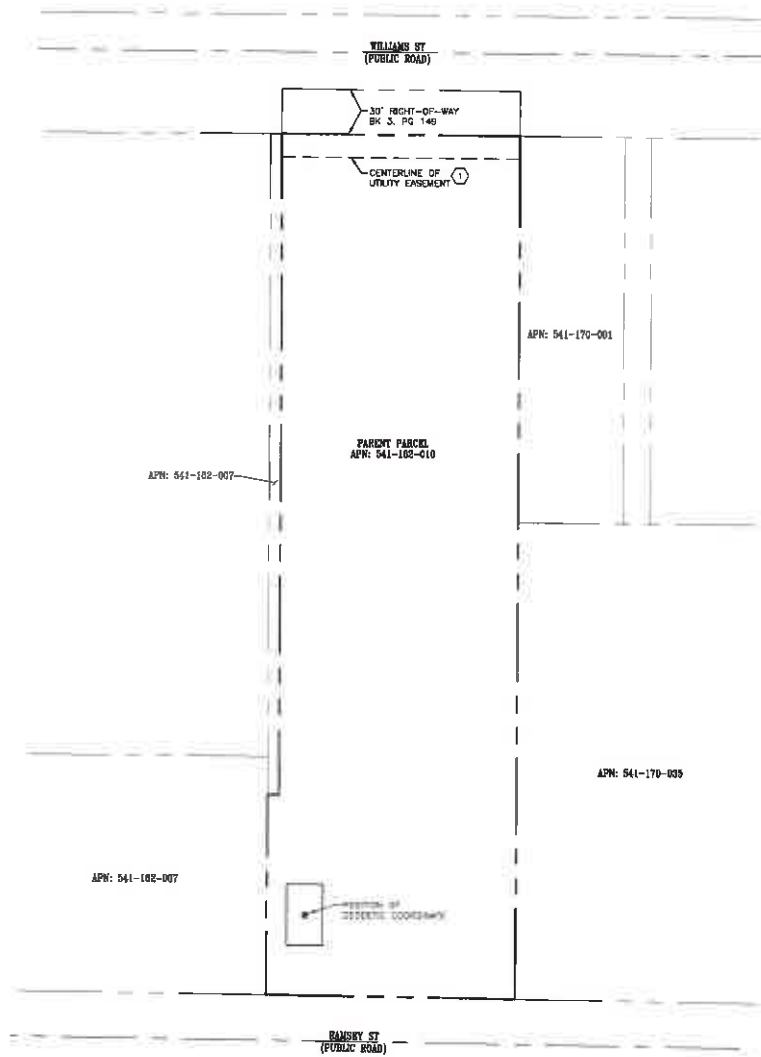
PRELIMINARY
 NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE NOTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL SURVEYOR, TO ALTER THIS DOCUMENT.

CSL04920
 1233 RAMSEY STREET
 BANNING, CA 92220

SHEET TITLE
 SITE SURVEY

SHEET NUMBER
 LS-1



ambit consulting
410 E. SOUTHERN AVE. TEMPE, AZ 85282
PH. (480) 638-4072

CASA
3928 FRONTIER BLVD. #105
SANTA FE SPRINGS, CALIFORNIA 90909

REV	DATE	DESCRIPTION
1	06/14/18	ADD TITLE (LD)
A	02/26/18	INITIAL ISSUE

**PRELIMINARY
NOT TO BE USED
FOR CONSTRUCTION**

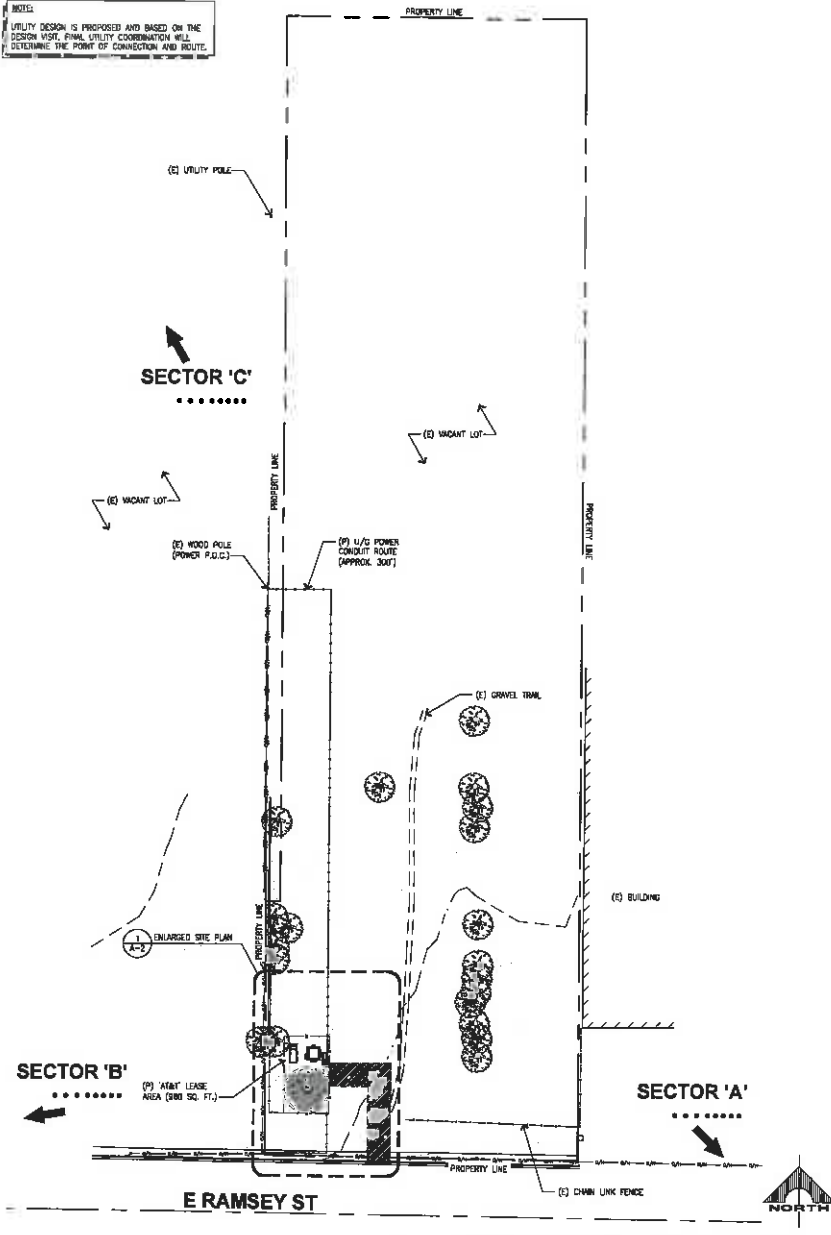
IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL SURVEYOR,
TO ALTER THIS DOCUMENT.

CSL04820
1233 RAMSEY STREET
BANNING, CA 92220

SHEET TITLE
SITE SURVEY

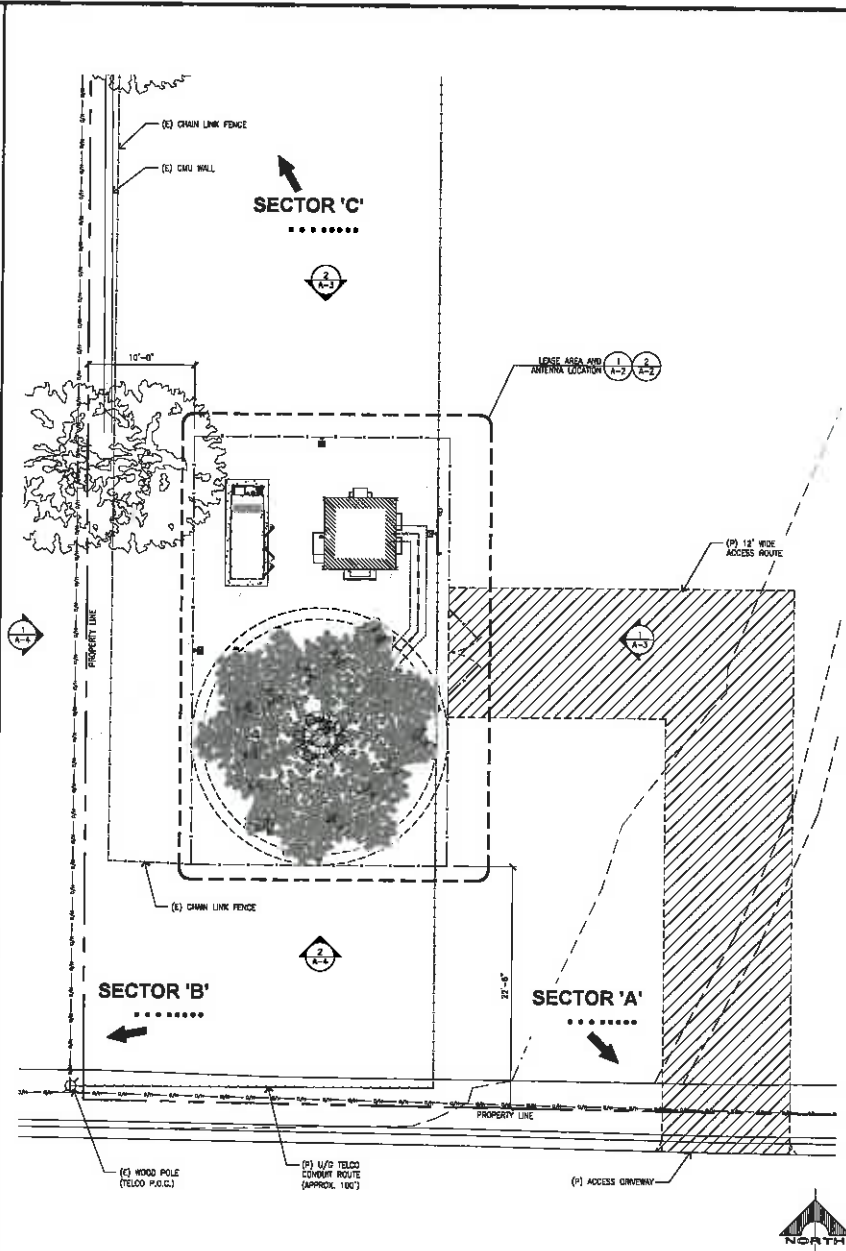
SHEET NUMBER
LS-2

NOTES:
 UTILITY DESIGN IS PROPOSED AND BASED ON THE DESIGN VISIT. FINAL UTILITY COORDINATION WILL DETERMINE THE POINT OF CONNECTION AND ROUTE.



SITE PLAN

SCALE: 1"=30'-0"
 15' 30' 60'
 2



ENLARGED SITE PLAN

SCALE: 3/16"=1'-0"
 1



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL. TO REPEAT OR REPRODUCE OTHER THAN AS IT RELATES TO THIS PROJECT IS STRICTLY PROHIBITED.



REV	DATE	DESCRIPTION
0	05/20/14	100% ZONING PERMITS
A	05/15/14	10% ZONING PERMITS

NOT TO BE USED FOR CONSTRUCTION

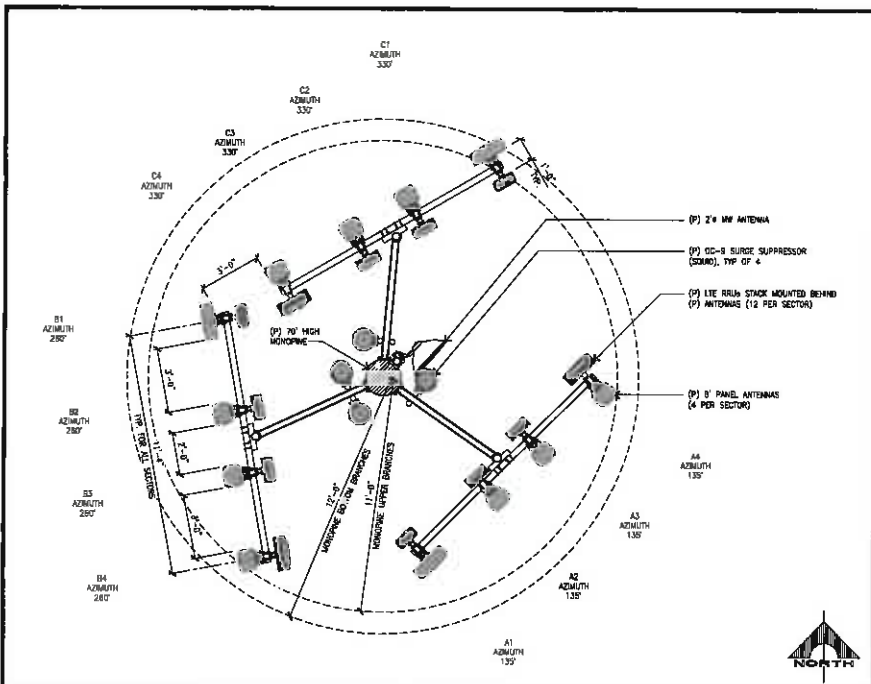
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNDER ANY CIRCUMSTANCES, TO ALTER THE DESIGN OR TO ALTER THIS DOCUMENT.

CSLO4820
CRUZ TIRE SHOP
 1233 E RAMSEY STREET,
 BANNING, CA 92220
 MONOPINE (INDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
SITE PLAN AND ENLARGED SITE PLAN

SHEET NUMBER:
A-1



ANTENNA PLAN

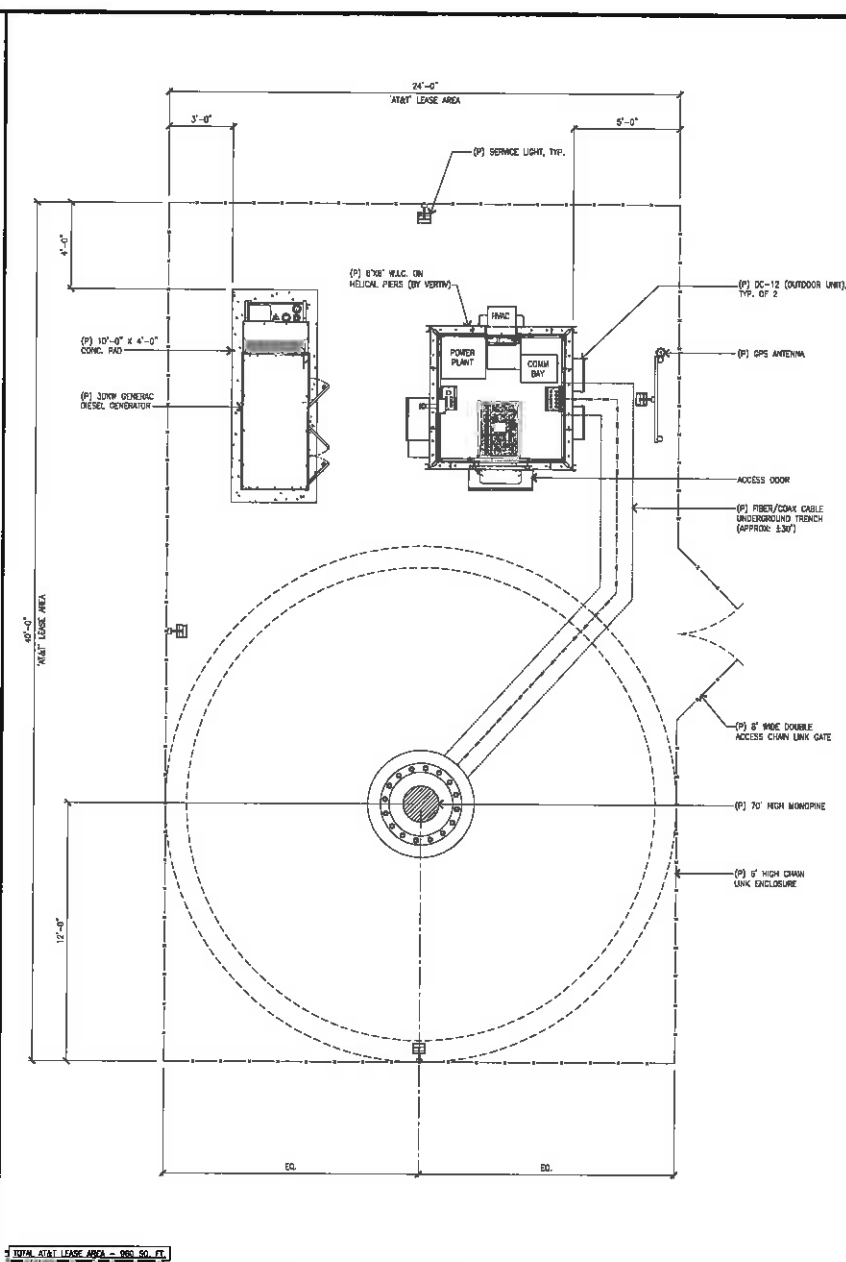
SCALE: 3/8"=1'-0" 2

PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS								
SECTOR	PROPOSED TECHNOLOGY	ANTENNA		H/O CENTER	TRANSMISSION LINES (LENGTH FT +/-)			
		ARR/RO/S-POST	SIZE (L x W x H)		ANTENNA AZIMUTH	JUMPER	DC CABLE (OHMS PER FT)	
ALPHA SECTOR	A1	LTE	8' 8" 8" PANEL ANTENNA	8'	135°	81°-0'	<12"	+/- 90'
	A2	LTE	8' 8" 8" PANEL ANTENNA	8'	135°	81°-0'	<12"	+/- 90'
	A3	LTE	8' 8" 8" PANEL ANTENNA	8'	135°	81°-0'	<12"	+/- 90'
	A4	LTE	8' 8" 8" PANEL ANTENNA	8'	135°	81°-0'	<12"	+/- 90'
BETA SECTOR	B1	LTE	8' 8" 8" PANEL ANTENNA	8'	287°	81°-0'	<12"	+/- 90'
	B2	LTE	8' 8" 8" PANEL ANTENNA	8'	287°	81°-0'	<12"	+/- 90'
	B3	LTE	8' 8" 8" PANEL ANTENNA	8'	287°	81°-0'	<12"	+/- 90'
	B4	LTE	8' 8" 8" PANEL ANTENNA	8'	287°	81°-0'	<12"	+/- 90'
GAMMA SECTOR	C1	LTE	8' 8" 8" PANEL ANTENNA	8'	330°	81°-0'	<12"	+/- 90'
	C2	LTE	8' 8" 8" PANEL ANTENNA	8'	330°	81°-0'	<12"	+/- 90'
	C3	LTE	8' 8" 8" PANEL ANTENNA	8'	330°	81°-0'	<12"	+/- 90'
	C4	LTE	8' 8" 8" PANEL ANTENNA	8'	330°	81°-0'	<12"	+/- 90'

REMOTE RADIO UNITS (RRU'S)					
SECTOR	RRU UP OR DOWN	RRU COUNT	RRU LOCATION (DISTANCE FROM ANTENNA)	MINIMUM CLEARANCES	
				ABOVE	BELOW
ALPHA SECTOR	A1	UP	3	<12'	18" 8" 8"
	A2	UP	3	<12'	18" 8" 8"
	A3	UP	3	<12'	18" 8" 8"
	A4	UP	3	<12'	18" 8" 8"
BETA SECTOR	B1	UP	3	<12'	18" 8" 8"
	B2	UP	3	<12'	18" 8" 8"
	B3	UP	3	<12'	18" 8" 8"
	B4	UP	3	<12'	18" 8" 8"
GAMMA SECTOR	C1	UP	3	<12'	18" 8" 8"
	C2	UP	3	<12'	18" 8" 8"
	C3	UP	3	<12'	18" 8" 8"
	C4	UP	3	<12'	18" 8" 8"

ANTENNA AND RRU SCHEDULE

SCALE: 3/8"=1'-0" 3



LEASE AREA PLAN

SCALE: 3/8"=1'-0" 1



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T INTELLECTUAL PROPERTY. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO THIS PROJECT IS STRICTLY PROHIBITED.



REV	DATE	DESCRIPTION

NOT TO BE USED FOR CONSTRUCTION

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CSL04820
CRUZ TIRE SHOP
 1233 E RAMSEY STREET,
 BANNING, CA 92220
 MONOPINE (INDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
EQUIPMENT/ANTENNA PLAN & ANTENNA/RRU SCHEDULE

SHEET NUMBER:
A-2



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED.

smartlink
 3500 IRVINE AVENUE, SUITE 300
 NEWPORT BEACH, CA 92660
 TEL: (949) 387-1295
 FAX: (949) 387-1275



REV	DATE	DESCRIPTION
1	05/15/18	ISSUE FOR PERMITS
2	05/15/18	ISSUE FOR PERMITS
REV	DATE	DESCRIPTION

NOT TO BE USED FOR CONSTRUCTION

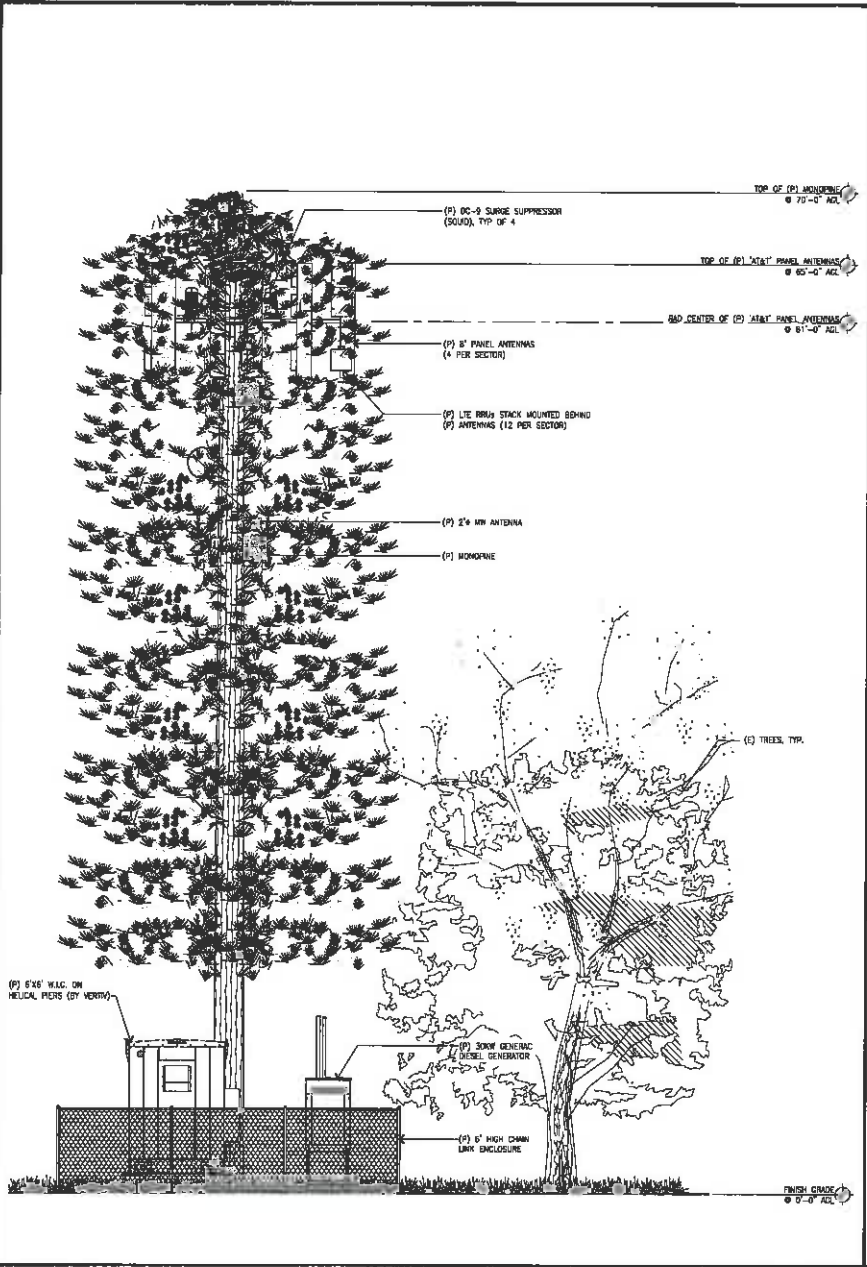
IF IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE WORKING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CSI-04820
CRUZ TIRE SHOP
 1233 E RAMSEY STREET,
 BANNING, CA 92220
 MONOPINE (INDOOR)

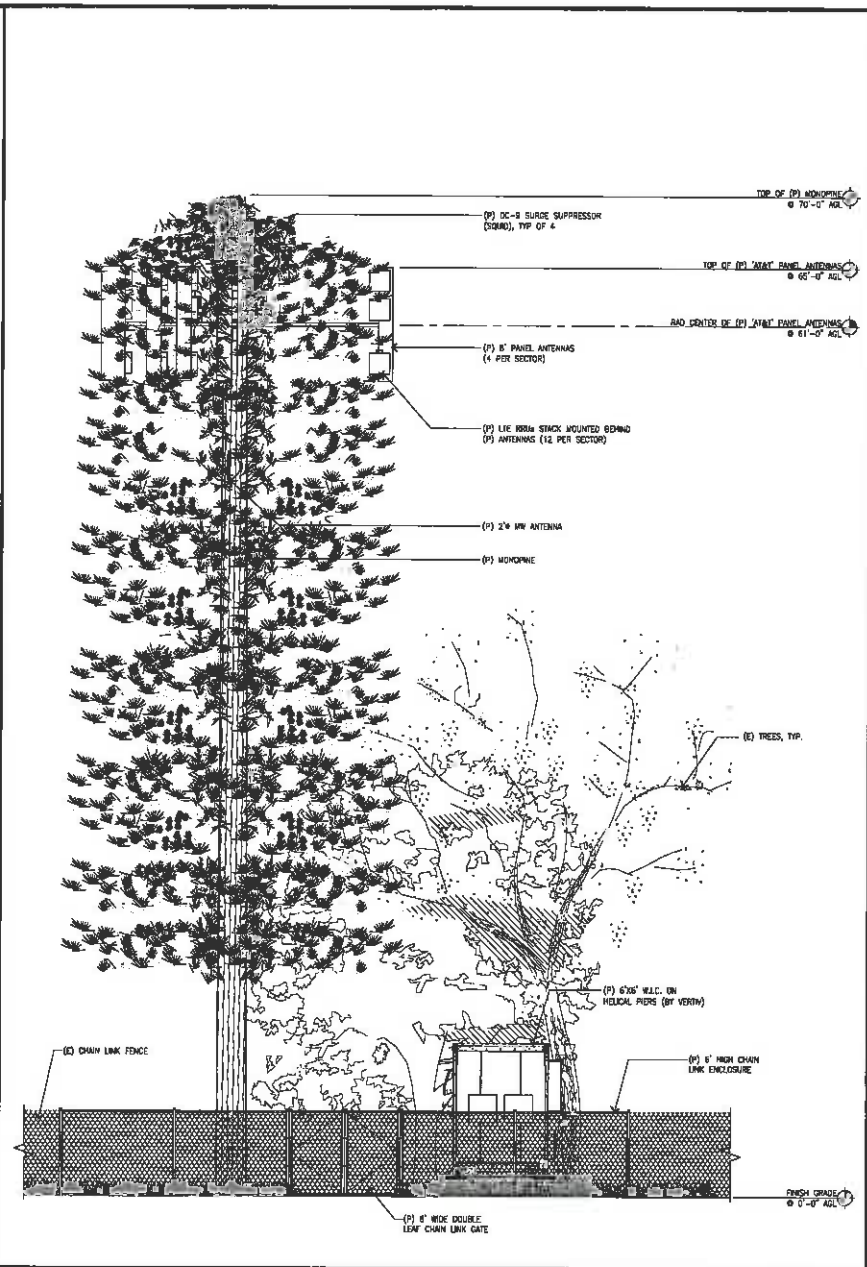
DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
ELEVATIONS

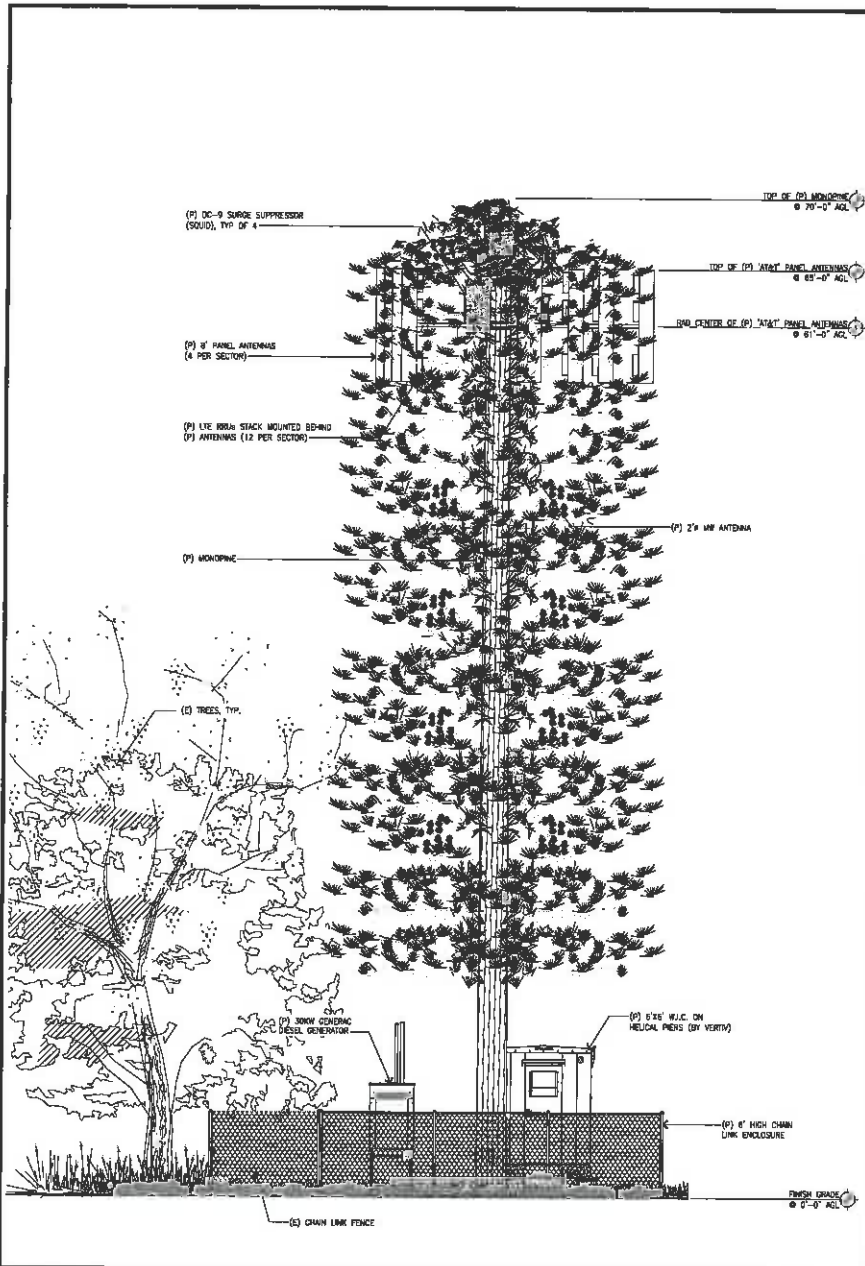
SHEET NUMBER:
A-3



NORTH ELEVATION SCALE: 1/4"=1'-0" 2

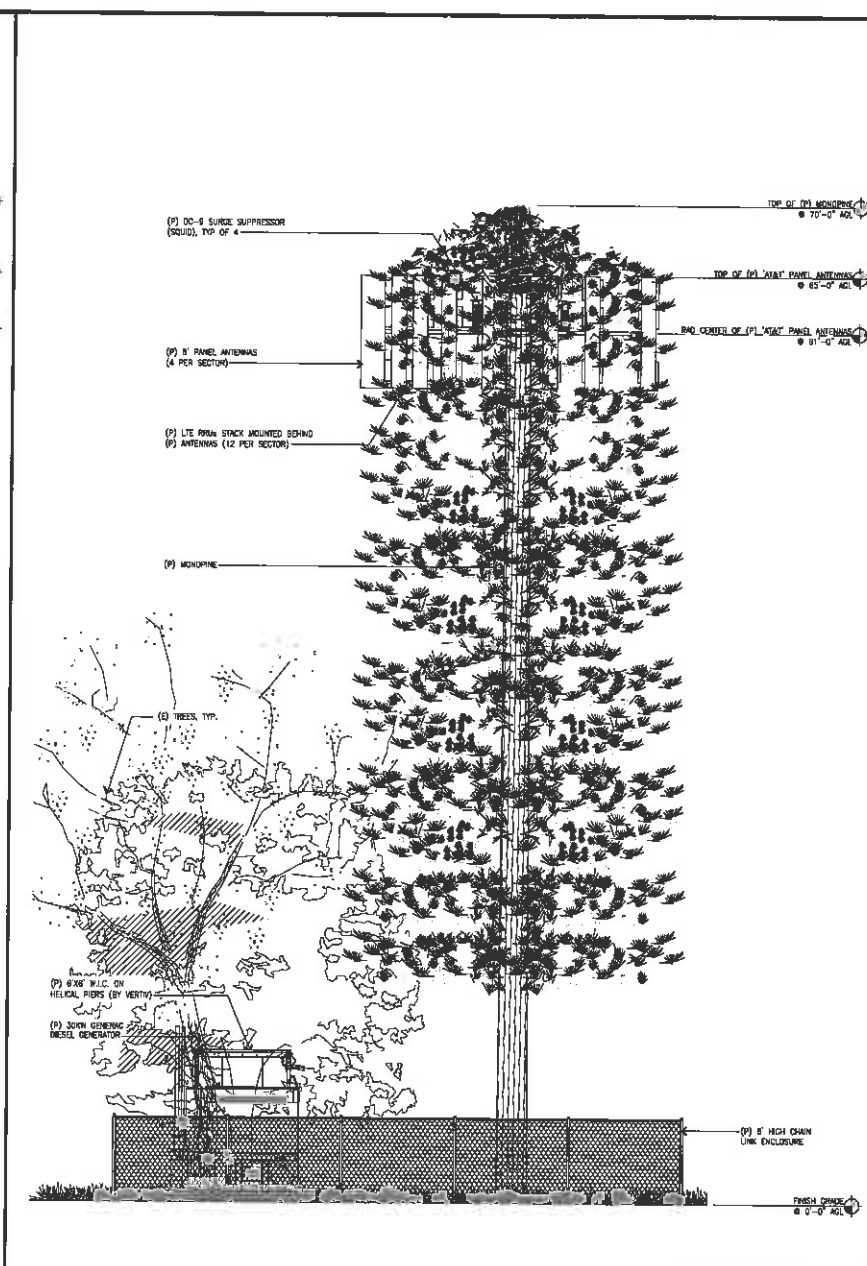


EAST ELEVATION SCALE: 1/4"=1'-0" 1



SOUTH ELEVATION

SCALE:
1/4"=1'-0" **2**



WEST ELEVATION

SCALE:
1/4"=1'-0" **1**

AT&T
1452 EDINGER AVE.
TUSTIN, CALIFORNIA 92780

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smartlink
5500 IRVINE AVENUE, SUITE 500
NEWPORT BEACH, CA 92660
TEL: (949) 261-1200
FAX: (949) 267-1210

CASA
3015 PRADERIA BLVD, #100
SANTA FE SPRING, CALIFORNIA 90707

NO.	DATE	DESCRIPTION
D	06/20/19	TRK ZONING SUBMIT
A	05/16/19	TRK ZONING SUBMIT

NOT TO BE USED FOR CONSTRUCTION

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CSL04820
CRUZ TIRE SHOP
1233 E RAMSEY STREET,
BANNING, CA 92220
MONOPINE (INDOOR)

DRAWN BY: JEM
CHECKED BY: JS

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-4

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Banning Planning Department will hold hearings on this item and should be contacted on non-ALUC issues. For more information please contact City of Banning Planner Ms. Sonia Pierce at (951) 922-3152.

The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
 4080 Lemon Street, 1st Floor Board Chambers
 Riverside California

DATE OF HEARING: August 8, 2019

TIME OF HEARING: 9:30 A.M.

CASE DESCRIPTION:

ZAP1034BA19 – AT&T Wireless (Representative: Smartlink, LLC) – City of Banning Case Nos. CUP19-8004 (Conditional Use Permit), DR19-7005 (Design Review). A proposal to establish a 70 foot tall “monopine” wireless communications facility with a 960 square foot equipment shelter area on 2.18 acres located northerly of Ramsey Street, easterly of Phillips Street, southerly of Williams Street and westerly of Hathaway Street (Airport Compatibility Zones C & D of the Banning Municipal Airport Influence Area).



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1034BA19 DATE SUBMITTED: 6/19/19

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	<u>AT&T Wireless</u>	Phone Number	<u>714-473-7268</u>
Mailing Address	<u>1452 Edinger Ave</u>	Email	<u>rs1458@att.com</u>
	<u>Tustin, CA 92780</u>		

Representative	<u>Willy Kazimi</u>	Phone Number	<u>925-699-2227</u>
Mailing Address	<u>8219 Calle Nueva</u>	Email	<u>will.kazimi@smartlinkllc.com</u>
	<u>San Diego, CA 92126</u>		

Property Owner	<u>Krystal Perez Cruz</u>	Phone Number	<u>909-703-1316</u>
Mailing Address	<u>1300 E Ramsey St.</u>	Email	
	<u>Banning, CA 92220</u>		

LOCAL JURISDICTION AGENCY

Local Agency Name	<u>City of Banning</u>	Phone Number	<u>951-922-3125</u>
Staff Contact	<u>SONIA PIERCE</u>	Email	
Mailing Address	<u>99 E Ramsey St.</u>	Case Type	<u>CUP & Design Review</u>
	<u>Banning, CA 92220</u>	<input type="checkbox"/>	General Plan / Specific Plan Amendment
		<input type="checkbox"/>	Zoning Ordinance Amendment
		<input type="checkbox"/>	Subdivision Parcel Map / Tentative Tract
		<input type="checkbox"/>	Use Permit
		<input type="checkbox"/>	Site Plan Review/Plot Plan
		<input checked="" type="checkbox"/>	Other

Local Agency Project No CUP 19-8004
DR 19-7005

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	<u>1165 E Ramsey St.</u>		
	<u>Banning, CA 92220</u>		
Assessor's Parcel No.	<u>541-162-010-4</u>	Gross Parcel Size	<u>2.18 Acres</u>
Subdivision Name		Nearest Airport and distance from Airport	<u>Banning Muni - 1.4 Miles</u>
Lot Number			

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	<u>Please see attached sheet and site plans.</u>

AM
BA
TUE
(+D)

Proposed Land Use (describe)	_____		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	_____	
For Other Land Uses (See Appendix C)	Hours of Operation	24/7 - Unmanned	
	Number of People on Site	0	Maximum Number 0
	Method of Calculation	Unmanned wireless cell facility	
Height Data	Site Elevation (above mean sea level)	2281.1	ft.
	Height of buildings or structures (from the ground)	Proposed stealth tree is 70'	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	If yes, describe	_____	

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. (Only required if the project is scheduled for a public hearing Commission meeting)

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.2

HEARING DATE: August 8, 2019

CASE NUMBER: ZAP1076PS19 – Desert Springs Finance, LLC
(Representative: William Spencer)

APPROVING JURISDICTION: City of Cathedral City

JURISDICTION CASE NO: GPA18-003 (General Plan Amendment), CZ18-002 (Change of Zone), CUP18-024 (Conditional Use Permit), TTM37745 (Tentative Tract Map)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2005 Palm Springs International Airport Land Use Compatibility Plan, and find the proposed Conditional Use Permit, and Tentative Tract Map CONSISTENT, subject to the conditions included herein.

PROJECT DESCRIPTION: A proposal to establish a 110 dwelling unit multi-family condominium complex with amenities on 7.06 acres, involving a Conditional Use Permit and a Tentative Tract Map. The applicant also proposes amending the City's General Plan designation of the site from Medium Density Residential to High Density Residential and changing the site's zoning from R2 Multiple Family Residential District to R3 Multiple Family Residential District.

PROJECT LOCATION: The site is located at the southerly terminus of Landau Boulevard, southerly of Ramon Road, easterly of the Whitewater River/Coachella Valley Stormwater Channel, westerly of Banff Way, and northwesterly of Creekside Apartments, within the City of Cathedral City, approximately 6,700 feet southeasterly of the southerly end of Runway 13L-31R at Palm Springs International Airport.

LAND USE PLAN: 2005 Palm Springs International Airport Land Use Compatibility Plan

- a. Airport Influence Area: Palm Springs International Airport
- b. Land Use Policy: Compatibility Zone D
- c. Noise Levels: Below 60 CNEL from aircraft noise

BACKGROUND:

Residential Density: Pursuant to the Palm Springs International Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D, where Additional Compatibility Policy #2.3 restricts residential densities to either 0.2 dwelling units per acre or above 3.0 dwelling units per acre. The project proposes 110 condominium units on 7.06 acres, which results in an overall density of 16 dwelling units per acre, which is consistent with Zone D residential density criteria.

Non-Residential Intensity: Pursuant to the Palm Springs International Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D, which restricts non-residential intensity to an average of 100 people per acre and a maximum of 300 people in any given single acre. The project proposes a 2,435 square foot pool, a 1,330 square foot outdoor barbecue area, a 3,600 square foot gym, a 1,080 square foot party room, and a 2,880 square foot of storage area, which would accommodate an occupancy of 291 people, resulting in an average intensity of 41 people per acre, and a single acre intensity of 291 people, both of which are consistent with the Compatibility Zone D intensity criteria.

Prohibited and Discouraged Uses: The applicant does not propose any new use specifically prohibited or discouraged in Compatibility Zone D of the Palm Springs International Airport Influence Area.

Noise: The Palm Springs Airport Land Use Compatibility Plan depicts the site as being in an area below 60 CNEL from aircraft. Therefore, special measures to mitigate aircraft-generated noise would not be required.

Part 77: The elevation of Runway 13L-31R at its southerly terminus is 404.4 feet above mean sea level (AMSL). At a distance of approximately 6,700 feet from the runway to the project, Federal Aviation Administration (FAA) review would be required for any structures with a top point elevation exceeding 462.5 feet AMSL. The project's finished floor elevation is 354 feet AMSL and the proposed structure height is 35 feet, for a top point elevation of 389 feet AMSL (lower than the runway elevation). Therefore, review by the FAA Obstruction Evaluation Service for height/elevation reasons is not required.

Open Area: Compatibility Zone D requires 10% of the land area within major projects (10 acres or larger) be set aside as open area that could potentially serve as emergency landing areas. The proposed project is 7.06 acres in area, so open area is not required.

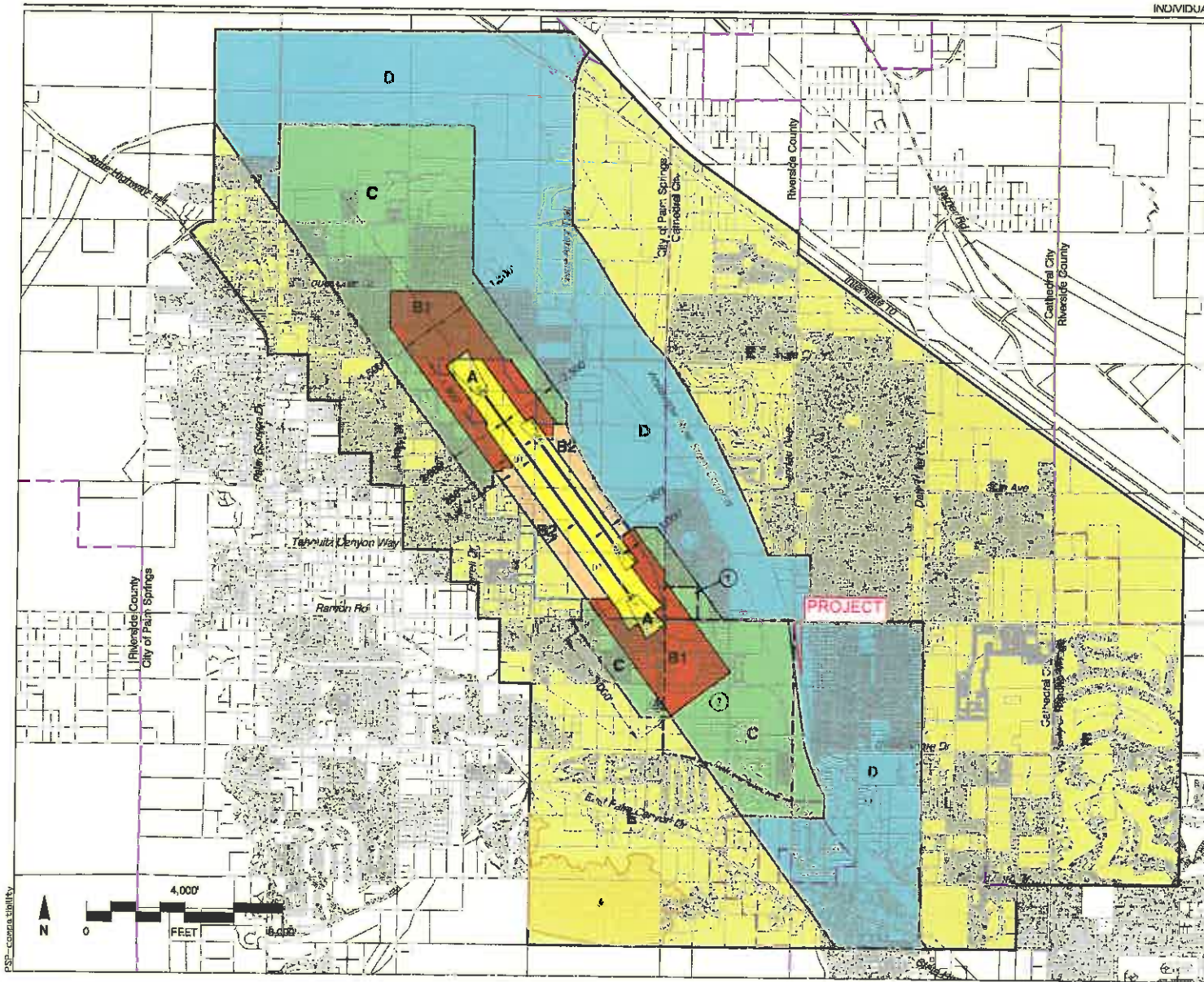
General Plan Amendment/Zone Change: The proposed High Density Residential General Plan designation and R3 Multiple Family Residential District zoning would be as, or more consistent, with the Compatibility Plan than the existing designation, as long as the project is consistent with the underlying compatibility criteria.

CONDITIONS:

1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses.
3. The attached notice shall be given to all prospective purchasers, lessees, and/or tenants of the property, and shall be recorded as a deed notice.
4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The evaluated project amenities consists of a 2,435 square foot pool, a 1,330 square foot outdoor barbeque area, a 3,600 square foot gym, a 1,080 square foot party room, and a 2,880 square foot of storage area. Any increase in building area or change in use to assembly occupancies will require an amended review by the Airport Land Use Commission.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits

- Notes**
- All dimensions measured from runway ends and centerlines.
 - DT = Displaced Threshold
 - See Chapter 2, Table 2A for compatibility criteria associated with this map.
 - See Policy PS.2.1.

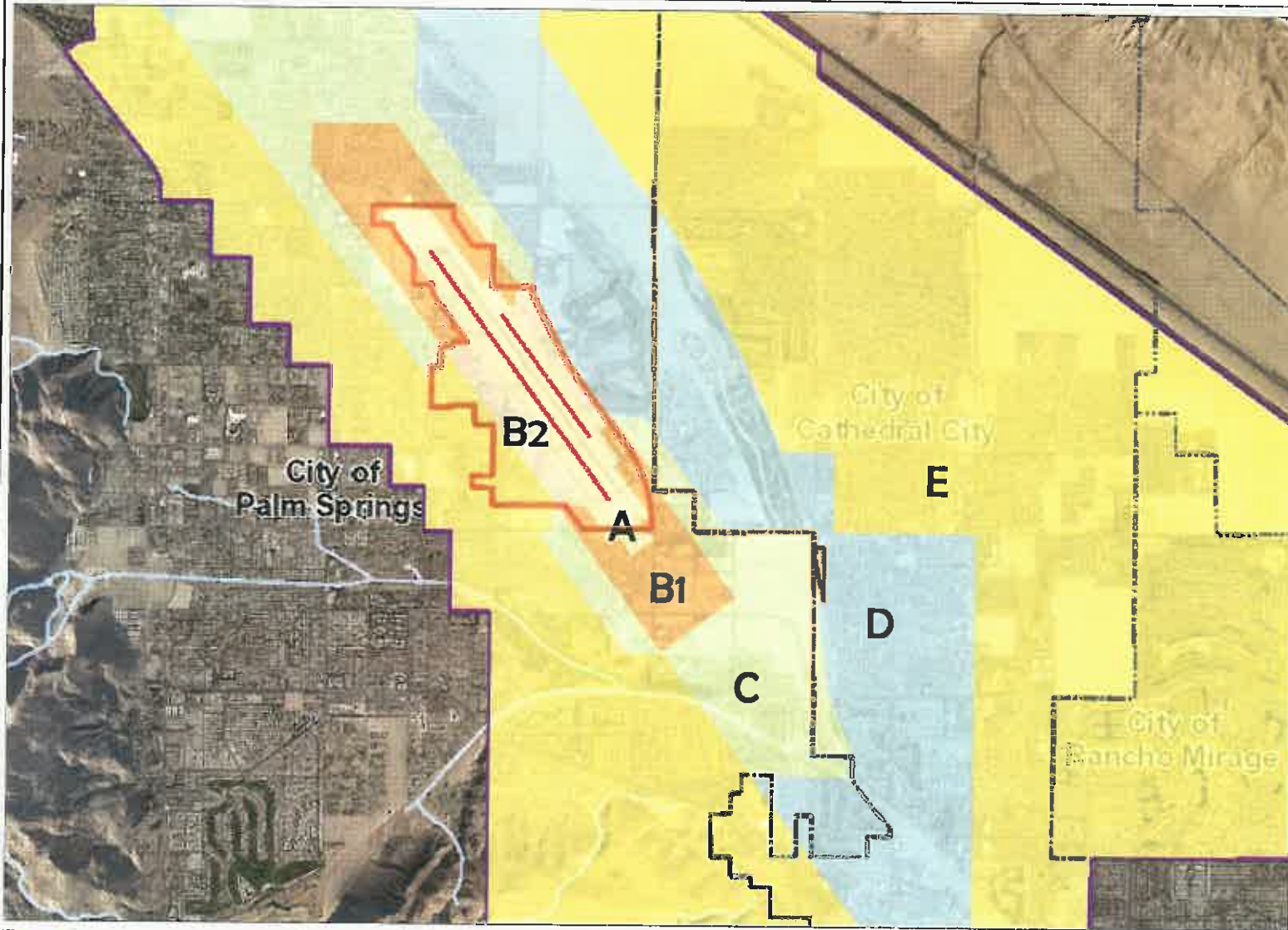
Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
 (Adopted March 2005)

Map PS-1

Compatibility Map
 Palm Springs International Airport

PS - contra utility

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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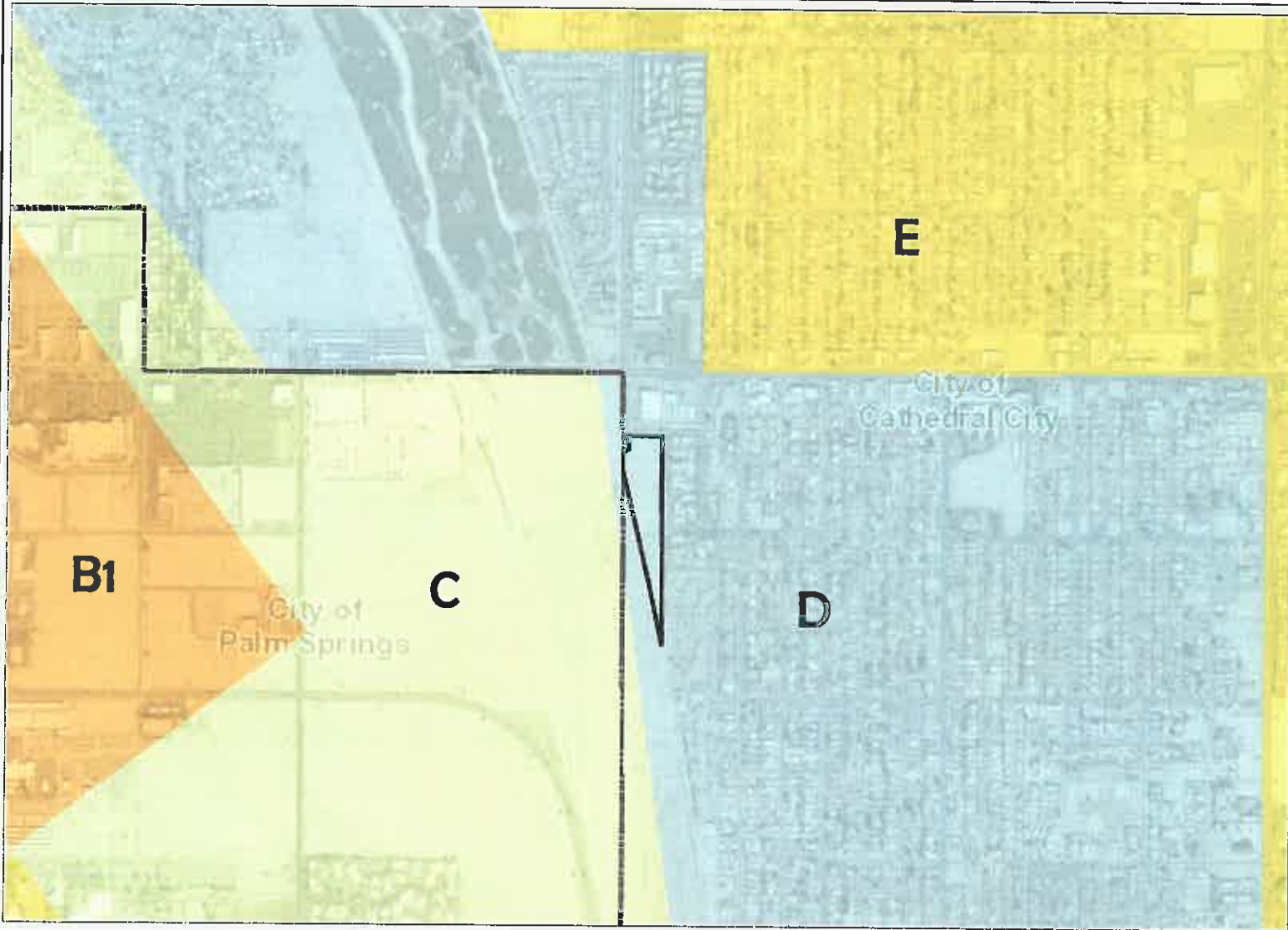


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Notes

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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Notes

Map My County Map



Legend

- Blue Line Streams
- City Areas
- World Street Map



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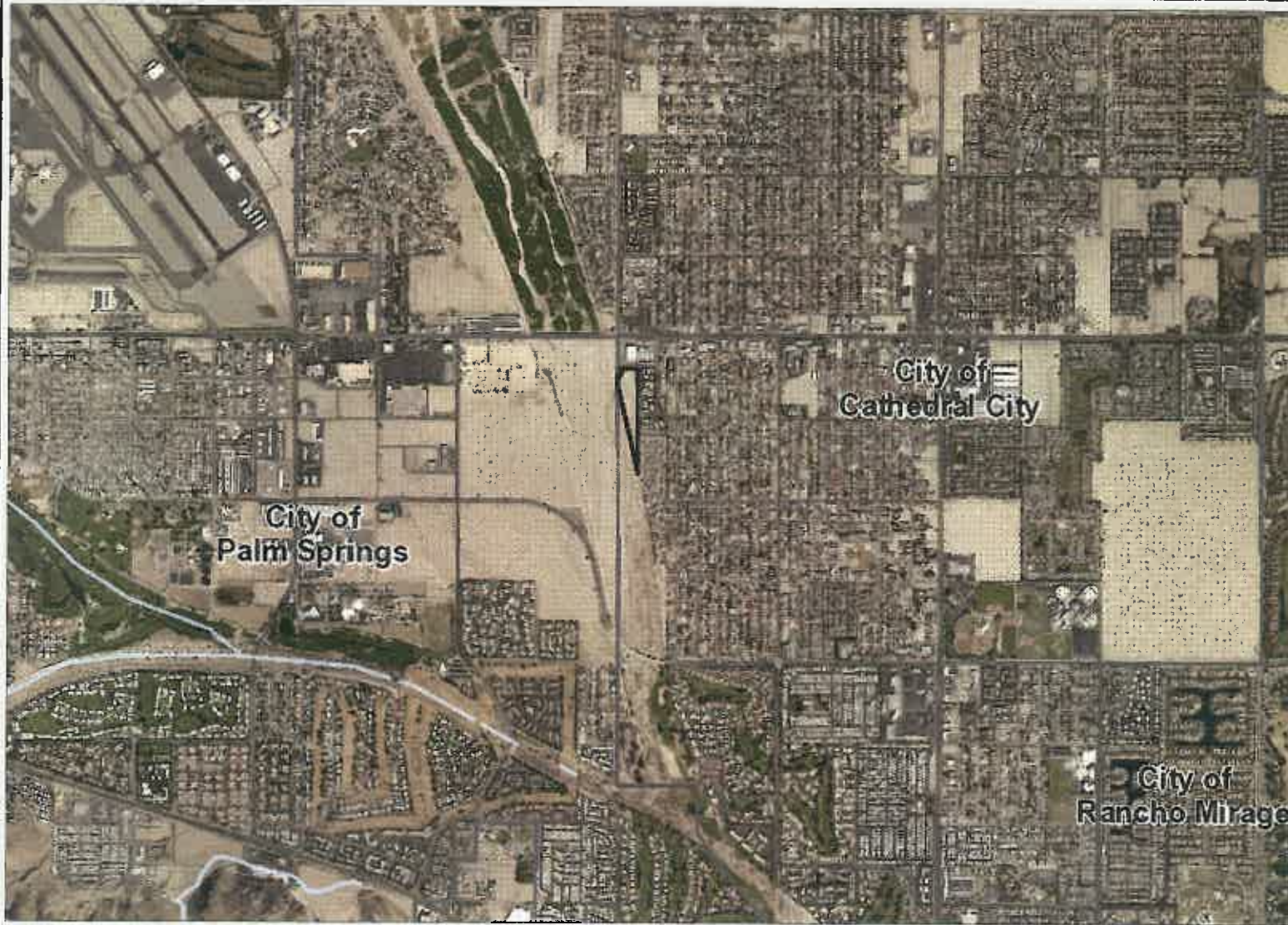


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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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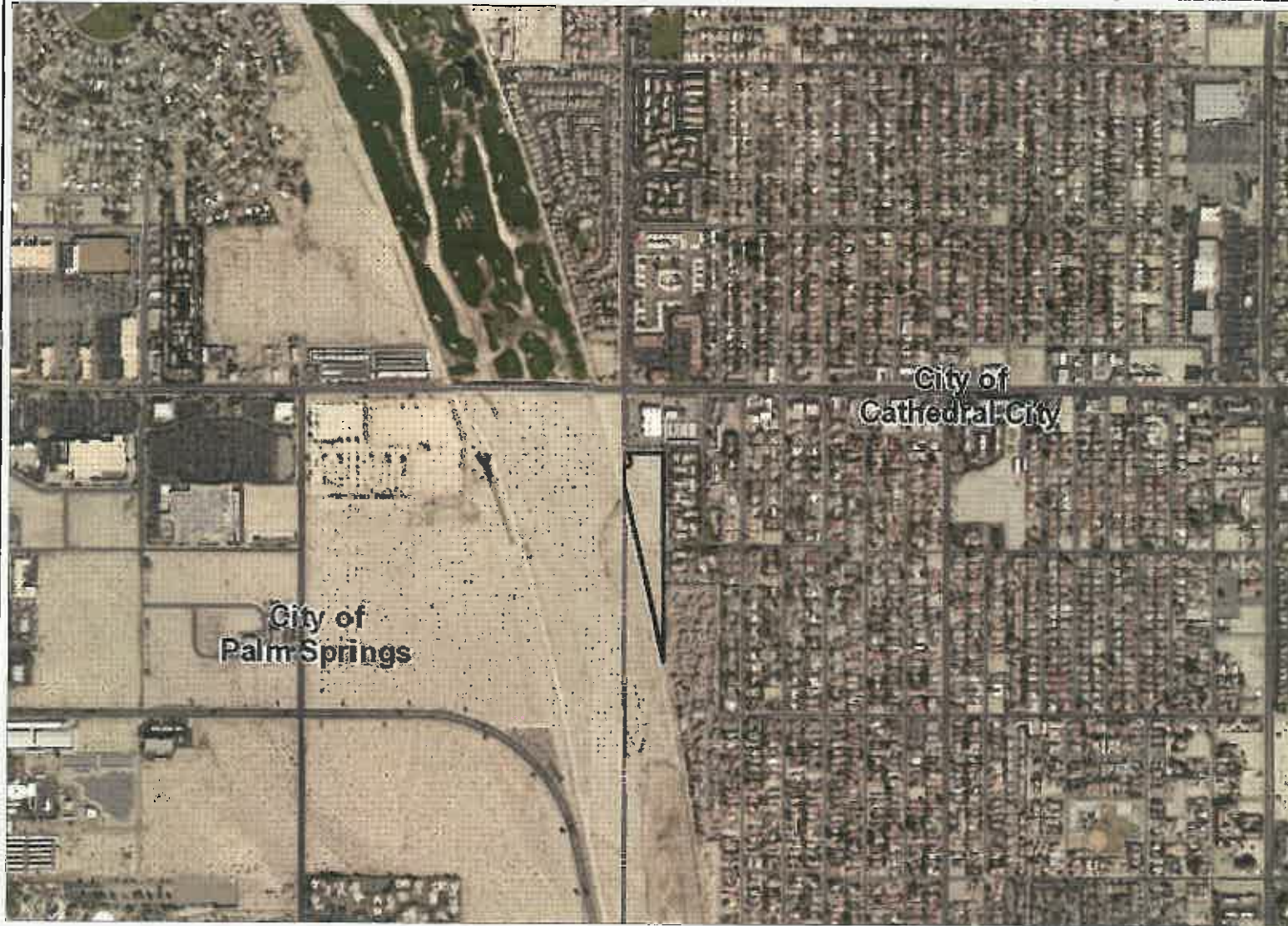
Notes

0 3 6,064 Feet
032

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Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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Notes

0 1 3,032 Feet
516

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Map My County Map



Legend

- Blue line Streams
- City Areas
- World Street Map



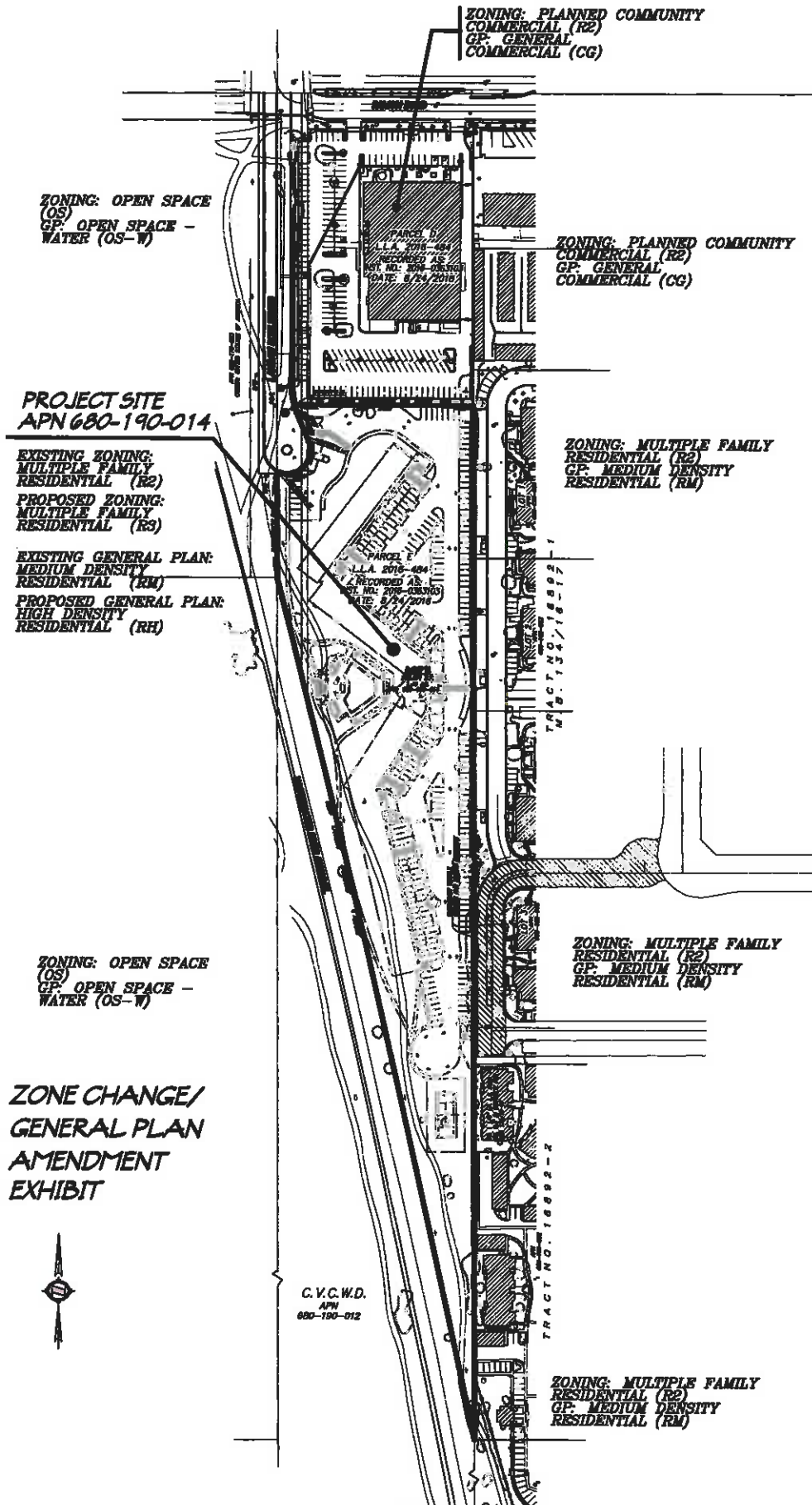
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0 758 1,516 Feet

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Notes



ZONING: PLANNED COMMUNITY
COMMERCIAL (R2)
GP: GENERAL
COMMERCIAL (CG)

ZONING: OPEN SPACE
(OS)
GP: OPEN SPACE -
WATER (OS-W)

ZONING: PLANNED COMMUNITY
COMMERCIAL (R2)
GP: GENERAL
COMMERCIAL (CG)

PROJECT SITE
APN 680-190-014

EXISTING ZONING:
MULTIPLE FAMILY
RESIDENTIAL (R2)
PROPOSED ZONING:
MULTIPLE FAMILY
RESIDENTIAL (R3)

ZONING: MULTIPLE FAMILY
RESIDENTIAL (R2)
GP: MEDIUM DENSITY
RESIDENTIAL (RM)

EXISTING GENERAL PLAN:
MEDIUM DENSITY
RESIDENTIAL (RM)
PROPOSED GENERAL PLAN:
HIGH DENSITY
RESIDENTIAL (RH)

PARCEL 2
L.L.A. 2016-024
RECORDED AS
ST. NO. 2016-023703
DATE 8/24/2016

PARCEL 3
L.L.A. 2016-024
RECORDED AS
ST. NO. 2016-023703
DATE 8/24/2016

TRACT NO. 18892-1

ZONING: OPEN SPACE
(OS)
GP: OPEN SPACE -
WATER (OS-W)

ZONING: MULTIPLE FAMILY
RESIDENTIAL (R2)
GP: MEDIUM DENSITY
RESIDENTIAL (RM)

ZONE CHANGE/
GENERAL PLAN
AMENDMENT
EXHIBIT



C.V.C.W.D.
APN
680-190-012

TRACT NO. 18892-2

ZONING: MULTIPLE FAMILY
RESIDENTIAL (R2)
GP: MEDIUM DENSITY
RESIDENTIAL (RM)

PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS
DESERT SPRINGS FINANCE L.L.C. DEVELOPER
 LANDAU BLVD. CATHEDRAL CITY, CA



WKS
 ARCHITECTS
 WILLIAM K. SPENCER
 PRINCIPAL ARCHITECT
 C-4943

71-946 Eleanor Lane
 Rancho Mirage, CA. 92270
 TEL. 918-903-9090

OWNER

DESERT SPRINGS FINANCIAL L.L.C.

MURRAY ALTMAN MGR.
 760.965.7742

DESERT SPRINGS FINANCIAL L.L.C.

PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS

LANDAU BLVD. CATHEDRAL CITY CA 92234

CONSULTANTS	
PROJECT ARCHITECT:	WILLIAM E. SPENCER 71946 ELEANOR LANE RANCHO MIRAGE, CA WKSARCHITECTS.COM P. 918. 903. 9090
CAN/CADD/IGN AND ARCHITECT:	CARLOS SANCHEZ PRELIMINARY DESIGN DRIVE COLOR PRESENTATION 4572 FANORAMA DR. STE 2 PALM DESERT, CA CARLOS@CSMAIL.COM PH. 760. 298. 2551
SANBORN ARCHITECTURAL GROUP:	AILEEN M. SANBORN CIVIL, GRADING & WATER QUALITY & HYDROLOGY REPORT (KETH CHRISTENSEN) SOIL REPORT (BLADEN ENGINEERING) LANDSCAPE PRELIMINARY DESIGN (DANIEL SANCHEZ) THE ARCHITECTURE DIRECTOR OF THE SANBORN ARCHITECTURAL GROUP, 71799 SAN JACINTO DR. STE 51 RANCHO MIRAGE, CA 92230 PH: 760. 298. 2551
EXTERIOR LIGHTING DESIGN:	JASON ASSOCIATES GROUP (JASON SALAZAR) 535 PRINCEDANS COURT CORONA, CA 92827
ENVIRONMENTAL SERVICES:	MSA CONSULTING 34-300 BONAHOPE DR. RANCHO MIRAGE, CA 92270

UTILITIES AND BUILDING SERVICES	
WATER:	COACHELLA VALLEY WATER DISTRICT, PH. 760. 268. 2651
SEWER:	CITY OF CATHEDRAL CITY, PH. 760. 278. 0249
GAS:	THE GAS COMPANY, PH. 909. 335. 7415
ELECTRICAL:	SOUTHERN CAL EDISON PH. 760. 262.4256
CABLE:	SPECTRUM PH. 760. 322.4266
TRASH:	BURRIS 705105 EDOM HILL ROAD PH. 760. 948.2113

BUILDING AND UNIT TYPES			
		LIVING AREA	PATIO
UNITS A 22	TYPICAL UNIT A:	1,900 SQ. FT.	108 SQ. FT.
UNITS B 14	TYPICAL UNIT B:	2,000 SQ. FT.	179 SQ. FT.
UNITS C 36	TYPICAL UNIT C:	1,900 SQ. FT.	129 SQ. FT.
PH.W1 1	TYPICAL UNIT:	2,823 SQ. FT.	178 SQ. FT.
PH.E2 1	TYPICAL UNIT:	2,838 SQ. FT.	225 SQ. FT.
PH.E1 1	TYPICAL UNIT:	2,828 SQ. FT.	229 SQ. FT.
PH.W2 1	TYPICAL UNIT:	2,780 SQ. FT.	308 SQ. FT.
UNITS TOTAL: 110		TOTAL LIVING AREA	171,468 SQ. FT. 13,246 SQ. FT.
ALL UNITS ARE PROVIDED WITH PRIVATE PATIOS			

AREA TABULATION	
FIRST FLOOR CONDOMINIUMS AREA (22):	23,534 SQ. FT.
GYM AREA	3,900 SQ. FT.
FIRST FLOOR WALKWAY AND STAIRCASE AREA:	15,426 SQ. FT.
4 GARAGES AREA:	1,185 SQ. FT.
FIRST FLOOR TOTAL AREA:	44,045 SQ. FT.
SECOND FLOOR CONDOMINIUMS AREA (14):	85,300 SQ. FT.
SECOND FLOOR WALKWAY AND STAIRCASE AREA:	14,247 SQ. FT.
SECOND FLOOR ASSEMBLY AREA:	7,420 SQ. FT.
SECOND FLOOR TOTAL AREA:	106,967 SQ. FT.
THIRD FLOOR CONDOMINIUMS AREA (40):	89,600 SQ. FT.
THIRD FLOOR PENTHOUSE AREA (6):	11,236 SQ. FT.
THIRD FLOOR WALKWAY AND STAIRCASE AREA:	26,859 SQ. FT.
THIRD FLOOR TOTAL AREA:	127,695 SQ. FT.
POOL AREA COMMON AREA (OPEN BRACK):	14,078 SQ. FT.
PARKING TABULATION	
COVERED PARKING AREA STALLS (BUILDING)	54 SPACES
COVERED PARKING OUTSIDE:	78 SPACES
OO' BRID PARKING COMPACT:	87 SPACES
PARKING AREA STALLS	69 SPACES
PARKING ADA STALLS	12 SPACES
TOTAL PARKING STALLS	274 SPACES

GENERAL INFORMATION	
OWNER :	DESERT SPRINGS FINANCE L.L.C.
LEGAL DESCRIPTION :	A.P.M. 620-190-037 SECTION 301 1/4 N. & E. 21/2 BL. 22250 RANGE, T. 121 N. RANGE 18 E.
BUILDING TYPE:	VA SPRINGWELLS
PROJECT ADDRESS :	LANDAU BLVD. CA 92234
AREA TABULATIONS:	
TOTAL SITE :	7.06 AC. 100.0 %



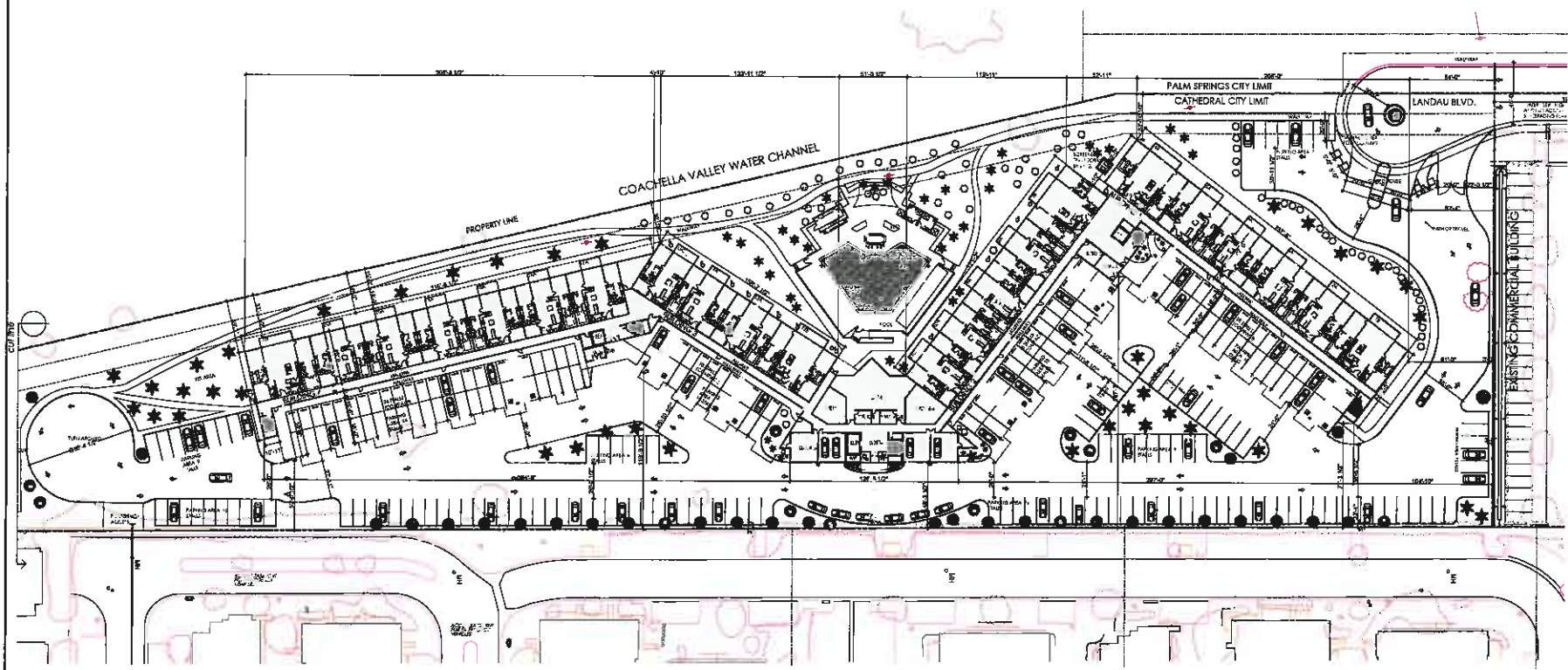
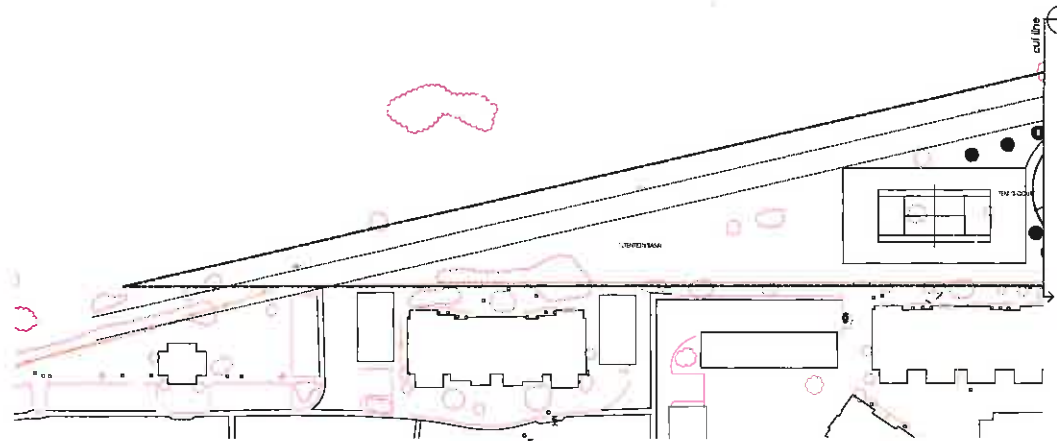
SHEET INDEX	
00	COVER SHEET
R.1	PROJECT VIEWS
R.2	PROJECT VIEWS
P.1	PRELIMINARY SITE PLAN
P.2	UNITS FLOOR PLAN
B.1	FIRST LEVEL FLOOR PLAN
B.2	SECOND LEVEL FLOOR PLAN
B.3	THIRD LEVEL FLOOR PLAN
P.4	BUILDING 1 ELEVATION AND FLOOR PLAN
P.5	BUILDING 2 ELEVATION AND FLOOR PLAN
P.6	BUILDING 3 ELEVATION AND FLOOR PLAN
P.7	BUILDING 4 ELEVATION AND FLOOR PLAN
P.8	BUILDING 5 ELEVATION AND FLOOR PLAN
P.9	COMPLEX ENTRY GUARD-HOUSE
L.1	PRELIMINARY LANDSCAPE
L.2	PRELIMINARY LANDSCAPE
L.3	PRELIMINARY LANDSCAPE
G.1	PRELIMINARY GRADING PLAN
G.2	PRELIMINARY GRADING PLAN

SHEET TITLE

Rev 01/2016 SCALE AS NOTED

CS

.01.



SITE PLAN
SCALE: 1/32"=1'-0"

WKS
ARCHITECTS
WILLIAM K. SPENCER
PRINCIPAL ARCHITECT
C-4943

71-948 Eleonora Lane
Rancho Mirage, CA. 92270
TEL. 818-903-3099

OWNER

DESERT SPRINGS
FINANCIAL L.L.C.

MURRAY ALTMAN MGR.
780.985.7742

DESERT SPRINGS FINANCIAL L.L.C.

PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS

LANDAU BLVD. CATHEDRAL CITY CA 92234

SHEET TITLE

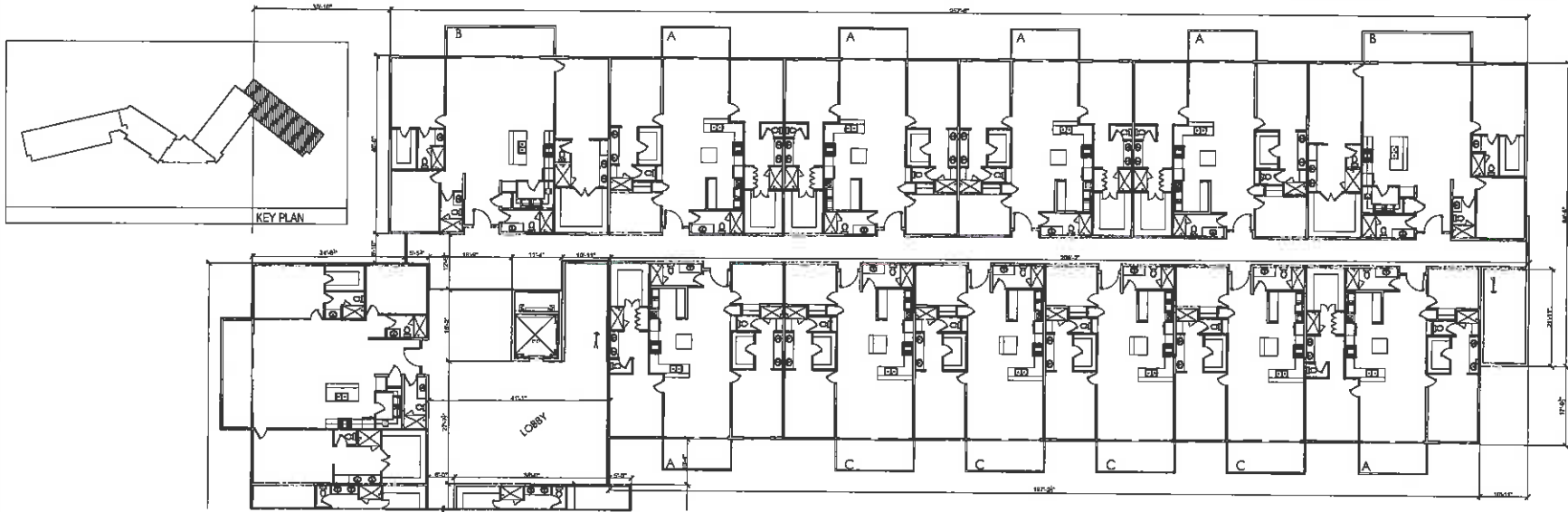
May 28, 2019 2 SCALE AS NOTED

P1



TYPICAL ELEVATION

WEST ELEVATION 2.2 SCALE: 1"=10'



SECOND FLOOR

SCALE: 1"=10'



BUILDING 1
30 UNITS TOTAL

TYPICAL ELEVATION

EAST ELEVATION 2.1 SCALE: 1"=10'

WKS

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DESERT SPRINGS FINANCIAL L.L.C.
PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS
LANDAU BLVD. CATHEDRAL CITY CA 92234

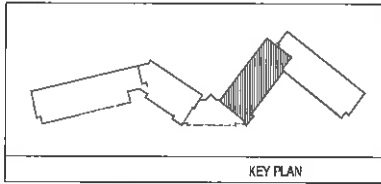
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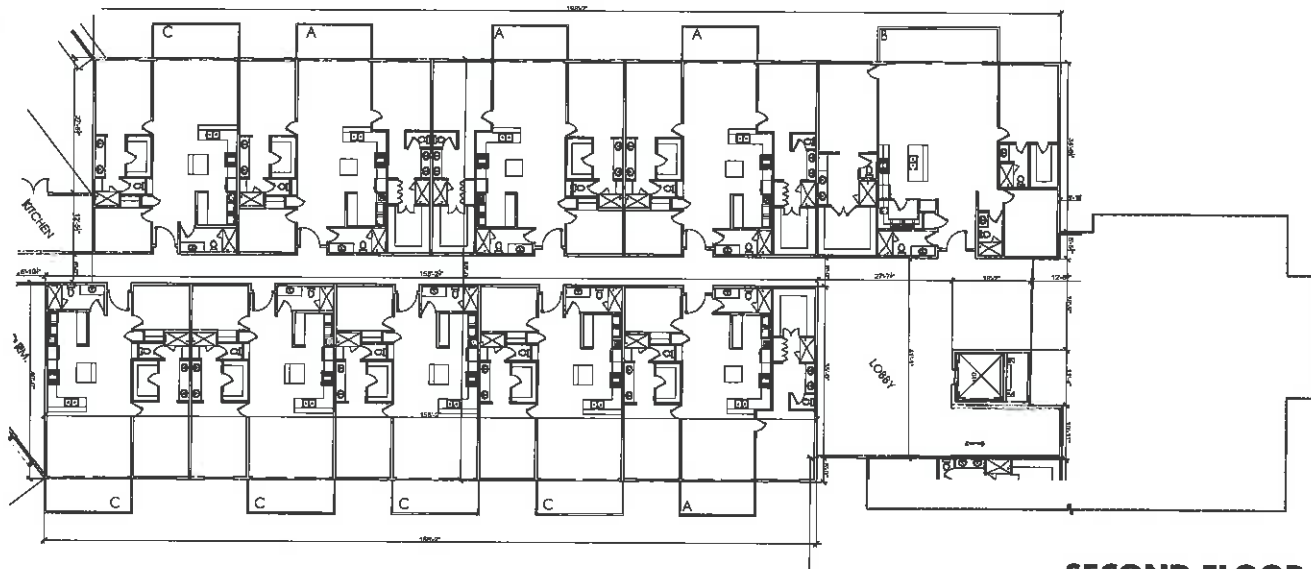
P4



TYPICAL ELEVATION
WEST ELEVATION 2.2 SCALE: 1/10'



KEY PLAN



SECOND FLOOR
SCALE: 1/10'



TYPICAL ELEVATION
EAST ELEVATION 2.1 SCALE: 1/10'

BUILDING 2
23 UNITS TOTAL

WKS

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TEL. 914-603-5096

OWNER

DESERT SPRINGS
FINANCIAL L.L.C.

MURRAY ALTMAN MGR.
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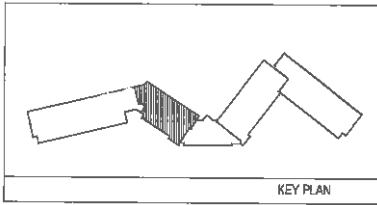
DESERT SPRINGS FINANCIAL L.L.C.
PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS
LANDAU BLVD. CATHEDRAL CITY CA 92234

SHEET TITLE

May 28, 2019 SCALE AS NOTED

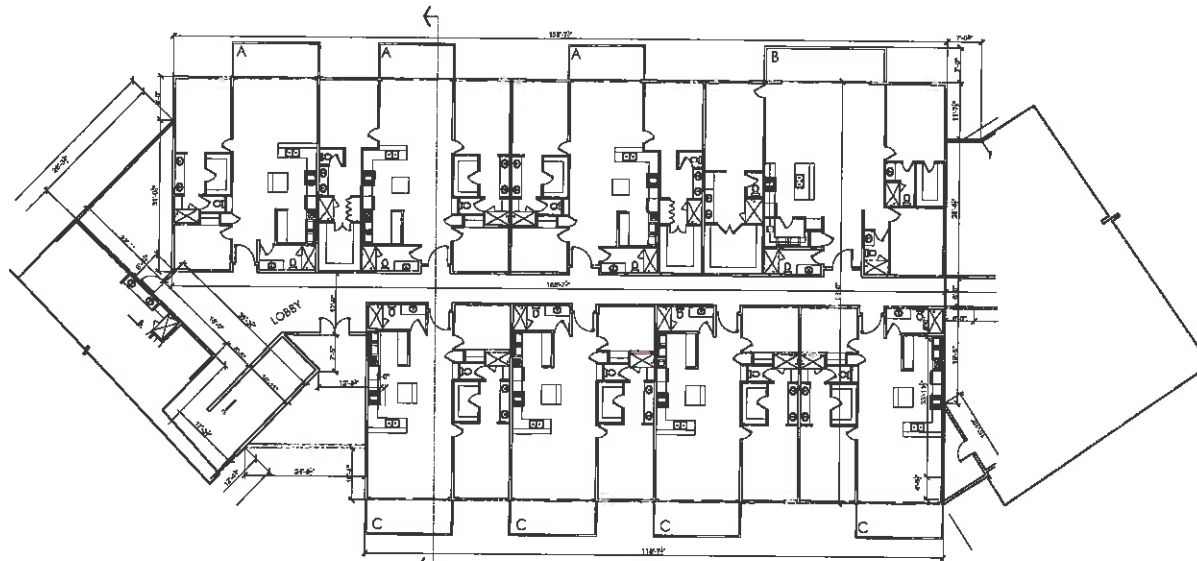
P5

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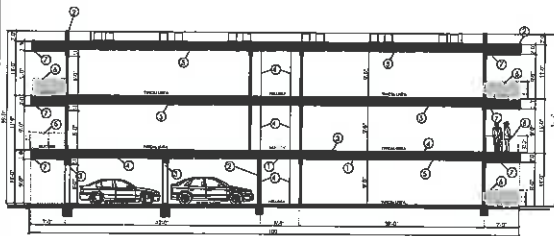


TYPICAL ELEVATION
WEST ELEVATION 2.2 SCALE: 1=10'

- KEY NOTES**
1. STEEL MOMENT FRAME AND COLUMNS
 2. PLASTER PARAPET
 3. PLASTERED COLUMN 2 HR. RATED.
 4. TWO HOUR FIRE SEPARATION
 5. ONE HOUR FIRE SEPARATION
 6. TINTED GLASS RAILING
 7. CANTILEVERED COVER W/ 2X VENEER



SECOND FLOOR
SCALE: 1=10'



TYP. SECTION
SCALE: 1=10'



TYPICAL ELEVATION
EAST ELEVATION 2.1 SCALE: 1=10'

BUILDING 3
18 UNITS TOTAL

WKS

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PRINCIPAL ARCHITECT
C-4943

71-946 Eleonora Lane
Rancho Mirage, CA. 92270
TEL. 818-909-3099

OWNER

**DESERT SPRINGS
FINANCIAL L.L.C.**

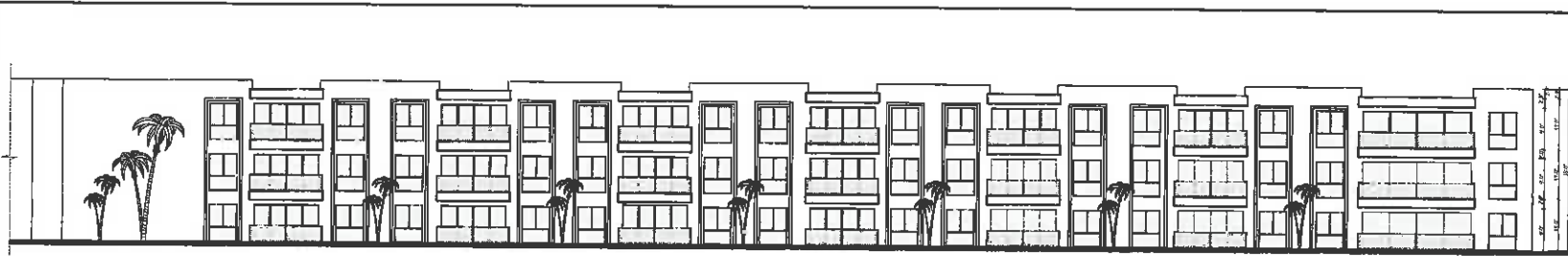
MURRAY ALTMAN MGR.
760.985.7742

DESERT SPRINGS FINANCIAL L.L.C.
PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS
LANDAU BLVD. CATHEDRAL CITY CA 92234

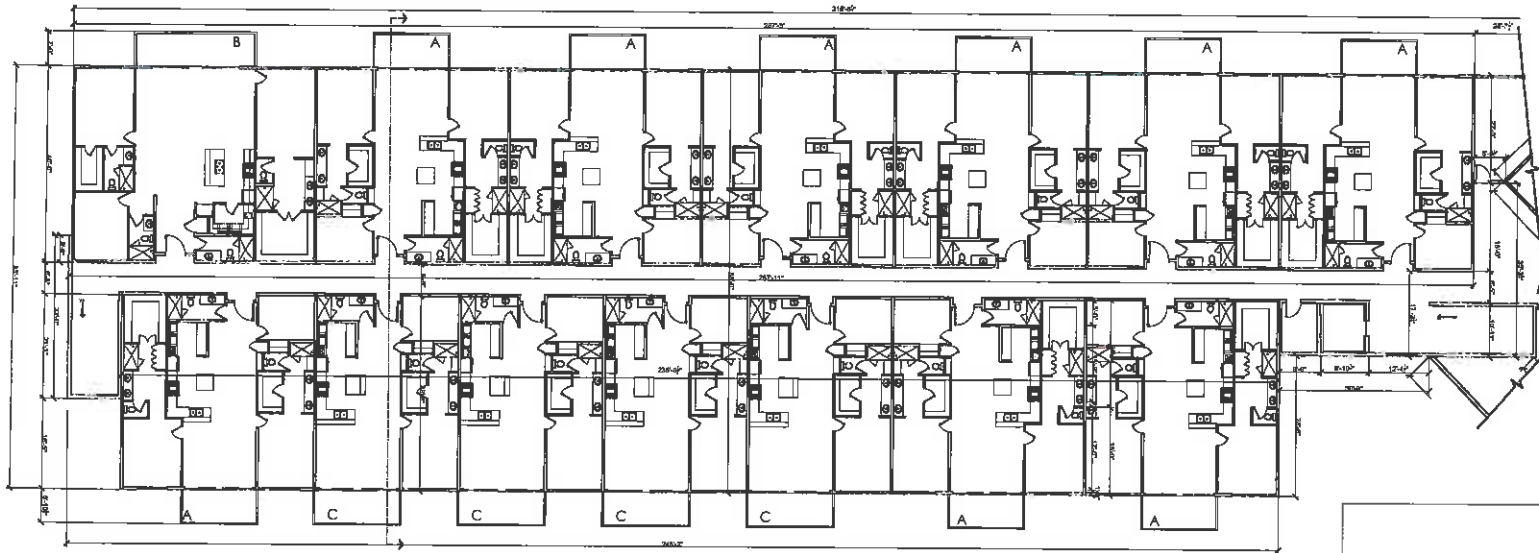
SHEET TITLE

May 28, 2018 SCALE
AS NOTED

P6

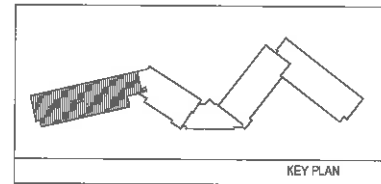


TYPICAL ELEVATION
WEST ELEVATION 2.2 SCALE: 1=10'



BUILDING 4
35 UNITS TOTAL

SECOND FLOOR
SCALE: 1=10'



TYPICAL ELEVATION
EAST ELEVATION 2.1 SCALE: 1=10'

WKS

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PRINCIPAL ARCHITECT
C-4843

71-946 Eleanora Lane
Rancho Mirage, CA, 92270
TEL. 818-903-9000

OWNER

DESERT SPRINGS
FINANCIAL L.L.C.

MURRAY ALTMAN MGR.
760.985.7742

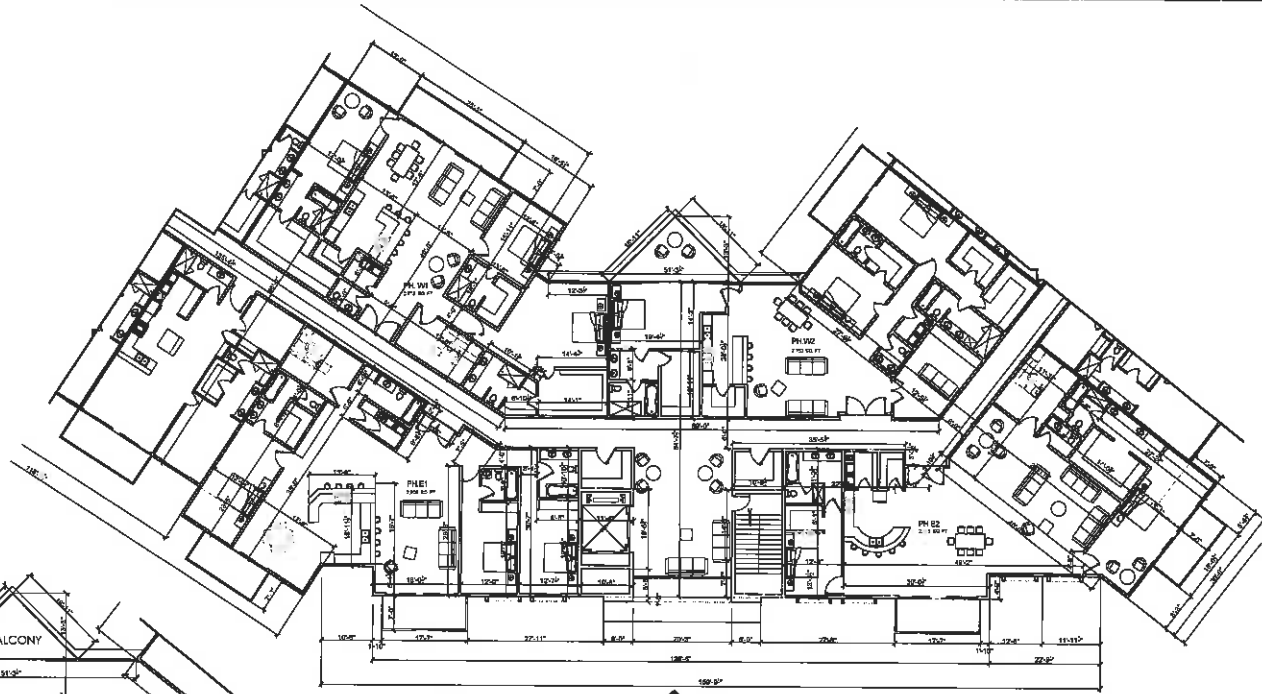
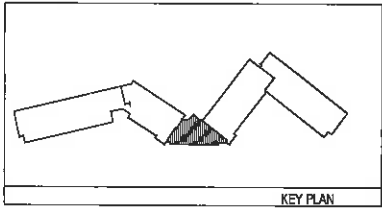
DESERT SPRINGS FINANCIAL L.L.C.
PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS
LANDAU BLVD. CATHEDRAL CITY CA 92234

SHEET TITLE

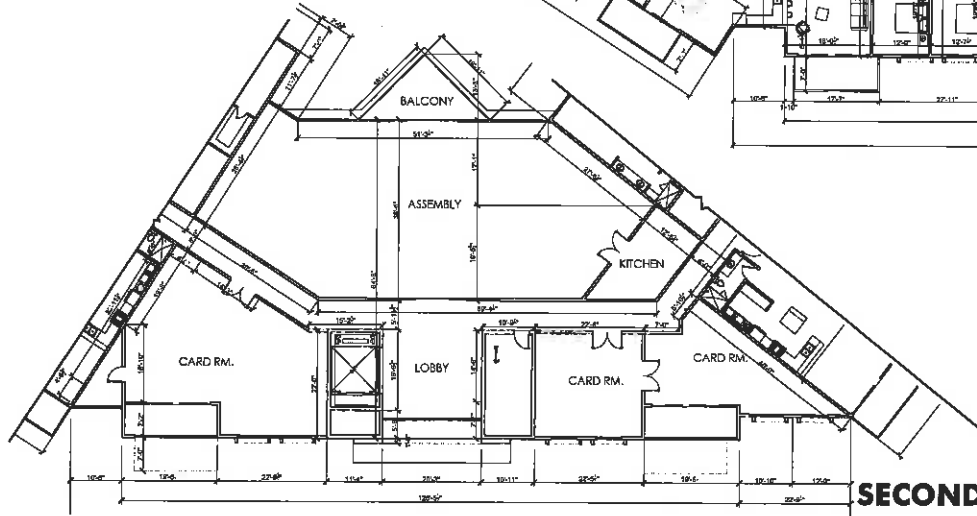
MAY 23, 2019 SCALE AS NOTED

P7

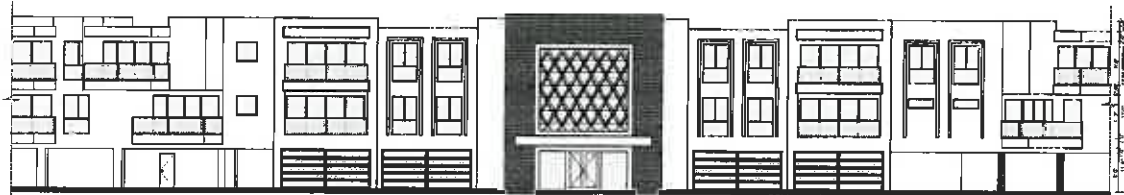
OF



THIRD FLOOR
SCALE: 1=10'



SECOND FLOOR
SCALE: 1=10'



TYPICAL ELEVATION
EAST ELEVATION SCALE: 1=10'

4 PENTHOUSES/ RECREATION

WKS

ARCHITECTS
WILLIAM K. SPENCER
PRINCIPAL ARCHITECT
C-4843

71-946 Eleanora Lane
Rancho Mirage, CA, 92270
TEL. 818-905-5099

OWNER

**DESERT SPRINGS
FINANCIAL L.L.C.**

MURRAY ALTMAN MGR.
760.985.7742

DESERT SPRINGS FINANCIAL L.L.C.
PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS
LANDAU BLVD. CATHEDRAL CITY CA 92234

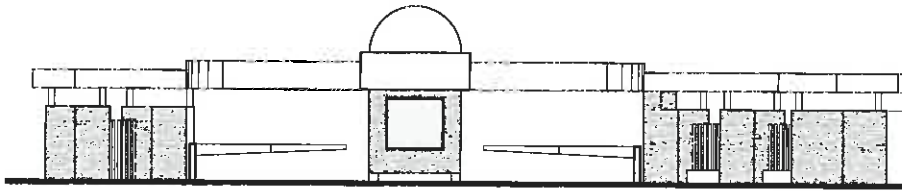
SHEET TITLE

May 28, 2019

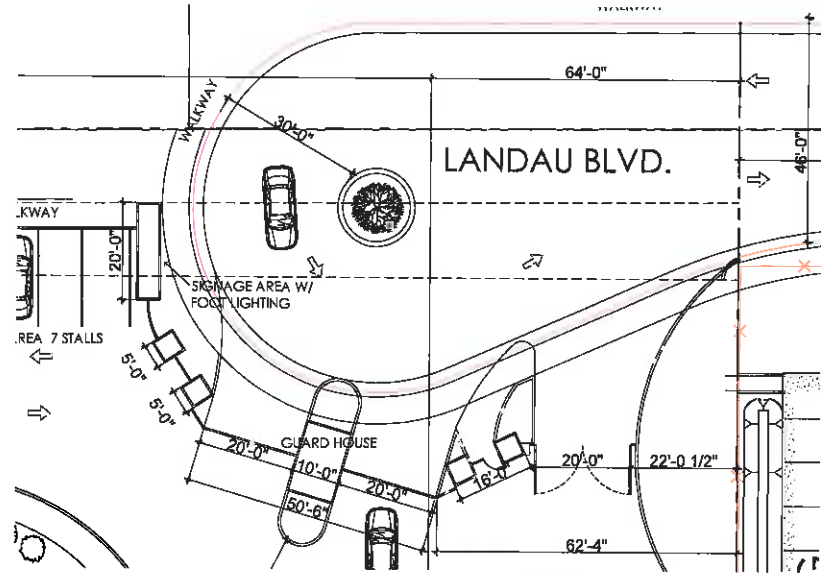
SCALE
AS NOTED

P8

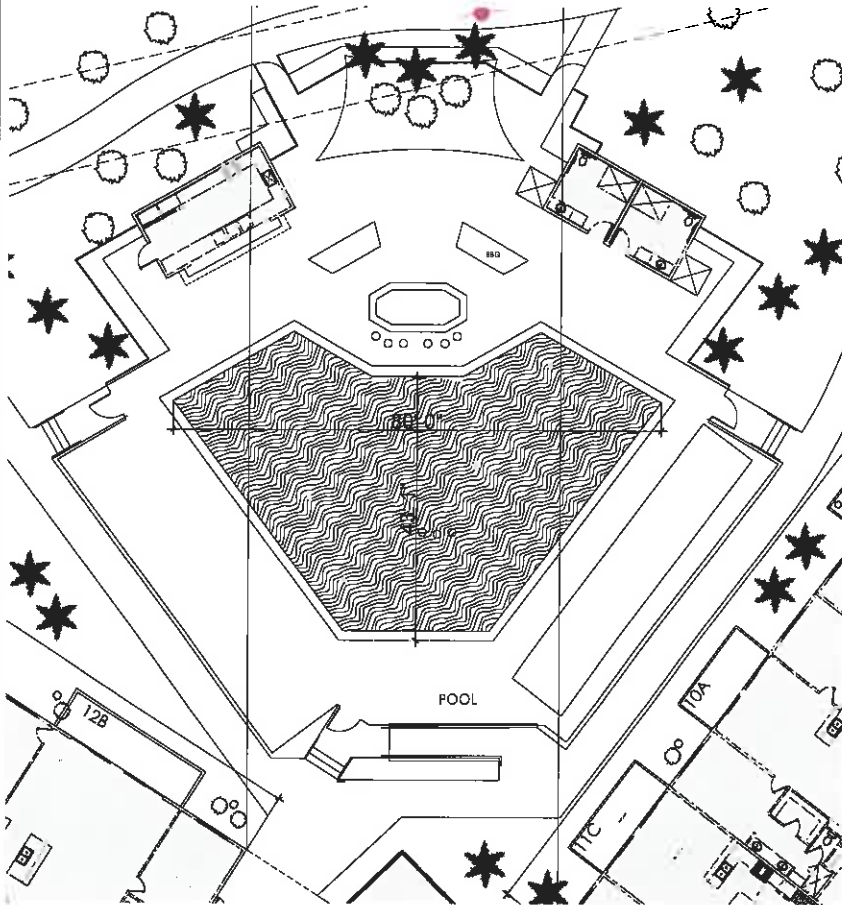
OF



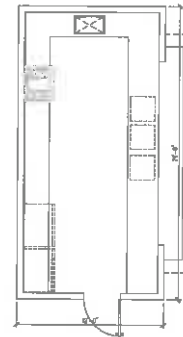
ENTRY ELEVATION
SCALE 3/16"=1'-0"



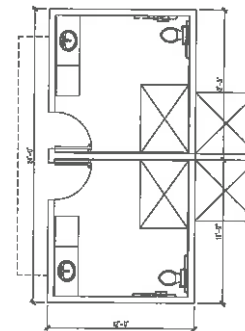
ENTRY FLOOR PLAN
SCALE 1/8"=1'-0"



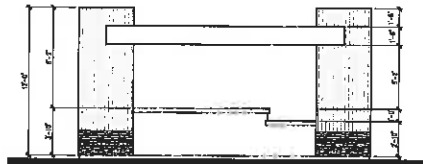
POOL AREA FLOOR PLAN
SCALE 1/8"=1'-0"



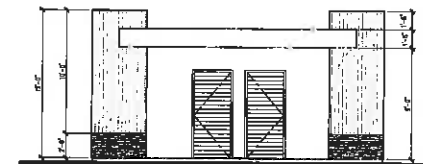
FLOOR PLAN
CONCESSION KIOSK SCALE 1/4"=1'-0"



FLOOR PLAN
RESTROOMS SCALE 1/4"=1'-0"



ELEVATION
CONCESSION KIOSK SCALE 1/4"=1'-0"



ELEVATION
RESTROOMS SCALE 1/4"=1'-0"

WKS

ARCHITECTS
WILLIAM K. SPENCER
PRINCIPAL ARCHITECT
C-4848

71-946 Eleanora Lane
Rancho Mirage, CA 92270
TEL 918-403-0289

OWNER

DESERT SPRINGS FINANCIAL L.L.C.

MURRAY ALTMAN MGR.
760.965.7742

DESERT SPRINGS FINANCIAL L.L.C.

PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS

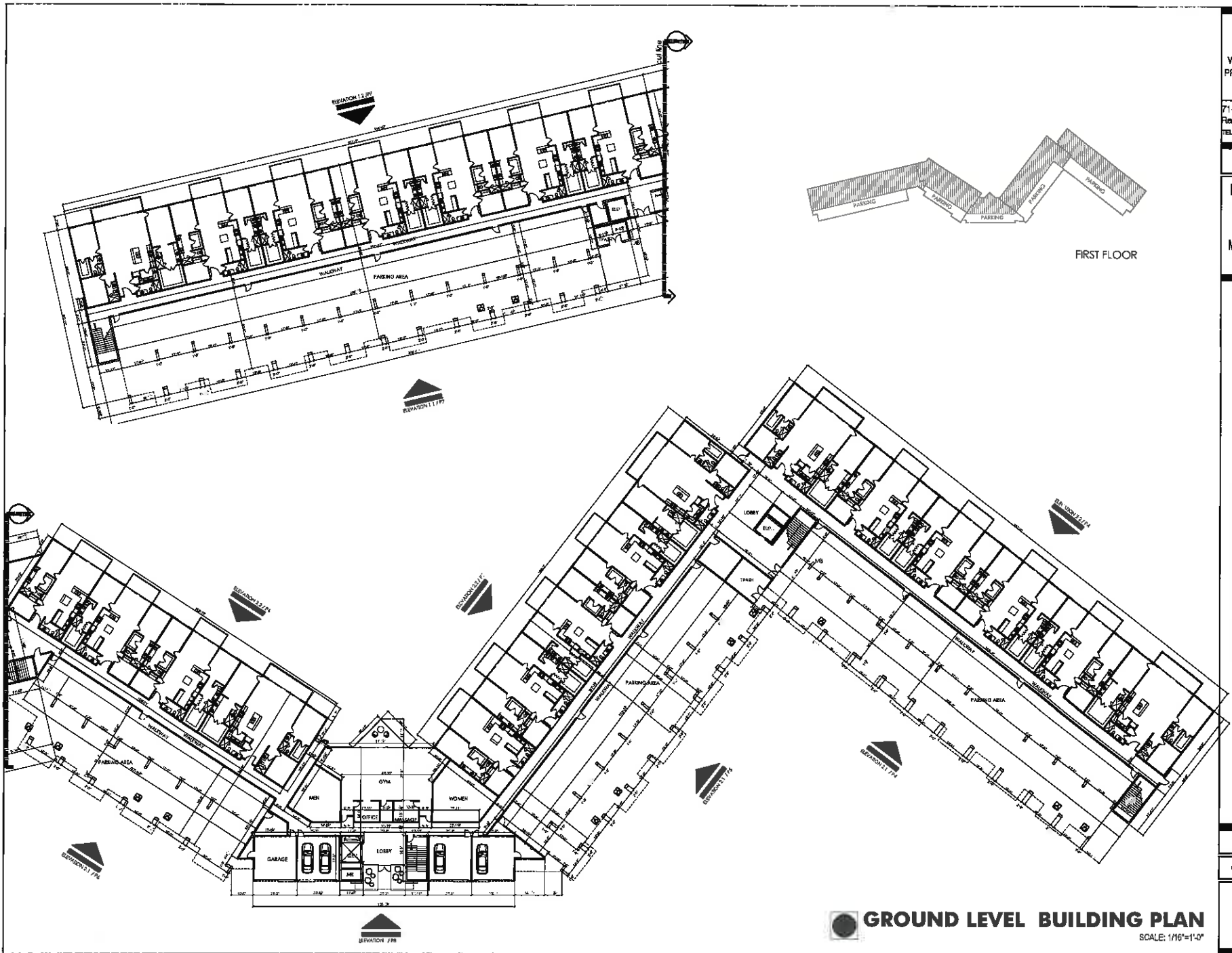
LANDAU BLVD. CATHEDRAL CITY CA 92234

SHEET TITLE

May 28, 2010

SCALE AS NOTED

P9



WKS
ARCHITECTS
 WILLIAM K. SPENCER
 PRINCIPAL ARCHITECT
 C-4843

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 TEL. 918-403-3088

OWNER

DESERT SPRINGS
 FINANCIAL L.L.C.

MURRAY ALTMAN MGR.
 760.985.7742

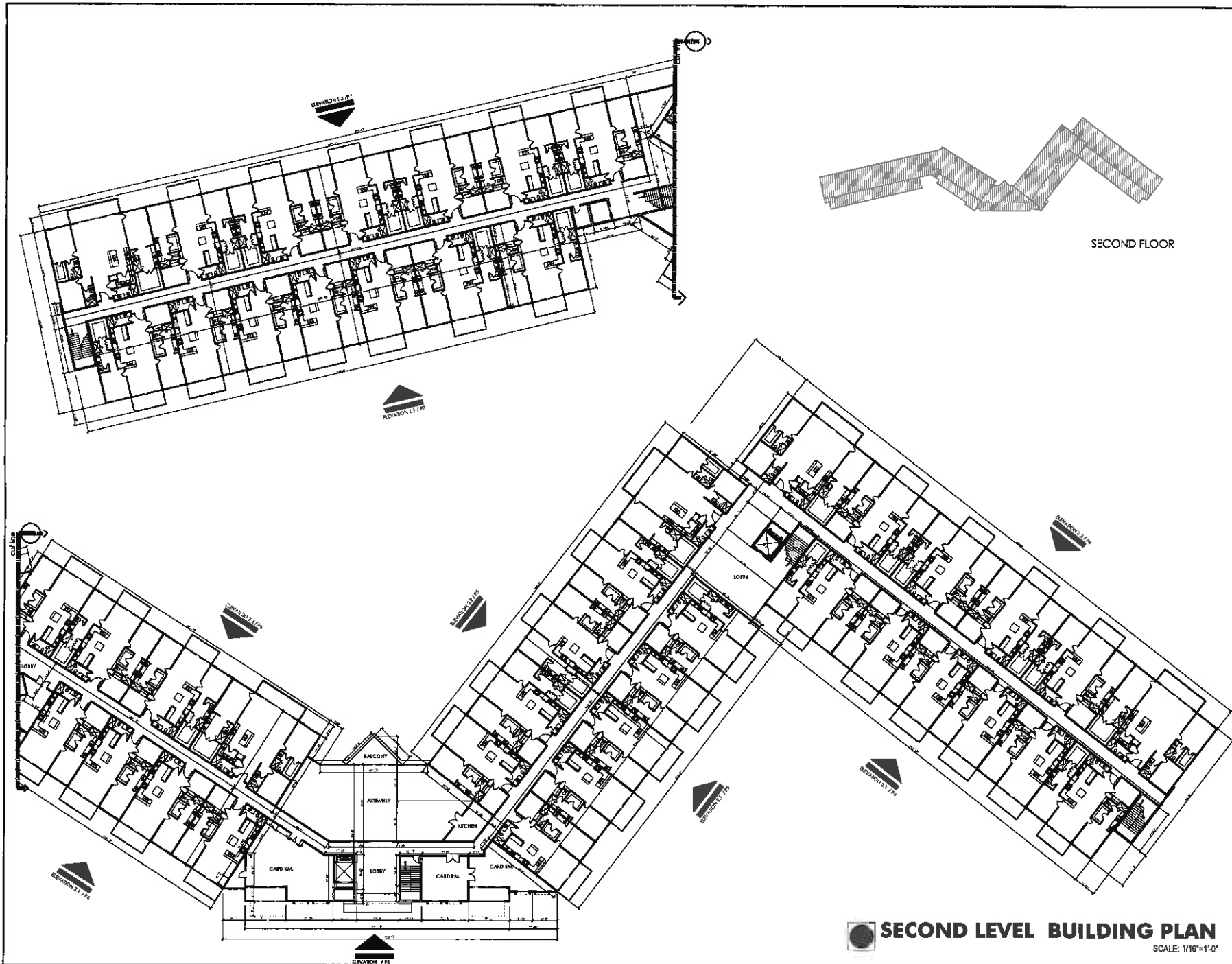
DESERT SPRINGS FINANCIAL L.L.C.
PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS
 LANDAU BLVD. CATHEDRAL CITY CA 92234

SHEET TITLE

May 28, 2019 SCALE AS NOTED

B3

GROUND LEVEL BUILDING PLAN
 SCALE: 1/16"=1'-0"



WKS
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 WILLIAM K. SPENCER
 PRINCIPAL ARCHITECT
 C-4943

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OWNER

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DESERT SPRINGS FINANCIAL L.L.C.

PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS

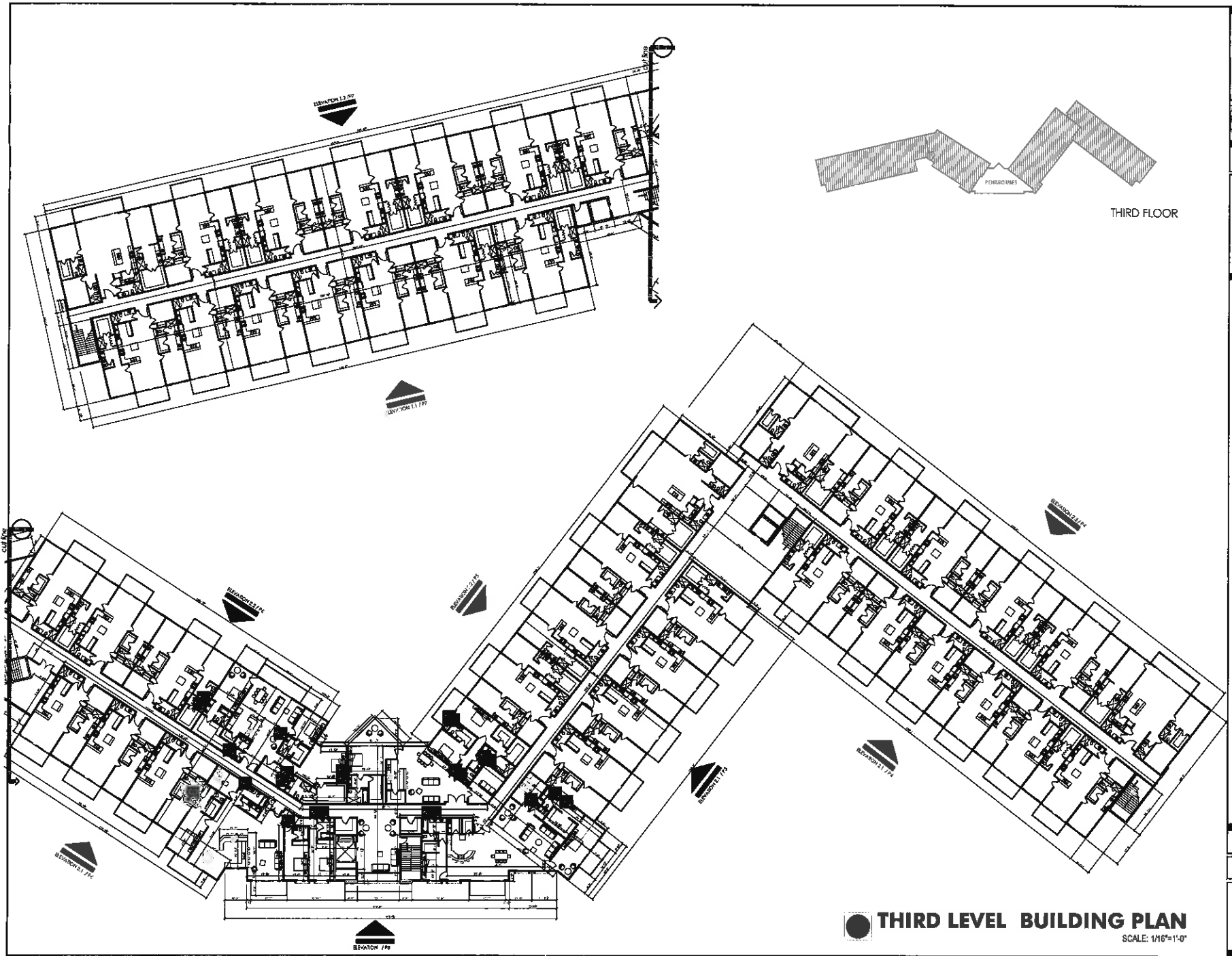
LANDAU BLVD. CATHEDRAL CITY CA 92234

SHEET TITLE

May 28 2011 SCALE AS SHOWN

SECOND LEVEL BUILDING PLAN
 SCALE: 1/16"=1'-0"

B4



WKS
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 PRINCIPAL ARCHITECT
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OWNER

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DESERT SPRINGS FINANCIAL L.L.C.

PALM CITY 110 ACTIVE ADULTS LUXURY CONDOMINIUMS

LANDAU BLVD. CATHEDRAL CITY CA 92234

SHEET TITLE

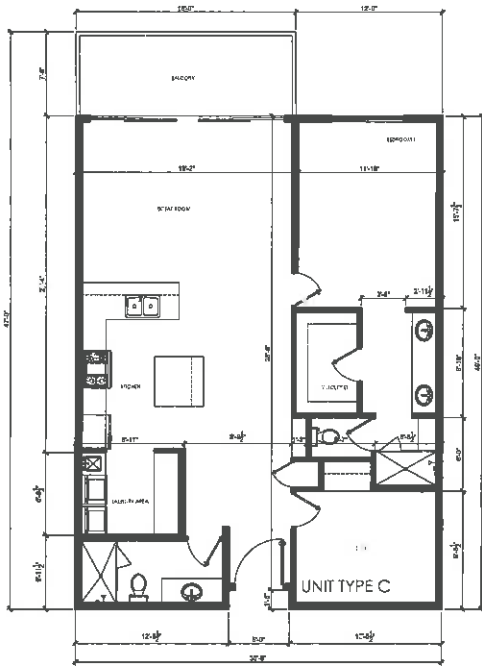
May 28 2010

SCALE

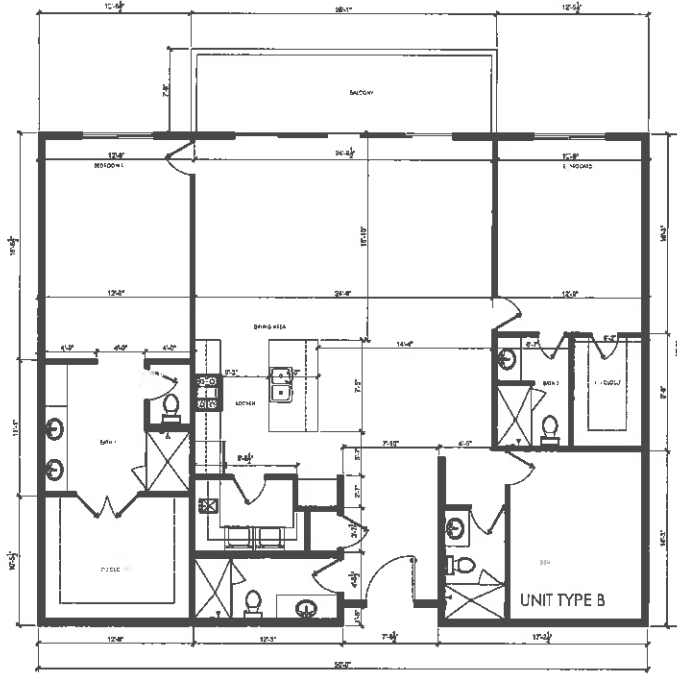
REVISED

B5

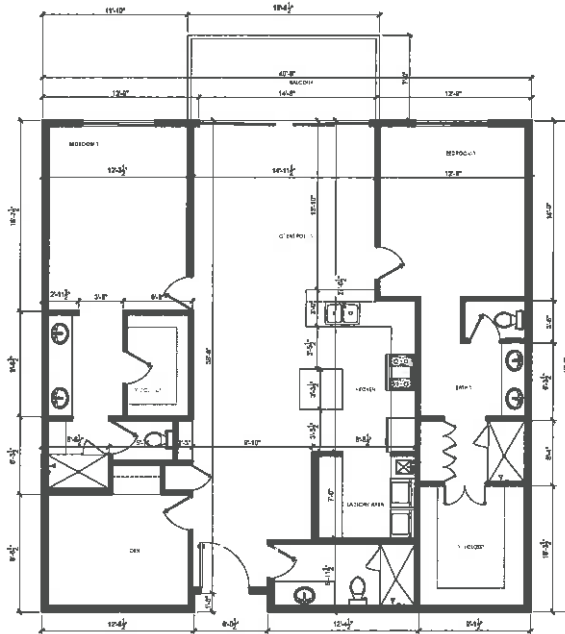
THIRD LEVEL BUILDING PLAN
 SCALE: 1/16"=1'-0"



1,200 SQ. FT.



2,000 SQ. FT.



1,600 SQ. FT.

BUILDING AND UNIT TYPES			
		LIVING AREA	PATIO
UNITS A	57	TYPICAL UNIT A: 1,600 SQ. FT.	109 SQ. FT.
UNITS B	14	TYPICAL UNIT B: 2,000 SQ. FT.	179 SQ. FT.
UNITS C	35	TYPICAL UNIT C: 1,200 SQ. FT.	128 SQ. FT.
UNITS TOTAL: 106		TOTAL LIVING AREA: 180,200 SQ. FT.	

UNITS PLAN
SCALE: 1/4"=1'-0"

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PRINCIPAL ARCHITECT
C-4843

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760.985.7742

DESERT SPRINGS FINANCIAL L.L.C.
PALM CITY 108 ACTIVE ADULTS LUXURY CONDOMINIUMS
LANDAU BLVD. CATHEDRAL CITY CA 92234

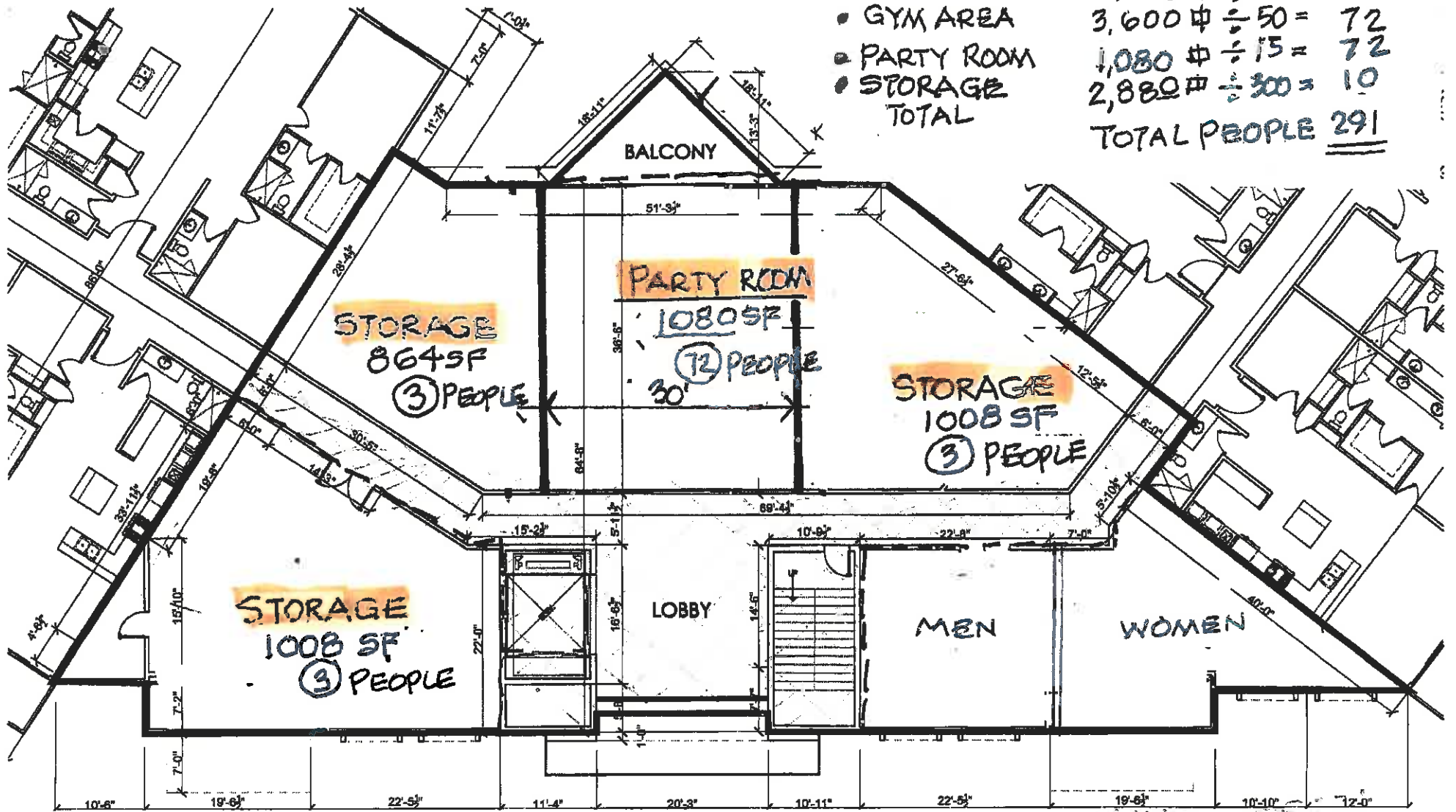
SHEET TITLE

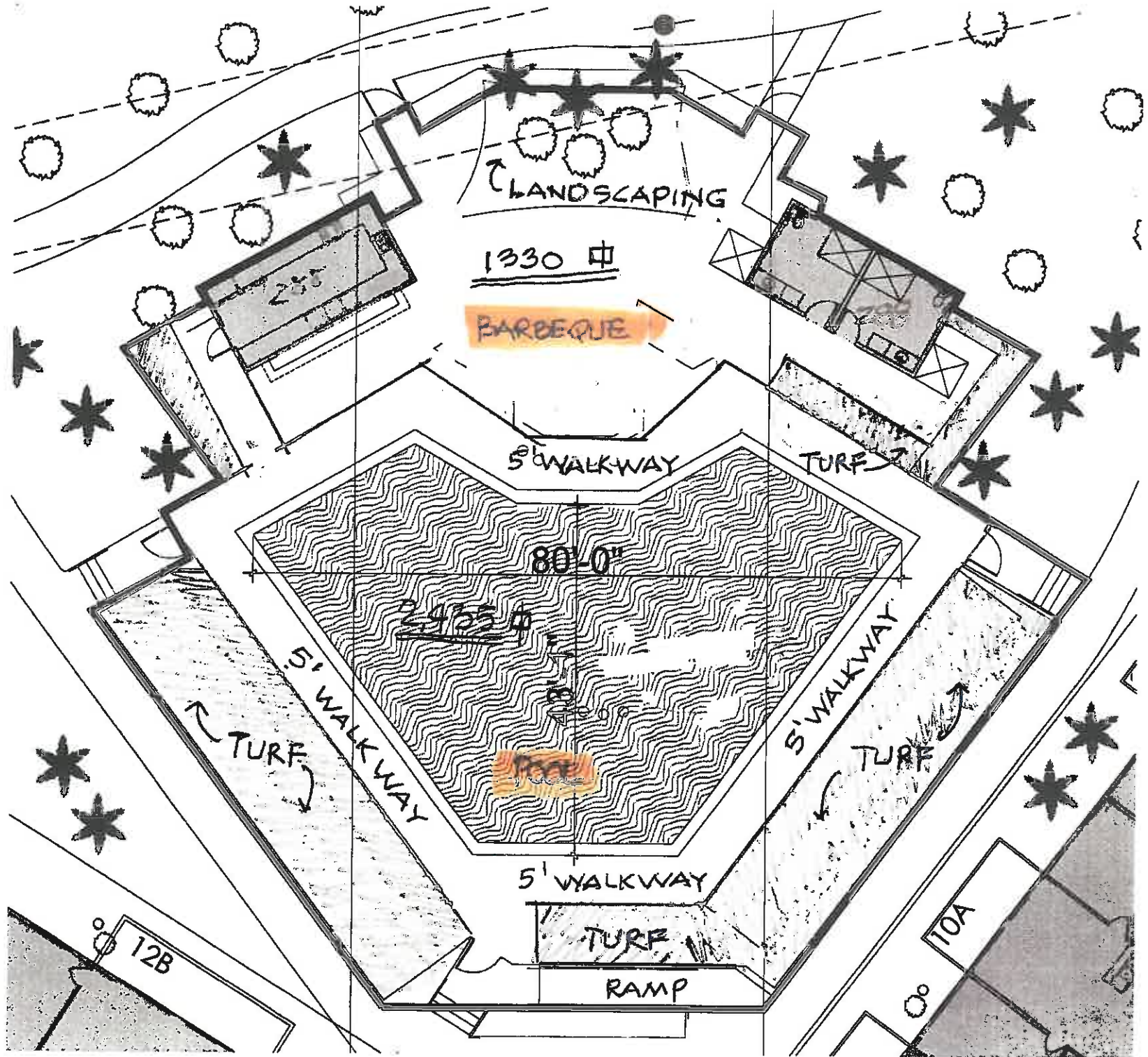
May 28, 2010 SCALE AS NOTED

P2
OF

OCCUPANCY TOTALS PEOPLE WITH-IN ONE SQ. ACRE ↓

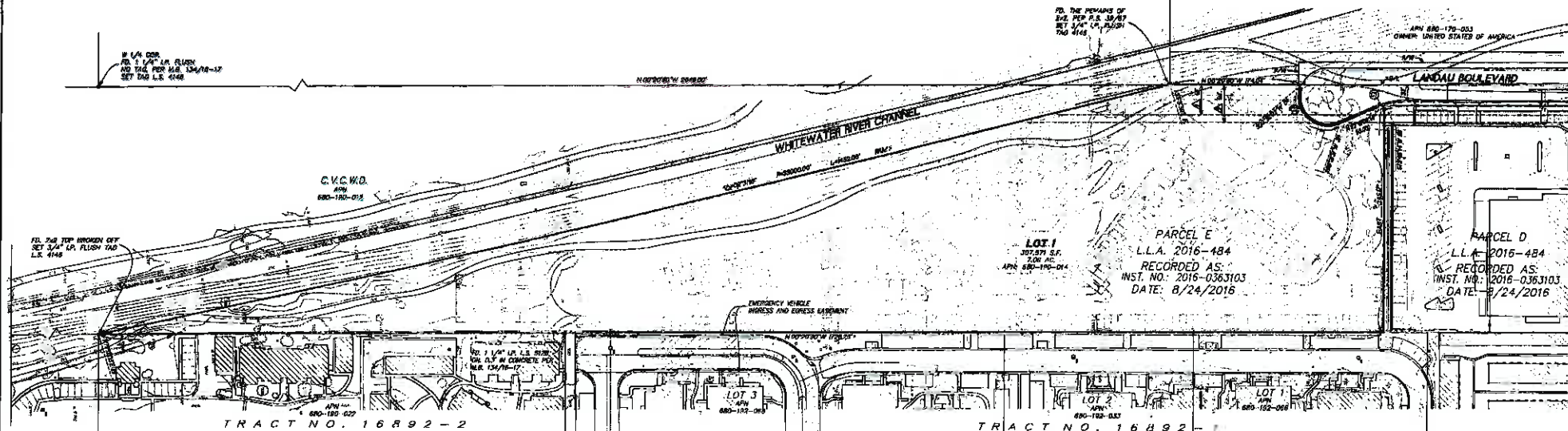
- POOL WATER 2,435 \div 50 = 49
 - BARBEQUE AREA 1,330 \div 15 = 88
 - GYM AREA 3,600 \div 50 = 72
 - PARTY ROOM 1,080 \div 15 = 72
 - STORAGE 2,880 \div 300 = 10
- TOTAL TOTAL PEOPLE 291**





IN THE CITY OF CATHEDRAL CITY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
TENTATIVE TRACT MAP NO. 37745
 BEING A SUBDIVISION OF A PORTION OF THE WEST 1/2 OF
 THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 5 EAST, S.B.M.
 SANBORN ARCHITECTURE GROUP, Inc. JANUARY 2016

AREA	AREA	LENGTH	PERCENT
1	2	3	4
5	6	7	8
9	10	11	12



TENTATIVE TRACT MAP NO. 37745
 BY
DESERT SPRINGS FINANCIAL, L.L.C.

BEING A SUBDIVISION OF A PORTION OF THE WEST 1/2 OF THE
 NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 5 EAST

Copyright 2016
 Sanborn Architecture
 GROUP, Inc.

FLY DATE: 1/21/2016
 SCALE: 1"=80'

NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Cathedral City Planning Department will hold hearings on this item and should be contacted on non-ALUC issues. For more information please contact City of Cathedral Planner Ms. Brenda Ramirez at (760) 770-0330.

The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: August 8, 2019

TIME OF HEARING: 9:30 A.M.

CASE DESCRIPTION:

ZAP1076PS19 – Desert Springs Finance, LLC (Representative: William Spencer) – City of Cathedral City Case Nos. GPA18-003 (General Plan Amendment), CZ18-002 (Change of Zone), CUP18-024 (Conditional Use Permit), TTM37745 (Tentative Tract Map). A proposal to establish a 110 unit multi-family condominium complex with amenities on 7.06 acres, involving a Conditional Use Permit and a Tentative Tract Map, located at the southerly terminus of Landau Boulevard, southerly of Ramon Road, easterly of the Whitewater River/Coachella Valley Stormwater Channel, westerly of Banff Way, and northwesterly of Creekside Apartments. The applicant also proposes amending the City's General Plan designation of the site from Medium Density Residential to High Density Residential and changing the site's zoning from R2 Multiple Family Residential District to R3 Multiple Family Residential District (Airport Compatibility Zone D of the Palm Springs International Airport Influence Area).



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

PH.
ZONED
PALM
SPRINGS

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP 1076PS19 DATE SUBMITTED: 6/4/2019

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant: DESERT SPRINGS FINANCE LLC Phone Number: 760 985 7742
Mailing Address: 54885 INVERNESS WAY Email: maltman582@abl.com
LAQUINTA CA, 92250

Representative: WILLIAM SPENCER Phone Number: 818 9033099
Mailing Address: 71946 ELEANORA LANE Email: WKSarch@gmail.com
RACHO MIRAGE CA 92270

Property Owner: (SAME AS APPLICANT) Phone Number: _____
Mailing Address: _____ Email: _____

LOCAL JURISDICTION AGENCY

Local Agency Name: CATHEDRAL CITY PLANNING Phone Number: 760 770 0339
Staff Contact: BRENDA RAMIREZ Email: z@cathedralcity.gov
Mailing Address: 68-700 AVENIDA LALO Case Type: PM 30704
GUERRERO, CATHEDRAL CITY
CA, 92234
Local Agency Project No: GPA18-003/CZ18-002/CP18-024
 General Plan / Specific Plan Amendment
 Zoning Ordinance Amendment
 Subdivision Parcel Map / Tentative Tract
 Use Permit
 Site Plan Review/Plot Plan
 Other

PROJECT LOCATION: LANDAU BLVD, CATHEDRAL CITY
Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways: SEE VICINITY MAP

Street Address: UNKNOWN
Assessor's Parcel No.: 680-190-037 Gross Parcel Size: 7.06 AC
Subdivision Name: "PALM CITY" PM 30704 Nearest Airport and distance from Airport: _____
Lot Number: 037

PROJECT DESCRIPTION: 110 LUXURY CONDOMINIUMS
If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe): VACANT LAND

PAUL RW11 4183

Proposed Land Use (describe)	<u>110 LUXURY CONDOMINIUMS</u>		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	<u>110 UNITS</u>	
For Other Land Uses (See Appendix C)	Hours of Operation	<u>N/A</u>	
	Number of People on Site	Maximum Number	
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	<u>354.50</u>	ft.
	Height of buildings or structures (from the ground)	<u>35.00</u>	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	
	If yes, describe	<input checked="" type="checkbox"/> No	

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. (Only required if the project is scheduled for a public hearing Commission meeting)

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

4.1 Director's Approvals.

- A. During the period of June 16, 2019 through July 15, 2019, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Simon Housman reviewed three non-legislative cases within Zones D and E of various Airport Influence Areas and issued determinations of consistency.

ZAP1016PV19 (Perris Valley Airport Influence Area, Zone D) pertains to City of Perris Case No. DPR-1800010 (Development Plan Review), a proposal to establish a 9,900 square foot cannabis processing building and four (4) 18,900 square foot greenhouse cultivation structures on 5.94 acres located on the northerly side of Mapes Road, westerly of Goetz Road and easterly of A Street. The site is located within Compatibility Zone D of the Perris Valley Airport Influence Area (as well as within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area). Within the portions of Compatibility Zone D southerly of Ellis Avenue in the Perris Valley Airport Influence Area, nonresidential intensity is limited to an average of 100 persons per acre and a maximum of 300 persons in any given single-acre area. The proposed buildings would cumulatively accommodate a total of 302 people (50 people in the cannabis processing building and 252 people in the four greenhouse buildings), resulting in an average intensity of 51 persons per acre and a single-acre intensity of 126 persons, both of which are consistent with Zone D intensity criteria. The nearest runway to the site is Runway 15-33 at Perris Valley Airport. The southerly terminus of this runway is located approximately 2,380 feet easterly of the project site. At this distance, given the runway elevation of 1,413 feet above mean sea level (AMSL), Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any new structures with top of roof exceeding 1,436 feet AMSL. The site has an existing maximum elevation of 1,424 feet AMSL. With a proposed building height of 18 feet, the resulting top point elevation is 1,442 feet AMSL. Therefore, FAA OES review for height/elevation reasons was required. The project applicant submitted Form 7460-1 to the FAA OES, and FAA OES assigned Aeronautical Study No. 2019-AWP-6374-OE to this proposal. The aeronautical study revealed that the proposed structure would not exceed obstruction standards and would not be a hazard to air navigation, provided conditions are met. Therefore, FAA OES issued a "Determination of No Hazard to Air Navigation" letter on June 18, 2019. The FAA OES conditions were incorporated into ALUC's conditions, and ALUC Director Simon Housman issued a determination of consistency for this project on June 27, 2019.

ZAP1077PS19 (Palm Springs International Airport Influence Area, Zone E) pertains to City of Cathedral City Case No. DR19-001 (Design Review), a proposal to construct a 4,340 square foot Denny's restaurant building on a 1.45-acre pad within an existing commercial center located at 67800 Vista Chino, on the northwest corner of Vista Chino and Landau Boulevard. The site is located within Airport Compatibility Zone E of the Palm Springs International Airport Influence Area, where non-residential intensity is not restricted. The elevation of Runway 13R-31L at Palm Springs International Airport at its southerly terminus is approximately 395.5 feet above mean sea level (AMSL). At a distance of approximately 10,600 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 501.5 feet AMSL. The

site's finished floor elevation is 421.8 feet AMSL, and the proposed building height is 22 feet, resulting in a top point elevation of 443.8 feet AMSL. Therefore, FAA OES review was not required. ALUC Director Simon Housman issued a determination of consistency for this project on June 27, 2019.

ZAP1373MA19 (March Air Reserve Base/Inland Port Airport Influence Area, Zone D) pertains to County of Riverside Case No. PM37397 (Tentative Parcel Map), a proposal to divide 5.47 gross acres located northerly of Costello Avenue, westerly of Brown Street, easterly of Alexander Street, and southerly of Oleander Avenue into four (4) residential lots. The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area, where residential density is not restricted. The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (AMSL). At a distance of 14,700 feet from the runway to the project site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top point exceeding 1,635 feet AMSL. The project site elevation is 1,660 feet AMSL. The parcel map depicts existing buildings, and no new structures are proposed at this time. Review by the FAA OES is not a prerequisite to land division, but will be required prior to construction of new buildings or any other structures on the parcels. A condition has been included requiring that the permittee obtain a "Determination of No Hazard to Air Navigation" letter from the FAA OES prior to issuance of building permits for any new structures on the property. ALUC Director Simon Housman issued a determination of consistency for this project on July 11, 2019.

- B. Additionally, ALUC Director Simon Housman reviewed one jurisdiction-initiated non-impact case pursuant to ALUC Resolution No. 2011-02 and issued a determination of consistency.

ZAP1091FV19 (City of Murrieta, Citywide, including portions within the French Valley Airport Influence Area) pertains to City of Murrieta Case No. DCA-2019-1923 (Ordinance Amendment), an amendment to the City's Development Code (Title 16 of the Murrieta Municipal Code) revising Section 16.20 relating to Density Bonuses. The new Section 16.20 focuses on permit processing requirements allowing for the density bonuses, incentives, concessions, and waivers mandated by Section 65915 of the California Government Code. It does not provide for any bonuses, incentives, or waivers in addition to those required by State law. The existing Section 16.20 already provided for the same levels of density bonuses as provided in State law, and the revised section simply refers to the State law as to the density bonus levels; therefore, this amendment does not result in an increase in residential density or non-residential intensity. As such, it has no impact on the safety of air navigation within the portions of the City of Murrieta within the French Valley Airport Influence Area. ALUC Director Simon Housman issued a determination of consistency for this project on July 11, 2019.

- C. Additionally, as authorized pursuant to ALUC Resolution No. 2015-01, as extended by Resolution Nos. 2016-02 and 2018-02, ALUC Director Simon Housman reviewed one legislative case (with an associated non-legislative case) within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Areas and issued a determination of consistency.

ZAP1372MA19 pertains to City of Riverside Case Nos. P19-0321 (Rezone), a proposal to change the zoning of 4.19 acres located at 1751 Spruce Street (on the northerly side of Spruce Street, westerly of Chicago Avenue, and easterly of Interstate 215) from I-SP – General Industrial – Specific Plan (Hunter Business Park) Overlay Zones to I-BSR-SP – General Industrial – Business Support Retail – Specific Plan (Hunter Business Park) Overlay Zones, and P19-0322 (Conditional Use Permit), a proposal to establish a brewpub facility within an existing 15,300 square foot warehouse building on this property. (An associated Variance [Case No. P19-0324] proposes to reduce the number of parking spaces required for the project.) The site is

located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area, where nonresidential intensity is not limited. Both the existing and proposed zoning are consistent with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. The site elevation is more than 600 feet lower than the elevation of March's Runway 14-32 at its northerly terminus, and the site is more than 29,300 feet from the runways at Riverside Municipal Airport. Flabob Airport is approximately 16,200 feet away, but as Flabob's runway does not exceed a length of 3,200 feet, the notice radius for that airport is only 10,000 feet, and the notice surface is evaluated on the basis of a 50:1 slope, rather than a 100:1 slope. Therefore, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review for height/elevation reasons was not required. A determination of consistency for this project was issued by ALUC Director Simon Housman on July 11, 2019.

4.2 ALUC Commissioner Recusals

ALUC Counsel Raymond Mistica will provide an oral briefing to the Commissioners.

4.3 Commission Request for Notification of Off-Field Landings

ALUC Director Simon Housman will provide a briefing for the Commission.

4.4 The FAA Glare Policy

ALUC staff will provide a briefing to the Commissioners regarding the use of the FAA's Interim Glare Policy on ALUC solar cases.



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

June 27, 2019

Ms. Mary Blais, Project Planner
City of Perris Planning Division
101 N. D Street
Perris CA 92570-2200

CHAIR
Steve Manos
Lake Elsinore

VICE CHAIR
Russell Betts
Desert Hot Springs

COMMISSIONERS
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John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lennon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1016PV19
Related File No.: DPR-1800010
APN: 330-080-006

Dear Ms. Blais:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Perris Case No. DPR-1800010 (Development Plan Review), a proposal to establish a 9,900 square foot cannabis processing building, and four 18,900 square foot greenhouse cultivation structures on 5.94 gross acres, located on the northerly side of Mapes Road, westerly of Goetz Road and easterly of A Street.

The site is located within Compatibility Zone D of the Perris Valley Airport Influence Area and also within Compatibility Zone E of March Air Reserve Base/Inland Port Airport Influence Area. Within the portions of Compatibility Zone D southerly of Ellis Avenue in the Perris Valley Airport Influence Area, non-residential intensity is restricted to an average of 100 people per acre and a maximum of 300 people in any given single-acre area. Compatibility Zone E of March Air Reserve Base/Inland Port Airport Influence Area does not restrict non-residential intensity. The proposed buildings would cumulatively accommodate a total of a total of 302 people (50 people for the cannabis building and 252 people for the four greenhouse buildings), resulting in an average intensity of 51 persons per acre, and a single-acre intensity of 126 persons, both of which are consistent with Zone D intensity criteria.

The nearest runway to the site is Runway 15-33 at Perris Valley Airport. The southerly terminus of this runway is located approximately 2,380 feet easterly of the project site. At this distance, given the runway elevation of 1,413 feet above mean sea level (AMSL), Federal Aviation Administration (FAA) review would be required for any new structures with top of roof exceeding 1,436 feet AMSL. The site has an existing maximum elevation of approximately 1,424 feet above mean sea level, and a proposed building height of 18 feet, which results in a top point elevation of 1,442 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons was required. The project applicant submitted Form 7460-1 to the FAA OES, and FAA OES assigned Aeronautical Study Number 2019-AWP-6374-OE to this proposal. The aeronautical study revealed that the proposed structure would not exceed obstruction standards and would not be a hazard to air navigation, provided conditions are met. Therefore, FAA OES issued a “Determination of No Hazard to Air Navigation” letter on

AIRPORT LAND USE COMMISSION

June 18, 2019. The FAA OES conditions have been incorporated into ALUC's conditions listed below.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2010/2011 Perris Valley Airport Land Use Compatibility Plan, and the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Perris applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
4. The attached disclosure notice shall be provided to all potential purchasers, lessees, and/or tenants of the property, and shall be recorded as a deed notice.
5. Any ground-level or aboveground water detention basin or facilities shall be designed and maintained for a maximum 48-hour detention period after the design storm and remain totally dry between rainfalls. Vegetation around such facilities that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced to prevent contiguous canopy, when mature. Trees and bushes shall not produce fruit, seeds, or berries.

AIRPORT LAND USE COMMISSION

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

6. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study No. 2019-AWP-6374-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 2 and shall be maintained in accordance therewith for the life of the project.
7. The proposed buildings shall not exceed a height of 18 feet above ground level and a maximum elevation at top point of 1,440 feet above mean sea level.
8. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
9. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 18 feet in height and a maximum elevation of 1,440 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
10. Within five (5) days after construction of any individual building reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oaaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure(s).

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity
Aeronautical Study No. 2019-AWP-6374-OE

AIRPORT LAND USE COMMISSION

cc: Kameron Abraham (applicant/property owner)
Medical Supply Plus, Inc. (fee-payer)
Pat Conatser, Airport Manager, Perris Valley Airport
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\Perris Valley\ZAP1016PV19\ZAP1016PV19.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

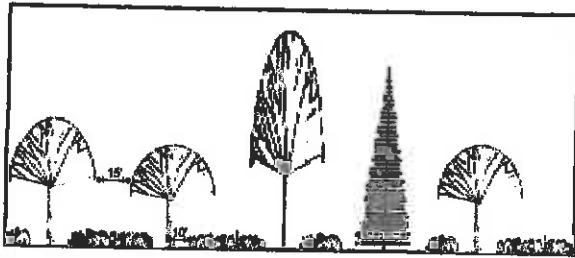


Figure 1. Selection of shrubs should be a mix of deciduous and coniferous species with no more than 50 percent evergreen species.

Plant Selection, Irrigation, and Wildlife Management. Riverside County requires landscaping for proposed development and redevelopment projects, and it is also committed to the use of native and drought-tolerant plants to reduce landscape-related water use. The County of Riverside Guide to California Friendly provides a lengthy plant palette to help landscape architects, planners, and the public select plant materials that will reduce water use in accordance with local and state goals: (http://ratlma.org/Portals/7/documents/landscaping_guidelines/Guide_to_California_Friendly_Landscaping.pdf.)

Many of the plants on the "County of Riverside California Friendly Plant List" could attract potentially hazardous wildlife species. Table 2 provides a reduced species list, nearly all of which were excerpted from the Friendly Plant List, but are less likely to support potentially hazardous wildlife. Project sponsors should use this list for projects within an AIA.

The list is not meant to be exhaustive, and other species may be appropriate based on the project location or other project-related circumstances. Sponsors who wish to propose plant materials that are not included in Table 1 will need to demonstrate to the ALUC that proposed species will be unlikely to attract hazardous wildlife to the AIA.

General Guidelines. Other factors can affect wildlife behavior. Landscaping can provide a food source, opportunities for shelter, nesting and perching. Proposed landscaping can help to discourage wildlife through the application of the following guidelines summarized below and described in Table 1.

- **Close the Restaurant!** Do not use plant material that produce a food source, such as edible fruit, seeds, berries, drupes, or palatable forage for grazing wildlife. When possible, select a non-fruiting variety or male cultivar.
- **No Vacancy!** Avoid densely branched or foliated trees; they provide ideal nesting habitat and shelter.
- **Prevent Loitering!** Select tree species that exhibit a vertical branching structure to minimize nesting and perching opportunities (Figure 1).

Table 1. Design Guidance for Plant Materials

TREES	Avoid/Prevent Contiguous Canopy
SHRUBS/VACUANTS/GRASSES	<ol style="list-style-type: none"> 1. Prevent overlapping crown structures. Contiguous crowns can provide safe passage for wildlife. Provide sufficient distance between plants to ensure that at least 15 feet of open space will remain between mature crowns (Figure 1). 2. Prevent homogenous canopy types and tree height. Variable canopy height will reduce thermal cover and protection from predators. <ul style="list-style-type: none"> ■ Provide significant variation between the type of canopy and height of the species, both at planting and at maturity. ■ Provide no more than 20% evergreen species on site, and never plant evergreens in mass or adjacent to each other.
	<p>Limit Coverage</p> <p>Limit the amount of cover and avoid massing to prevent the creation of habitat for birds or small mammals.</p> <ul style="list-style-type: none"> ■ Mix deciduous, herbaceous, and evergreen species. ■ Do not plant species in mass. At a minimum, provide sufficient spacing to equal the width of each species at maturity. Avoid species with the potential to creep near shrubs (Figure 2). ■ Provide at least 10 feet between trees and other species greater than 1 foot in height.
GROUND COVER/TURF	<p>Prevent the natural succession of landscape!</p> <p>Groundcover plays a transitional role between shrubs, grasses, and trees, and this succession creates an ideal habitat for diverse wildlife (see Figure 2).</p> <ol style="list-style-type: none"> 1. Provide a buffer and sharp edges between groundcover, turf, shrubs and trees, using hardscape or mulching. 2. When possible, use alternative groundcovers, such as decorative paving and hardscapes instead of planted groundcover/turf. 3. The use of groundcover/turf may be impractical or undesirable based on irrigation needs or site-specific conditions. Consider using the following: <ul style="list-style-type: none"> ■ Artificial turf in place of groundcover, which can reduce maintenance and eliminate irrigation needs (Figure 2A). ■ Porous concrete to cover smaller areas (Figure 2B). ■ Permeable pavers to provide visual interest while promoting drainage (Figure 2C).
	<p>Limit Coverage</p> <p>Limit the amount of cover and avoid massing to prevent the creation of habitat for birds or small mammals.</p> <ul style="list-style-type: none"> ■ Do not use vines to create overhead canopy or to cover structures. ■ Do not plant vines to grow on the trunk or branches of trees. ■ Minimize vines to areas of 5 feet or less in width. Vines require considerably more maintenance than other plant materials.
VINES	

Acceptable plants from the Riverside County Landscaping Guide



LANDSCAPING NEAR AIRPORTS: Special Considerations for Preventing or Reducing Wildlife Hazards to Aircraft

Landscaping makes a visual statement that helps to define a sense of space by complementing architectural designs and contributing to an attractive, inviting facility. In some cases, a landscaping plan can be used to restore previously disturbed areas. However, such landscape plans are not always appropriate near airports.

Wildlife can pose hazards to aircraft operations, and more than 15 wildlife strikes have been recorded at Riverside County. The Riverside County Airport Land Use Commission (ALUC) prepared this guidance for the preparation of landscape designs to support FAA's efforts to reduce wildlife hazards to aircraft. This guidance should be considered for projects within the Airport Influence Area (AIA) for Riverside County Airports. The following landscape guidance was developed by planner, landscape architects and biologists to help design professionals, airport staff, and other County departments and agencies promote sustainable landscaping while minimizing wildlife hazards at Riverside County public-use airports.

Discouraging Hazardous Wildlife. Plant selections, density, and the configuration of proposed landscaping can influence wildlife use and behavior. Landscaping that provides a food source, perching habitat, nesting opportunities, or shelter can attract raptors, flocking birds, mammals and their prey, resulting in subsequent risks to aviators and the traveling public.

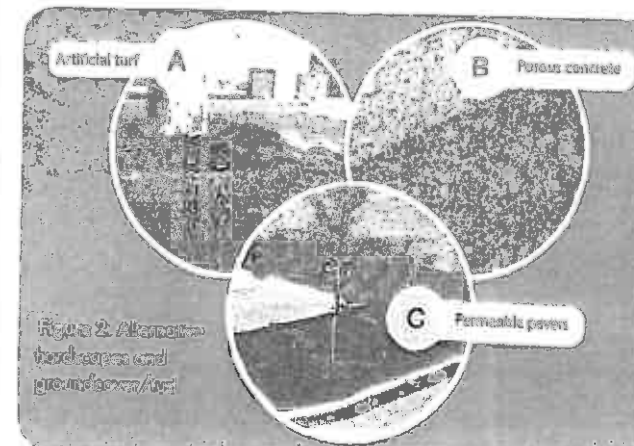
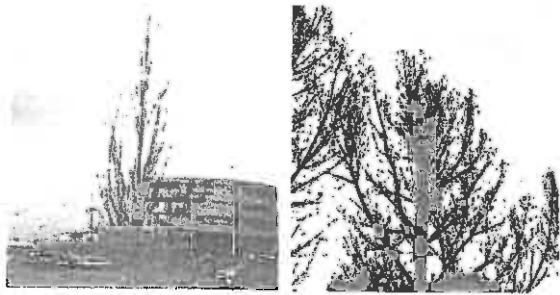
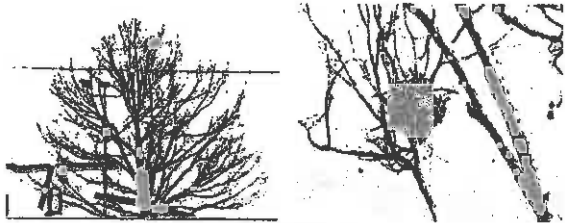


Figure 2. Alternative hardscapes and groundcover/turf



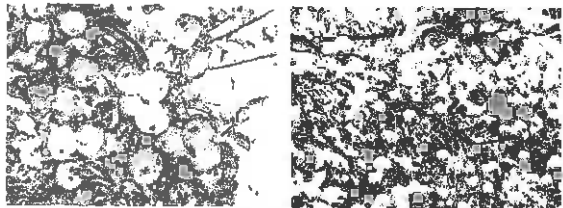
Acceptable.

The trees above have a vertical branching structure that minimizes perching and nesting opportunities.



Not acceptable.

Examples of trees that are attractive to birds because of horizontal branching structure.

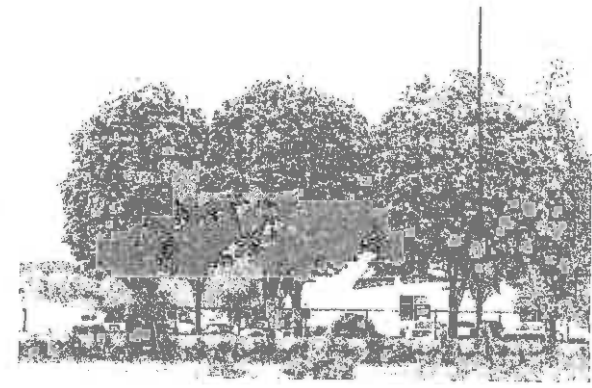


Not acceptable.

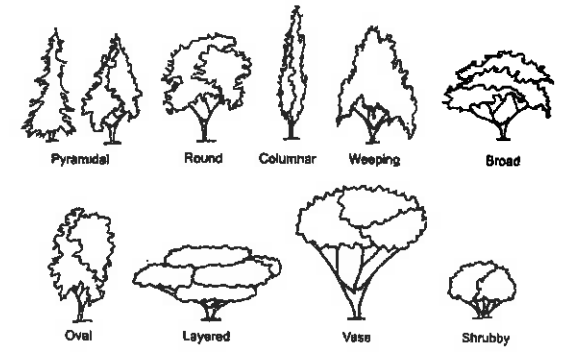
Trees, shrubs and plants that produce wildlife edible fruit and seeds should be avoided.

TABLE 2: Acceptable Plants from Riverside County Landscaping Guide

Plant Type	Common Name	Height (m)	Spread (m)	
TREES	<i>Cercis occidentalis</i>	Western Redbud	VL: 1, 2, L: 3, 4 2-24	
	<i>Olea europaea</i> 'Swan Hill'	Fruitless Olive	GL: 1, 2; L: 3, 4, M: 5, 6 8, 9; 11-24	
	<i>Pinus</i> spp.	Pine, various species	Varies by species Varies by species	
	<i>Rhus lancea</i>	African Sumac	L: 1-4; M: 5-6 8-9; 12-24	
	<i>Robinia neomexicana</i> *	Desert Locust	L: 1-4; M: 5-6 2-3, 7-11, 14, 18-24	
	<i>Robinia x ambigua</i>	Locust	L: 1-4; M: 5-6 2-24	
	<i>Ulmus parvifolia</i>	Chinese Elm	M: 1-6 3-24	
	<i>Aloysia triphylla</i>	Lemon Verbena	L: 1-6 9-10; 12-21	
	<i>Cistus</i> spp.	Rockrose	L: 1-6 6-9, 14-24	
	<i>Dalea pulchra</i>	Bush Dalea	L: 6 12, 13	
SHRUBS	<i>Encelia farinosa</i>	Brittlebush	VL: 3; L: 3-6	
	<i>Gravellia Noellii</i>	Noel's Grevelia	L: 1-4; M: 6	
	<i>Justicia californica</i>	Chuparosa	M: 1, 6; VL: 3; L: 4-5	
	<i>Langana camara</i>	Bush lantana	L: 1-4; M: 6	
	<i>Lavendula</i> spp.	Lavender	L: 105; M: 5-6 2-24; varies	
	<i>Nandina domestica</i> species	Heavenly Bamboo	L: 1-4; M: 5-6	
	<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary	L: 1-4; M: 5-6	
	<i>Salvia greggia</i>	Autumn sage	L: 1-4; M: 5-6	
	<i>Artemisia pycnocephala</i>	Sandhill Sage	VL: 1	
	<i>Oenothera caespitosa</i>	White Evening Primrose	L: 1-2, 3-5 103, 7-14, 18-21	
GROUND COVER	<i>Oenothera stubbei</i>	Baja Evening Primrose	L: 1-6 10-13	
	<i>Penstemon baccharifolius</i>	Del Rio	L: 4-6 10-13	
	<i>Trachelospermum jasminoides</i>	Star Jasmine	M: 1-6 8024	
	<i>Zauschneria californica</i>	California Fuchsia	L: 1, 2, 4; VL: 3; M: 5-6 2011, 14-24	
	<i>Cortaderia dioica</i> [syn. <i>C. selloana</i>]	Pampass Grass	N/A N/A	
	<i>Festuca</i> spp.	Fescue	Varies by Species Varies by Species	
	<i>Zoysia 'Victoria'</i>	Zoysia Grass	60% of ETD 8-9, 12-24	
	GRASSES	<i>Agave</i> species	Agave	L: 1-4, 6 10, 12-24 (Varies)
		<i>Aloe</i> species	Aloe	L: 1-4, 6 8-9, 12-24
		<i>Chondropetalum lictorum</i>	Cape Rush	H: 1; M: 3 8-9, 12-24
<i>Dasylium</i> species		Desert Spoon	VL: 1, 4-6 10-24	
<i>Deschampsia caespitosa</i>		Tufted Hair Grass	L: 1-4 2-24	
<i>Festuca (ovina) glauca</i>		Blue Fescue	L: 1-2; M: 3-6 1-24	
<i>Dietes bicolor</i>		Fortnight Lily	VL: 1, L: 3-6 VL: 1, L: 3-6	
<i>Echinocactus grusonii</i>		Golden Barrel Cactus	VL: 1-2, L: 3-4, 6 12-24	
<i>Fouquieria splendens</i>		Octillio	L: 1, 4-6; VL: 3 10-13, 18-20	
<i>Hesperaloe parviflora</i>		Red / Yellow Yucca	VL: 3, L: 4-6 26, 3, 7-16, 18-24	
ACCENT GRASSES	<i>Muhlenbergia rigens</i>	Deer Grass	L: 1, 3; M: 2, 4-6 4-24	
	<i>Opuntia</i> species	Prickly Pear, Cholla	VL: 1-3; L: 4-6 Varies by Species	
	<i>Penstemon parryi</i>	Parry's Beardtongue	L: 1-6 10-13	
	<i>Penstemon superbus</i>	Superb Beardtongue	L: 1-6 10-13	
	<i>Tulbaghia violacea</i>	Society garlic	M: 1-4, 6 13-24	
	<i>Yucca</i> species	Yucca	L: 1-6 Varies by Species	



Not recommended are trees that overlap, allowing birds to move safely from tree to tree without exposure to the weather or predators.



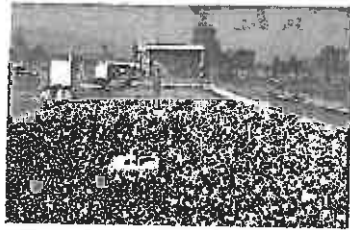
Trees approved for planting should have varied canopy types and varied heights, both at time of planting and at maturity. A combination of the styles illustrated above is recommended.



Adaptive measures such as liners, a concrete basin, and overhead wire grid can make extended detention strategies less attractive to hazardous wildlife.



Vegetated bioswales improve water quality and prevent water accumulation. However, dense and tall vegetation may be attractive to hazardous wildlife.



Infiltration basins with rock bottoms are less attractive to birds because they mask water and do not provide vegetation.



STORMWATER BEST-MANAGEMENT PRACTICES

Riverside County and its incorporated cities require water quality/stormwater management controls for development and redevelopment projects. The Riverside Conservation District has prepared a separate Water Quality Management Plan for each watershed in the County that identifies treatment control Best Management Practices (BMPs) for improving water quality and managing stormwater volumes/flows following the design storm (i.e., 24-hour storm). Structural BMPs identified in Riverside County guidance and their compatibility within the AIA are summarized in Table 1.

ADDITIONAL RESOURCES/MORE INFORMATION:

- Riverside County Flood Control and Water Conservation District, Water Quality Management Webpage. Available at: <http://rcflood.org/npdes>.
- FAA Advisory Circular 150/5200-33, "Wildlife Hazard Attractants On and Near Airports": https://www.faa.gov/documentLibrary/media/advisory_circular/150-5200-33B/150_5200_33b.pdf.
- Airport Cooperative Research Program, Balancing Airport Stormwater and Bird Hazard Management: https://www.nap.edu/login.php?action=guest&record_id=22216.

Table 2. Recommended Measures to Reduce Wildlife Attraction Associated with Stormwater BMPs

BMP Characteristic	Recommended Design Measure
Exposed Surface Water <ul style="list-style-type: none"> • Especially attractive to waterfowl, shorebirds, and flocking birds. • Provides source for drinking and nest building. • More attractive when constructed near other open water features or ponds. 	<ul style="list-style-type: none"> • Reduce availability by providing 48-hour drawdown following a design storm (i.e., 24-hour storm). • Cover using bird balls. • Consider earth-bottom culverts, French drains, trench covers, and underground storage options. • Avoid within 8 km (5 miles) of other open water features or facilities.
Vegetation and Landscaping <ul style="list-style-type: none"> • Provides food. • Tall vegetation provides shelter and nesting opportunities. • Diverse vegetation attracts more diverse wildlife. 	<ul style="list-style-type: none"> • Eliminate vegetation (concrete banks, steep slopes, etc.). • If necessary, provide a monoculture or decreased diversity. • Never use species that provide a food source (seeds, berries, nuts, and drupes). • Provide regular maintenance to prevent seeding and shelter.
Aspect/Geometry <ul style="list-style-type: none"> • Slopes can provide opportunities for nesting and loafing. 	Avoid or reduce available shoreline: <ul style="list-style-type: none"> • Implement narrow, linear trenches rather than open water or regular circles as pond shapes. • Create steep slopes (<3:1). • Avoid irregular shapes for basins. • Avoid vegetation.

WHAT YOU CAN DO:

Airport operators, developers and communities must work together to manage stormwater in the airport vicinity to reduce hazards to air travelers and the public while addressing site-specific challenges.

- Identify whether your project is near an airport and in an AIA or critical area. (<http://www.rcaluc.org/Plans/New-Compatibility-Plan>).
- Work with the airport operator, ALUC, and city/county staff to identify an acceptable water quality management strategy.
- Contact the applicable airport to review your stormwater plans or request plan review by a FAA-qualified wildlife biologist. The form is available at: <http://www.rcaluc.org/Portals/0/PDFGeneral/form/Wildlife%20Attractants%20-%20FAA%20Review.pdf>.

AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT

GUIDANCE FOR PROPOSED PROJECTS IN AN AIRPORT INFLUENCE AREA

Riverside County includes diverse topography and is home to three watersheds and a portion of the Salton Sea, an important stop along the Pacific Flyway for migrating bird species. The County's geography makes water quality management and water conservation particularly important.

The County is also the home to Palm Springs International Airport, 12 public use general aviation airports, and the March Air Reserve Base, whose operations can be challenged by the presence of hazardous wildlife such as raptors, water-fowl, doves/pigeons, gulls, flocks of birds, and mammals (coyote and deer). Since 1990, more than 150 wildlife strikes with aircraft have occurred in Riverside County, some of which have led to substantial aircraft damage. Most strikes occur at low altitude (less than 3,500 feet above runway height). Much of the geographic area associated with these altitudes coincides with an Airport Influence Area (AIA) as defined in the Riverside County Airport Land Use Compatibility Plan (ALUCP).

AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT

The Federal Aviation Administration (FAA) identifies stormwater management facilities on and near airports as one of the greatest attractants to hazardous wildlife. Many species are attracted to open water features and associated vegetation that offers water, food, and shelter. The FAA warns against the construction of new open water bodies or mitigation sites within 10,000 feet of aircraft movement areas and within 5 miles of approach/departure surfaces (FAA Advisory Circular 150/5200-33B).



Remains of an owl ingested by an aircraft engine.

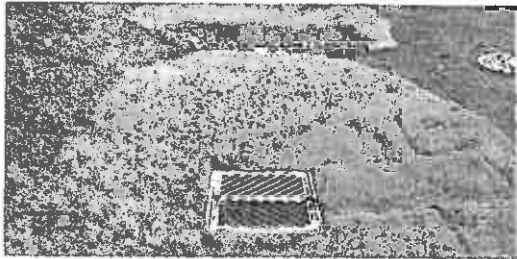


Low-impact development in recent years, including LID, has focused on Low-Impact Development (LID), which includes techniques to filter, store and retain runoff on-site. LID BMPs retain runoff to optimize infiltration/recharge, and many promote the use of vegetation to provide for the uptake of pollutants. Although LID BMPs can provide environmental, economic and community benefits, they can retain open water for prolonged periods and attract hazardous wildlife. Many LID BMPs are incompatible with aircraft operations and must be considered with caution within the AIA.

Aviation-Specific Stormwater Management. FAA acknowledges that project-related BMPs must consider many non-aviation factors, such as soil types, space requirements, maintenance, constructability, etc. United States Department of Agriculture (USDA) and FAA have identified specific design characteristics that should be considered during BMP design and incorporated to make most BMPs less attractive to wildlife (Table 2).

ADAPTIVE MEASURES

When open water detention ponds must be used within the AIA, the ponds may be equipped with bird balls, floating covers, nets, or overhead wires to cover open water and discourage use by hazardous wildlife. For example, concrete basins are unlikely to attract wildlife, and pond liners can prevent the development of hydrophytic vegetation. These technologies must be used with caution and only in areas with controlled access.



Infiltration trenches detain water for brief periods. This trench at Seattle-Tacoma Airport includes vegetation appropriate for an airport environment.



Bioretention facilities can provide food and shelter for potentially hazardous wildlife, but may be suitable with modification.

Table 1. Structural Best Management Practices (BMPs) and Compatibility in an Airport Influence Area (AIA)

BMP	Compatibility within the AIA
Infiltration trenches Recommended	<ul style="list-style-type: none"> ■ Suitable because water accumulates below ground surface ■ Vegetation must be selected and reviewed by a FAA-qualified Airport Wildlife Hazards Biologist (qualified biologist) to discourage wildlife
Permeable Pavement Recommended	Does not include water storage. Appropriate for parking lots and other paved surfaces that are not high-traffic areas.
Harvest and Use (RWH) Recommended	Suitable as long as water is stored in enclosed areas
Sand Filter Basins Recommended	Desirable because standing water is treated through an underdrain system.
Vegetated Filter Strips and Vegetated Swales Recommended	Desirable because neither BMP involves ponded water. However, vegetation must be selected to discourage hazardous wildlife and reviewed by a qualified biologist
Water Quality Inlets Recommended	Desirable because they do not provide ponded water. Associated vegetation must be selected to discourage hazardous wildlife and reviewed by a qualified biologist

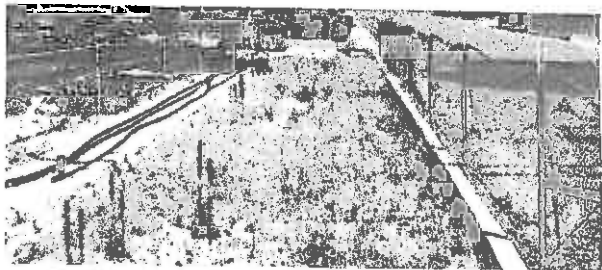
Infiltration Basins Not recommended without Modification.
Suitable only if design addresses wildlife hazards

Bioretention Facilities Not Recommended without Modification (also known as rain gardens, bioretention basins, landscaped filter basins)

- Unsuitable in ALUCP Compatibility Zone A.
- Suitable in Zones B and C with appropriate modifications, such as: Drawdown within 48 hours or manufactured cover to prevent view and availability of open water; and absence of landscape or landscaping approved by a qualified biologist.
- Steep slopes (steeper than 3:1).

Although bioretention can mask open water, BMP is not recommended for airports based on its potential to provide food, water, and shelter for hazardous wildlife.

- Unsuitable in Compatibility Zone A.
- Potentially suitable in Zones B and C only when small in size (e.g., parking islands, site entrances, planter boxes, etc.) and when vegetation is selected to discourage hazardous wildlife and reviewed by a qualified biologist.
- Potentially suitable in Zones D and E when basin is less than 30 feet in length/width; and vegetation is selected to discourage hazardous wildlife and reviewed by a qualified biologist.



Small bioretention facilities that provide sparse vegetation may be suitable in an aviation environment.



Extended detention basins are frequently used to serve both water quality management and to provide amenities. These basins hold water and would not be appropriate within an AIA because of the open water.



Sand filter at the base of the bioswale promotes infiltration.



Porous pavements allow water to infiltrate to a soil layer below the surface.



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2019-AWP-6374-OE

Issued Date: 06/18/2019

Kameron Abraham
Kameron Abraham
6088 Bounty Street
San Diego, CA 92120

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building Manufacturing Metal Buildings.
Location:	City of Perris, CA
Latitude:	33-45-30.00N NAD 83
Longitude:	117-13-35.00W
Heights:	1422 feet site elevation (SE) 18 feet above ground level (AGL) 1440 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 2.

This determination expires on 12/18/2020 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

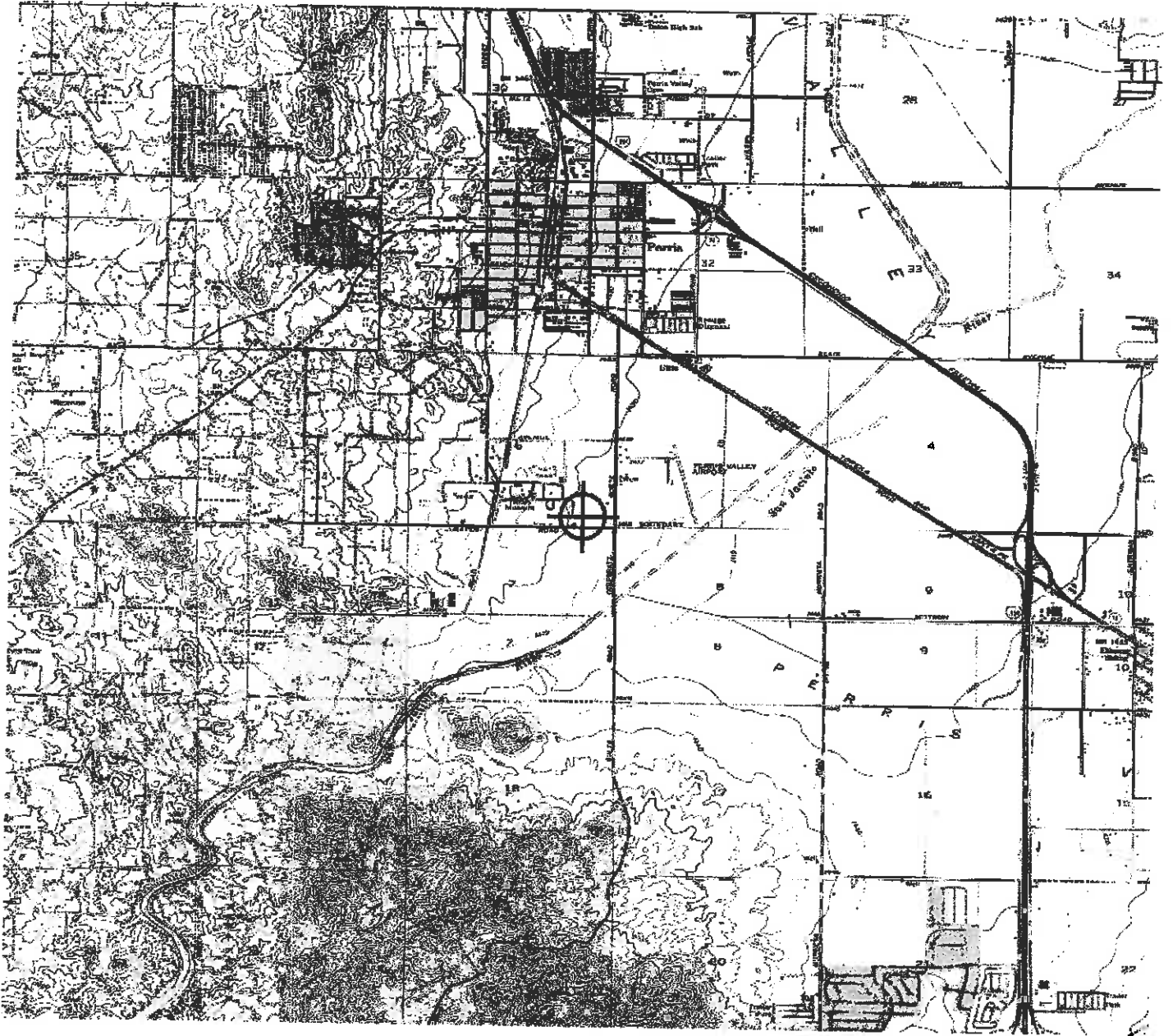
If we can be of further assistance, please contact our office at (424) 405-7643, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2019-AWP-6374-OE.

Signature Control No: 406946058-408807175

Karen McDonald
Specialist

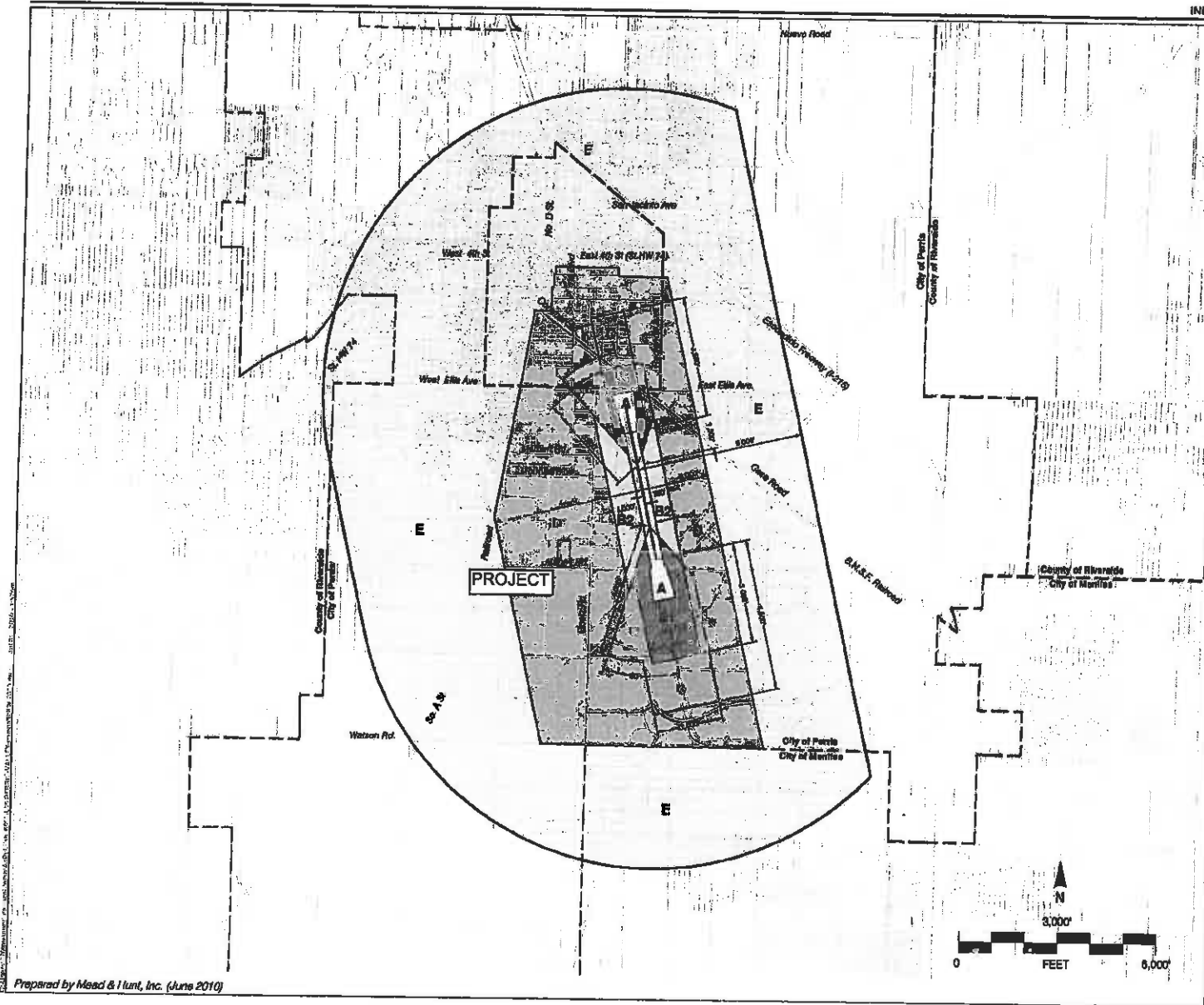
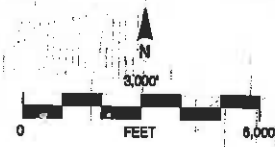
(DNE)

Attachment(s)
Map(s)



- Legend**
- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
- Boundary Lines**
- Airport Property Line
 - City Limits
 - Downtown Specific Plan

Riverside County
 Airport Land Use Commission
 Riverside County
 Airport Land Use Compatibility Plan
 Policy Document
 (July 2010 Draft)



Prepared by Mead & Hunt, Inc. (June 2010)

Map PV-1

Compatibility Map
 Perris Valley Airport

LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

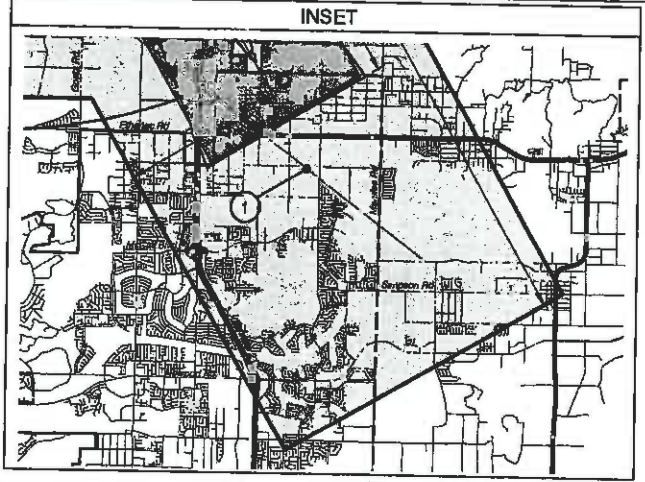
Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

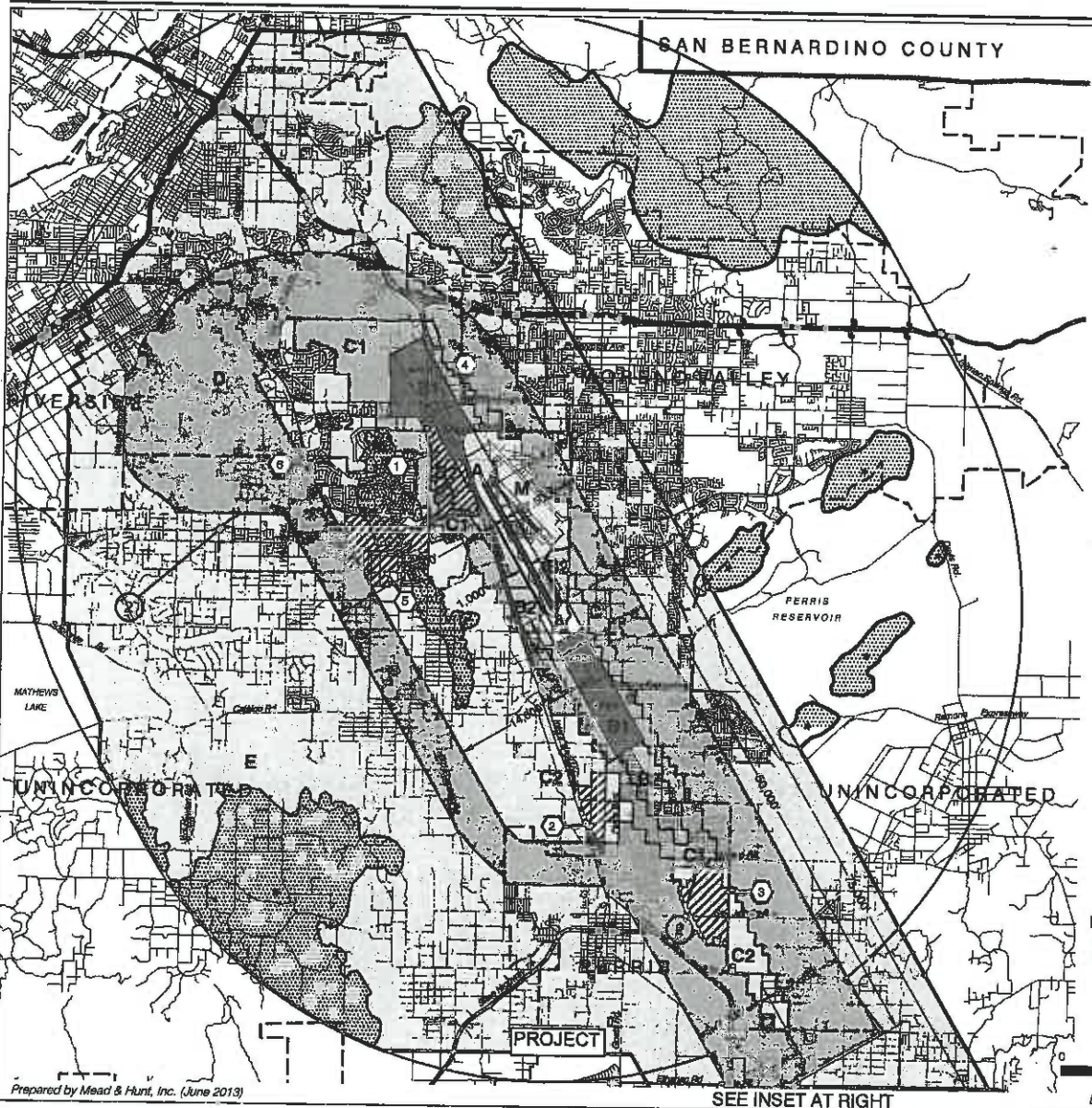
① March JPA: March Business Center/Meridian
 ② Perris: Harvest Landing
 ③ Perris: Park West
 ④ Moreno Valley: Affordable Housing
 ⑤ March JPA: Ben Clark Training Center
 ⑥ Riverside: Ridge Crest Subdivision



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adapted November 13, 2014)



Note:
 All dimensions are measured from runway ends and centerlines.
 Base map source: County of Riverside 2013

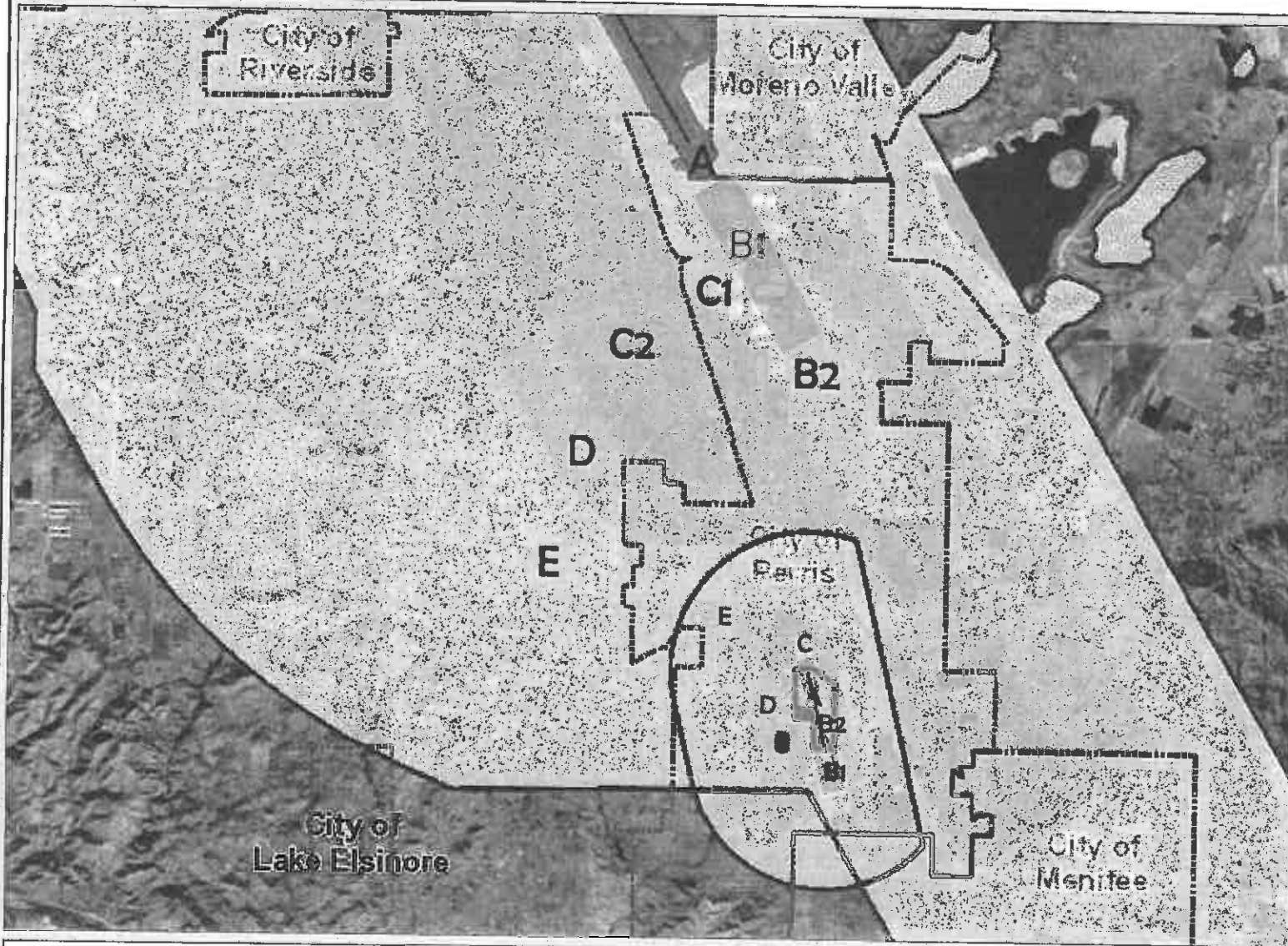


Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

Map My County Map



Legend

- Runways
- ▣ Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- ▨ OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

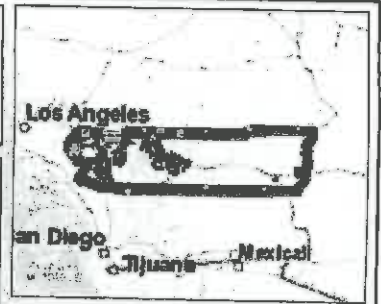


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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas

Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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Notes

Map My County Map



- Legend**
- Blue line Streams
 - City Areas
 - World Street Map



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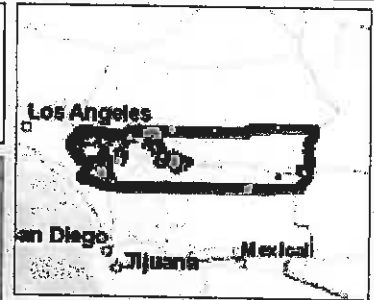


REPORT PRINTED ON... 5/21/2019 2:14:29 PM

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Notes

Map My County Map



Legend

- Blue line Streams
- City Areas
- World Street Map



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Notes

0 1 3,032 Feet
516

REPORT PRINTED ON... 5/21/2019 2:14:54 PM

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Map My County Map



- Legend**
- Blueline Streams
 - City Areas
 - World Street Map



0 758 1,516 Feet

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REPORT PRINTED ON... 5/21/2019 2:15:19 PM

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Notes

Map My County Map



- Legend**
- Parcels
 - Blueline Streams
 - City Areas
 - World Street Map



0 379 758 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

MAPES ROAD CULTIVATION & PROCESSING FACILITY

MAPES ROAD

PERRIS, CA

ASSESSORS PARCEL NO.

330-080-006

DRAWING INDEX

SHEET NO.	SHEET DESCRIPTION
T-001	TITLE SHEET
AS-101	ARCHITECTURAL SITE PLAN
L-101	LANDSCAPE PLAN
F-101	FLOORPLAN
A-201	OFFICE BUILDING ELEVATIONS
A-202	GREENHOUSE ELEVATIONS

CONCEPT FACILITY SITE PLAN SUBMITTAL APPLICATION

SITE PLAN REQUIREMENTS SUMMARY TABLE

PROPOSED LAND USE

9,900 SF PROCESSING AND OPERATION BUILDING
16,900 SF GREENHOUSE CULTIVATION STRUCTURE
LESS THAN 400 SF OF ACCESSORY STRUCTURES
THE GENERAL USE IS FOR THE CULTIVATION, PROCESSING AND DISTRIBUTION OF CANNABIS PRODUCTS

ADDRESS: VACANT LAND
MAPES ROAD
CITY OF PERRIS,
RIVERSIDE COUNTY, CALIFORNIA, 92570

APPLICANT: NAME: HANERON ABRAHAM
ADDRESS: 6088 BOUNTY ST
SAN DIEGO CA 92120
CONTACT NO. 619-494-6389

DESIGNER: GEORGE B. WITTLER,
ARCHITECT LICENSE C-8054
CONTACT NO. 380-558-2019 (CELL)

OWNER: NAME: HANERON ABRAHAM
ADDRESS: 6088 BOUNTY ST
SAN DIEGO CA 92120
CONTACT NO. 619-494-6389

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHERLY 25 ACRES OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 6 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, LYING EAST OF THE FOLLOWING DESCRIBED LAND, BEGINNING AT A POINT IN THE SOUTH LINE OF SECTION 04, DISTANT 379.3 FEET EASTERLY FROM THE SOUTHWEST CORNER OF THE ABOVE DESCRIBED SOUTHERLY 25 ACRES, THENCE NORTHERLY IN A STRAIGHT LINE TO A POINT IN THE NORTHERLY LINE OF SAID SOUTHERLY 25 ACRES DISTANT 851 FEET EAST FROM THE NORTHWEST CORNER OF SAID SOUTHERLY 25 ACRES, EXCEPTING THEREFROM THE EASTERLY 622.9 FEET THEREOF.

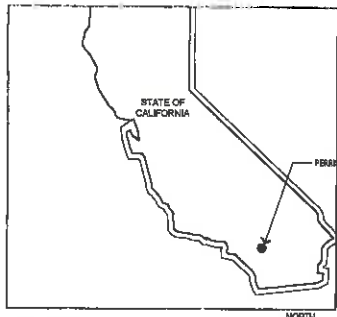
SITE PLAN REQUIREMENTS SUMMARY TABLE

DESCRIPTION	RESPONSE/REMARKS
ASSESSOR'S PARCEL NUMBER	330-080-006
LOT (PARCEL) DIMENSIONS	NR AT 778.86 FEET EW AT 531.80 FEET
LOT (PARCEL) AREA	5.94 ACRES (258,787.632 SF)
LOT (PARCEL) PERCENT OF COVERAGE	42%
MAXIMUM COVERAGE BY STRUCTURES AT 50%	
SITE ZONING (GENERAL PLAN)	GI-GENERAL INDUSTRIAL
DAM FUNDATION AREA	YES
EASEMENTS	NONE
ADJACENT PARCEL LAND USES (GENERAL PLAN)	GI-GENERAL INDUSTRIAL
BUILDINGS	9,900 SF PROCESSING AND OPERATION BUILDING (90'X108') 16,900 SF GREENHOUSE CULTIVATION STRUCTURE (90'X210')
PARKING	46 SPACES (EXCEEDS SECTION 16429.220) AND ADDITIONAL, PARALLEL, PARKING IS AVAILABLE ADJACENT TO THE SITE ACCESS AND TRUCK LANES
(CITY OF PERRIS NON-RESIDENTIAL REGULATIONS FOR PARKING SECTION 16.86.038)	
1 SPACE PER OFFICE	
1 SPACE PER 1000SF FOR FIRST 20,000SF	
1 SPACE PER 2000SF THEREAFTER	
OR ACTUAL EMPLOYEES PLUS VISITORS	

PARCEL DETAILS

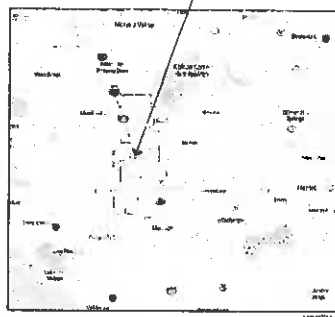
ADDRESS	TBD
LAND AREA	2588,749 SF
GENERAL PLAN	GI
ZONING	GI
PERRIS VALLEY AIRPORT	ZONE D
MARCH AIR RESERVE BASE	ZONE E
AIRPORT OVERLAY	ZONE R
FLOOD ZONE	AE
IN FEMA FLOOD ZONE	YES

COMPANY SERVICE VEHICLES	8 DESIGNATED SPACE
SETBACK DIMENSIONS (SECTION 19.44.0300 DEVELOPMENT CRITERIA)	FRONT YARD AT 16 FT / ACTUAL 80 FT. SIDE YARD - NONE / ACTUAL 35 FT. REAR YARD - NONE / ACTUAL WILL EXCEED NONE
MAXIMUM STRUCTURE HEIGHT (NOT TO EXCEED 30 FT.)	LESS THAN 15 FT.
ADJACENT STREETS	20 FT MAXIMUM
ON SITE STREETS	NONE
UTILITY PURVEYORS	
WATER	EASTERN MUNICIPAL WATER DISTRICT
SEWER:	NONE
POWER:	EDISON ELECTRIC COMPANY
COMMUNICATION	SEVERAL
BUILDING EAVES	NONE
BUILDING CANOPY	AT ENTRANCES TO MAIN ENTRY
HARDSCAPE (SIDE WALKS)	CONCRETE
PAVING	ASPHALT
POWER POLES	NONE (UNDERGROUND)
RECREATIONAL AREA	NONE



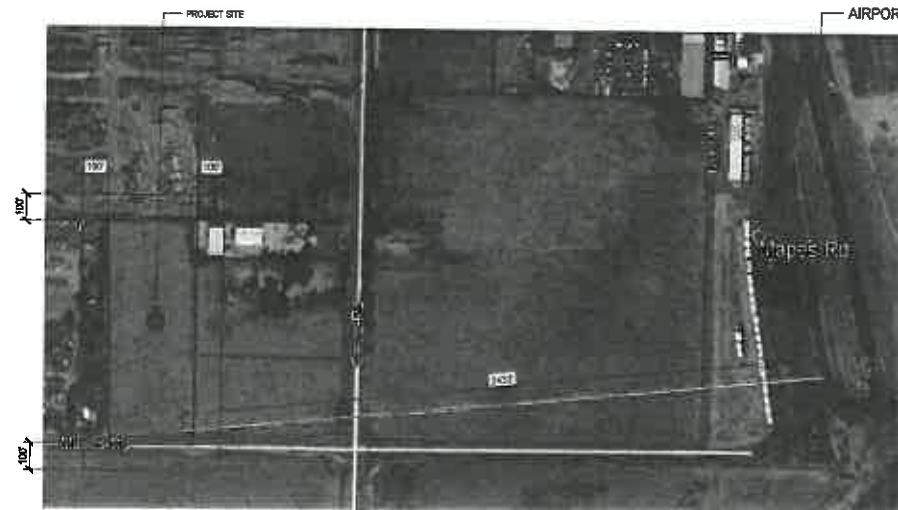
PROJECT LOCATION MAP

N.T.S.



VICINITY MAP

N.T.S.



SITE MAP

N.T.S.

NO.	DATE	REVISIONS

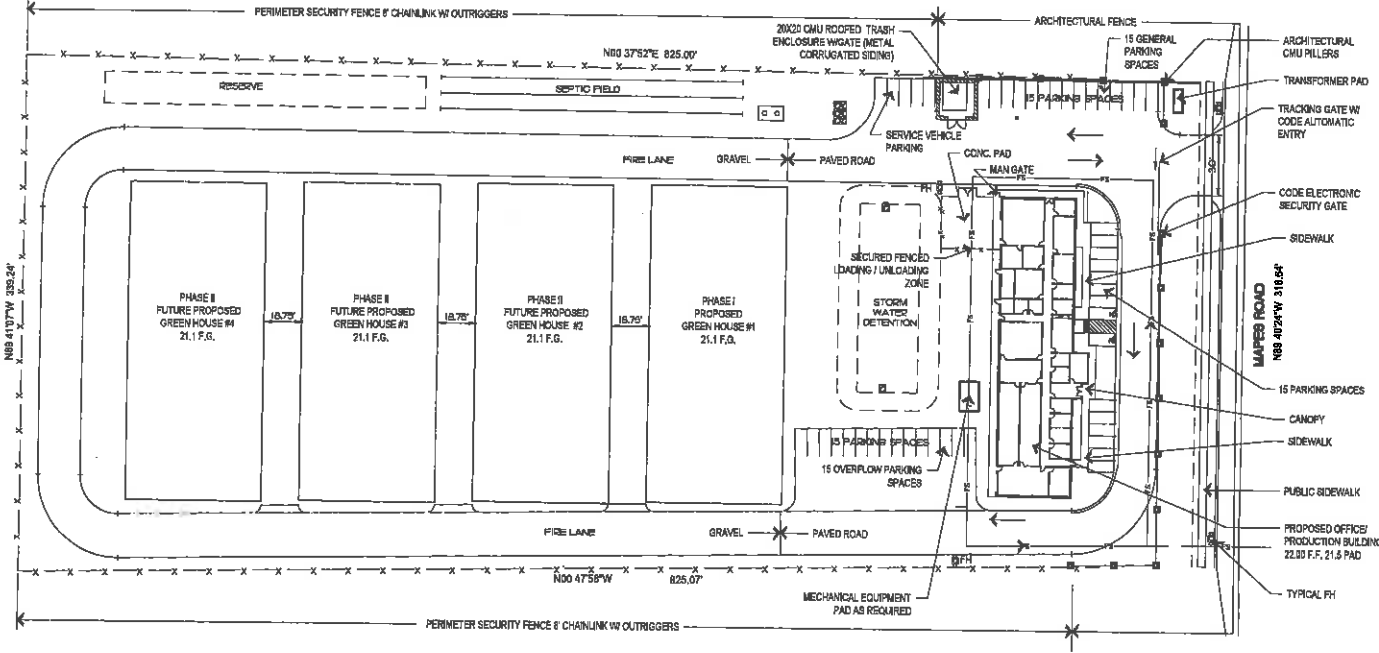
MAPES ROAD
CITY OF PERRIS
RIVERSIDE COUNTY
CALIFORNIA, 92570
TITLE SHEET

GEORGE B. WITTLER
ARCHITECT
1000 W. MAIN ST. SUITE 100
PERRIS, CA 92570
TEL: 380-558-2019
CELL: 380-558-2019
FAX: 380-558-2019

DESIGNED BY: G.B.W.
DRAWN BY: T.L.
CHECKED BY: G.B.W.
DATE: 08/11/2018
SCALE: 1/8"=1'-0"

T-001

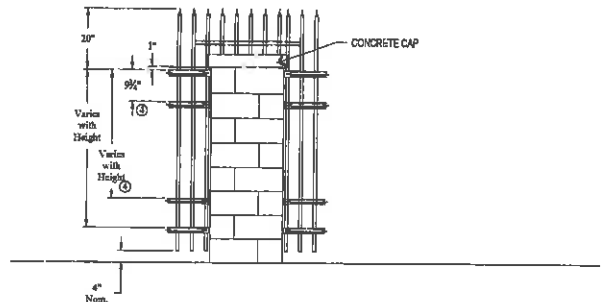
THIS SHEET IS 22"x34" FULL SIZE,
11"x17" HALF SIZE



CONCEPT SITE PLAN
1" = 40'-0"



- LEGEND**
- FIRE HYDRANTS (FH)
 - CHAIN LINK FENCE
 - ARCHITECTURAL METAL / PILLER FENCE
- 45 PARKING SPACES



SECURITY MTL TRACK PICKET VEHICLE GATE ①
NTS

NO.	DATE	REVISIONS

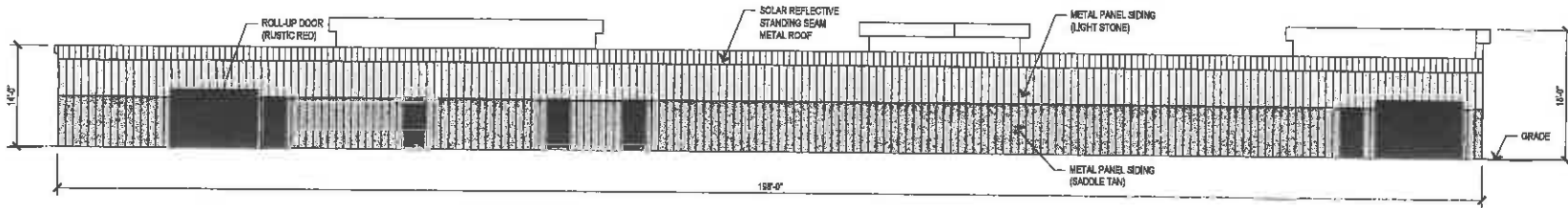
MAPES ROAD
CITY OF PERRIS
RIVERSIDE COUNTY
CALIFORNIA, 92570
CONCEPT SITE PLAN

GEORGE B. WITTLER
ARCHITECT
1000 N. GARDEN ST. SUITE 100
PERRIS, CA 92570
TEL: 951-221-8888
FAX: 951-221-8889
WWW.GBWARCHITECT.COM

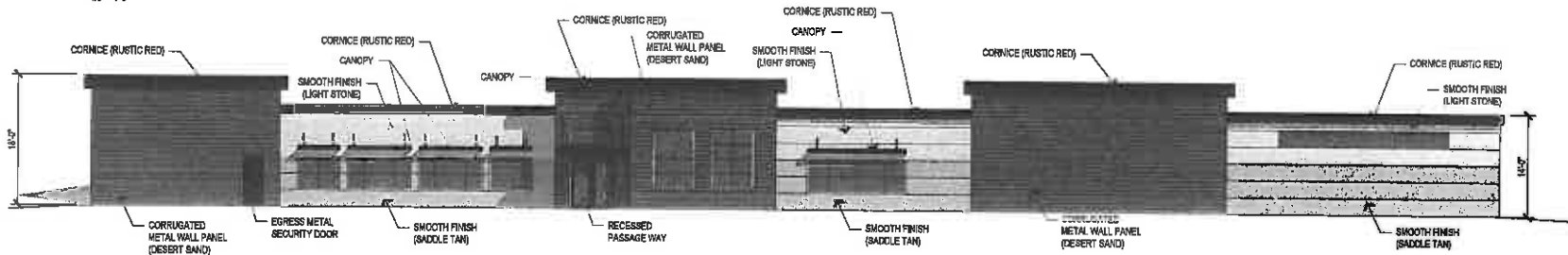
DESIGNED BY: G.B.W.
DRAWN BY: L.L.
CHECKED BY: G.B.W.
DATE: 05/15/2013
SCALE: 1/8" = 1'-0"

AS-101

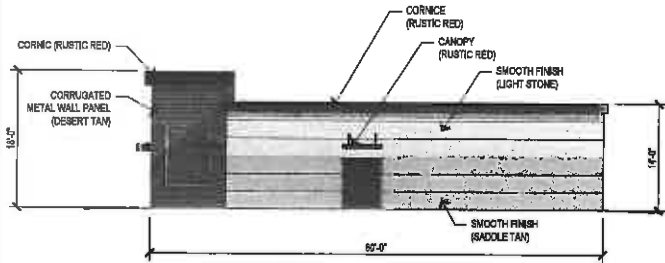
THIS SHEET IS 22"x34" FULL SIZE,
11" x 17" HALF SIZE



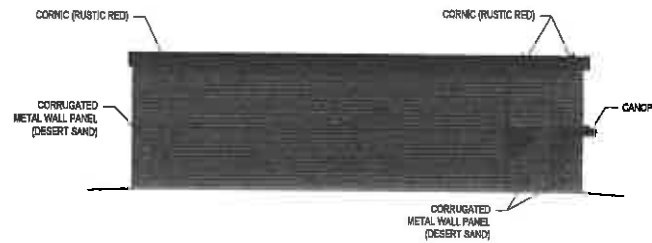
NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION (MAPES ROAD FRONTAGE)
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

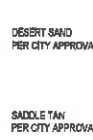
COLOR LEGEND



ACCENT COLOR
(RUSTIC RED)
PER CITY APPROVAL



LIGHT STONE
PER CITY APPROVAL



DESERT SAND
PER CITY APPROVAL



SADDLE TAN
PER CITY APPROVAL



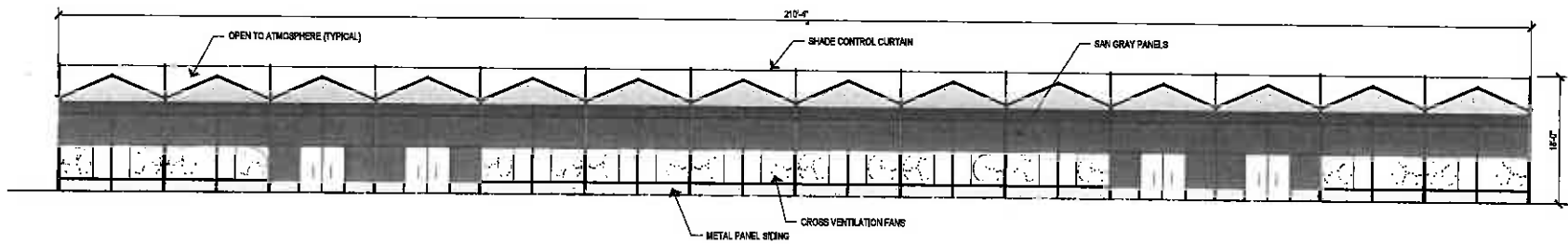
THIS SHEET IS 22"x34" FULL SIZE,
11"x17" HALF SIZE

NO.	REVISIONS	DATE

MAPES ROAD
CITY OF PERRIS
RIVERSIDE COUNTY
CALIFORNIA, 92570
ELEVATIONS

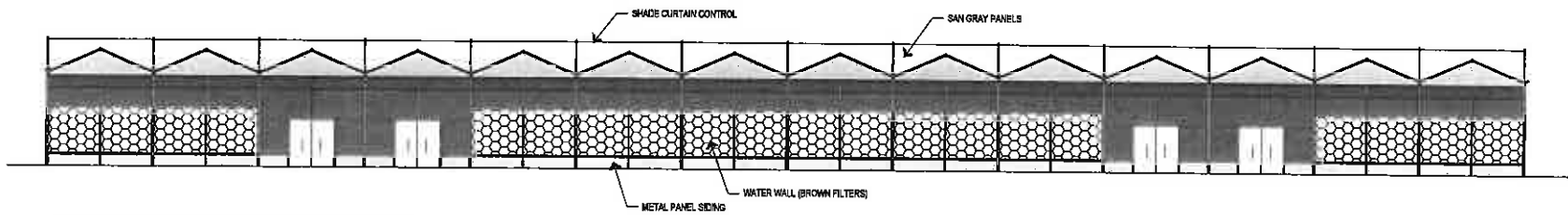
GEORGE B. WITTLER
ARCHITECT
P.O. BOX 17488
PERRIS, CA 92570
PH: 951-271-8888
FAX: 951-271-8889
WWW.GBWARCHITECT.COM

GROUP: G.B.W.
DRAWN: T.L.
CHECKED: G.B.W.
DATE: 05/19/2018
SHEET: 102
A-201



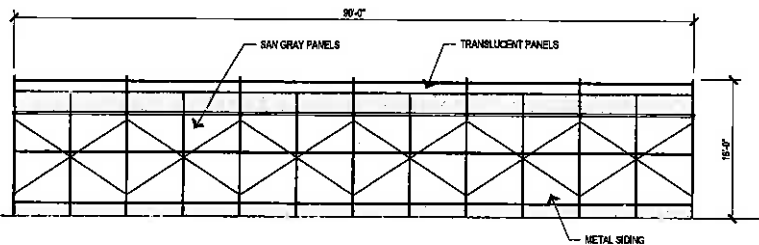
PROPOSED GREEN HOUSE NORTH ELEVATION

1/8" = 1'-0"



PROPOSED GREEN HOUSE SOUTH ELEVATION

1/8" = 1'-0"



PROPOSED GREEN HOUSE EAST/WEST ELEVATION

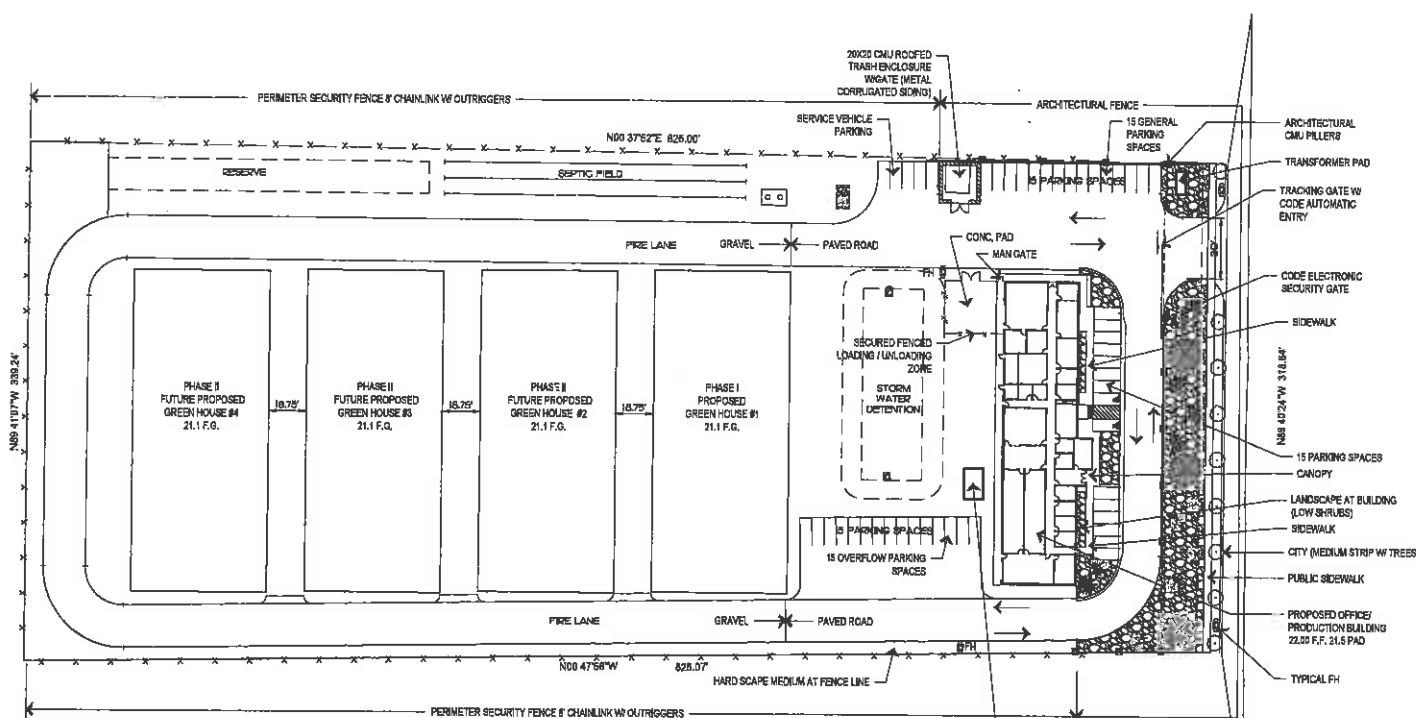
1/8" = 1'-0"

COLOR LEGEND



THIS SHEET AS SHOWN FULL SIZE
1" = 11' HALF SIZE

<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	DESCRIPTION										<p>MAPES ROAD CITY OF PERRIS RIVERSIDE COUNTY CALIFORNIA 92570</p> <p>GREEN HOUSE ELEVATIONS</p>
NO.	DATE	DESCRIPTION											
<p>GEORGE B. WITTLER ARCHITECT</p> <p>11000 COUNTRY CLUB DRIVE, SUITE 100 PERRIS, CALIFORNIA 92570 TEL: (951) 221-1111 WWW.GBWITTLER.COM</p>	<p>DATE: 08/20/2014 DRAWN BY: JAW CHECKED BY: JAW PROJECT: GREEN HOUSE</p>												
<p>A-202</p>													



CONCEPT LANDSCAPE PLAN
1"=40'-0"



LANDSCAPE LEGEND

- COLORED 5" ROCK ARCHITECTURAL BURNT SIENNA
- GRAVEL (ROAD BASE)
- ROCK 2 1/4" GRAY
- YUCCA PLANT
- RHUS LANCEA (SUMMAC)
- CITY APPROVED STREET SCAPE TREES
- FIRE HYDRANTS (FH)
- CHAIN LINK FENCE
- ARCHITECTURAL METAL / FILLER FENCE

45 PARKING SPACES

NO.	REVISIONS	DATE

MAPES ROAD
CITY OF PERRIS
RIVERSIDE COUNTY
CALIFORNIA, 92570

LANDSCAPE PLAN

GEORGE B. WITTLER
ARCHITECT
1001 W. 11TH ST. SUITE 100
PERRIS, CA 92570
TEL: 951-227-9999
FAX: 951-227-9998
WWW: WWW.GBW.COM

DATE: 05/18/2019
PROJECT: 19010001

DESIGNED BY: G.B.W.
CHECKED BY: G.B.W.
DATE: 05/18/2019
SCALE: 1"=40'-0"

THIS SHEET IS 22 1/4" FULL SIZE,
11" x 17" HALF SIZE

L-101

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

June 27, 2019

Ms. Melody Segura, Project Planner
City of Cathedral City Planning Department
68-700 Avenida Lalo Guerrero
Cathedral City, CA 92234

CHAIR
Steve Manos
Lake Elsinore

VICE CHAIR
Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1077PS19
Related File No.: DR19-001 (Design Review)
APN: 677-213-066

Dear Ms. Segura:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Cathedral City Case No. DR19-001 (Design Review), a proposal to construct a 4,340 square foot Denny’s restaurant building on a 1.45 acre pad within an existing commercial center, located at 67800 Vista Chino, on the northwest corner of Vista Chino and Landau Boulevard.

The site is located within Airport Compatibility Zone E of the Palm Springs International Airport Influence Area (AIA). Within Compatibility Zone E of the Palm Springs International Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 13R-31L at Palm Springs International Airport at its southerly terminus is approximately 395.5 feet above mean sea level (AMSL). At a distance of approximately 10,600 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 501.5 feet AMSL. The site’s finished floor elevation is 421.8 feet AMSL, and the proposed building height is 22 feet, resulting in a maximum top point elevation of 443.8 feet AMSL. Therefore, review by the FAA OES was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Palm Springs Airport Land Use Compatibility Plan, provided that the City of Cathedral City applies the following recommended conditions:

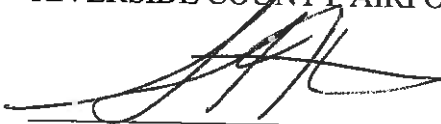
CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, and construction and demolition debris facilities.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached "Notice of Airport in Vicinity" shall be provided to all potential purchasers of the property.
4. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



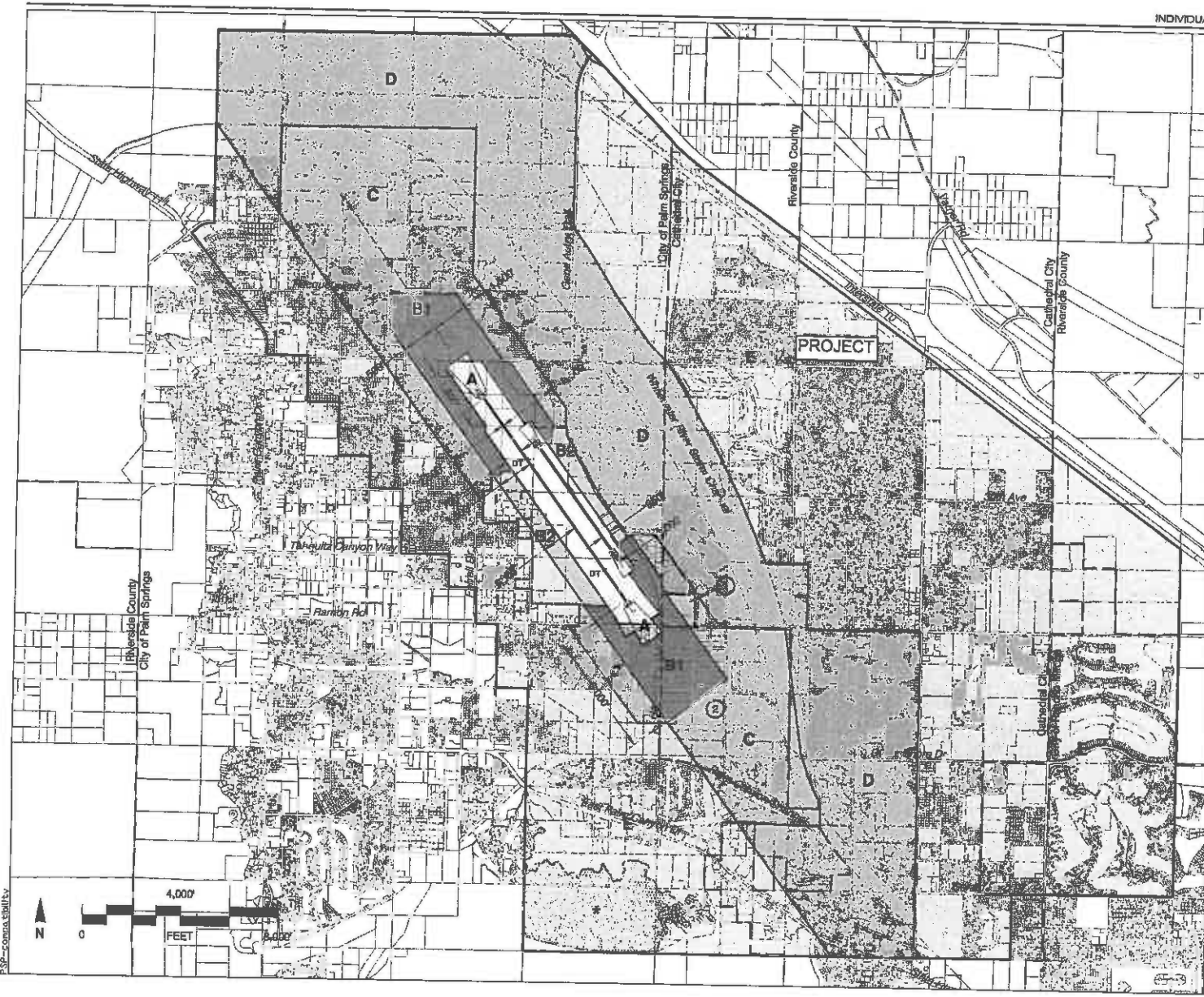
Simon A. Housman, ALUC Director

Attachment: Notice of Airport in Vicinity

cc: Legacy Food Group, Greg Gribble (applicant/property owner)
Architectronix, Inc., John Rix (representative)
BRE Throne Plaza Rio Vista, c/o Ryan LLC (listed property owner)
Thomas Nolan, Executive Director, Palm Springs International Airport
ALUC Case File

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits

- Notes**
- All dimensions measured from runway ends and centerlines.
- DT = Displaced Threshold
- See Chapter 2, Table 2A for compatibility criteria associated with this map.
- Ⓢ See Policy PS.2.1.

Riverside County
 Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
 (Adopted March 2005)

Map PS-1

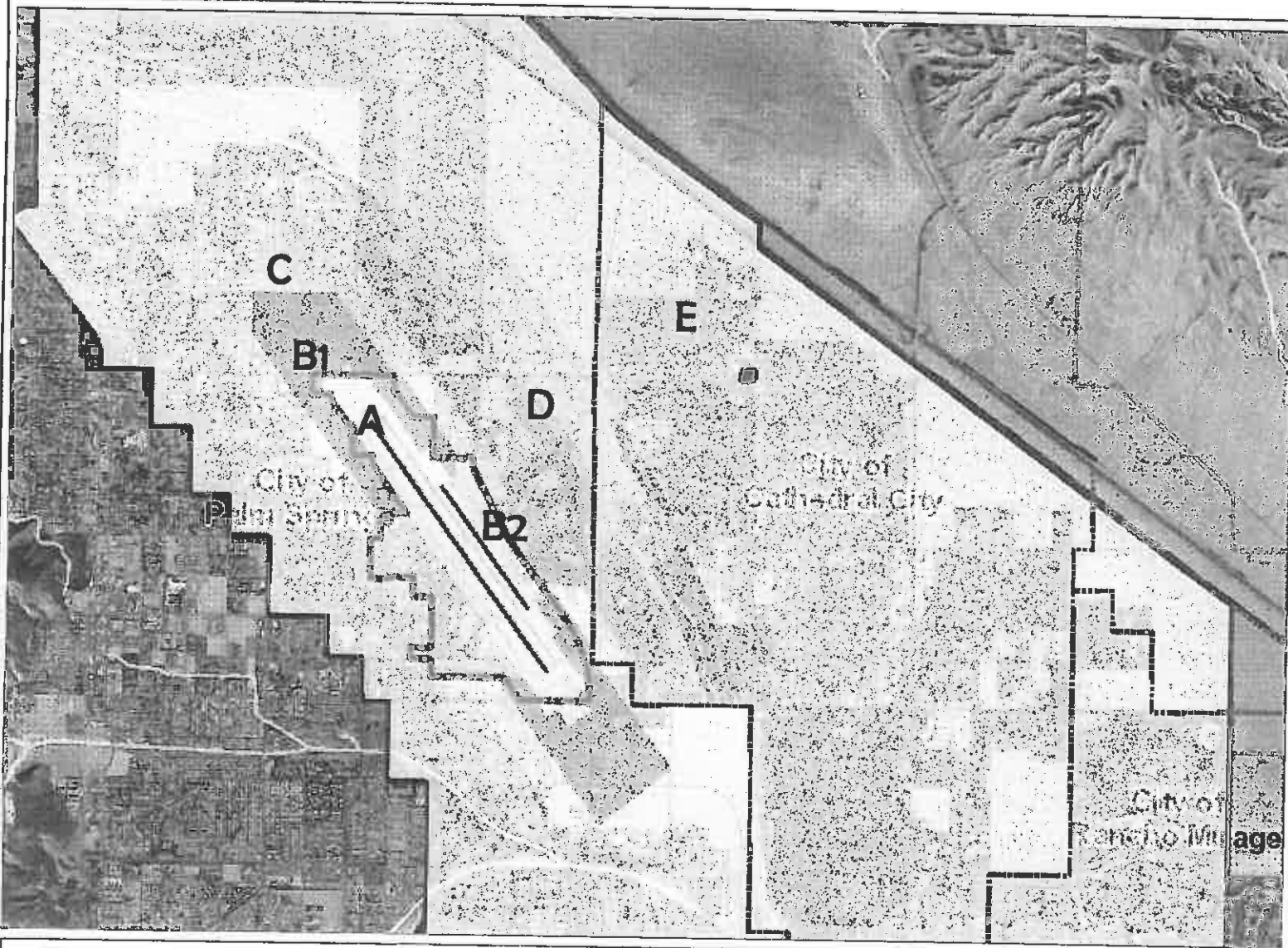
Compatibility Map
 Palm Springs International Airport

PS-1-compat.sbt

DENNY'S RESTAURANT VICINITY MAP - 67800 Vista Chino, Cathedral City, CA 92234 (Northwest corner of Vista Chino & Landau Blvd.)



Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones
 - ▨ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC8



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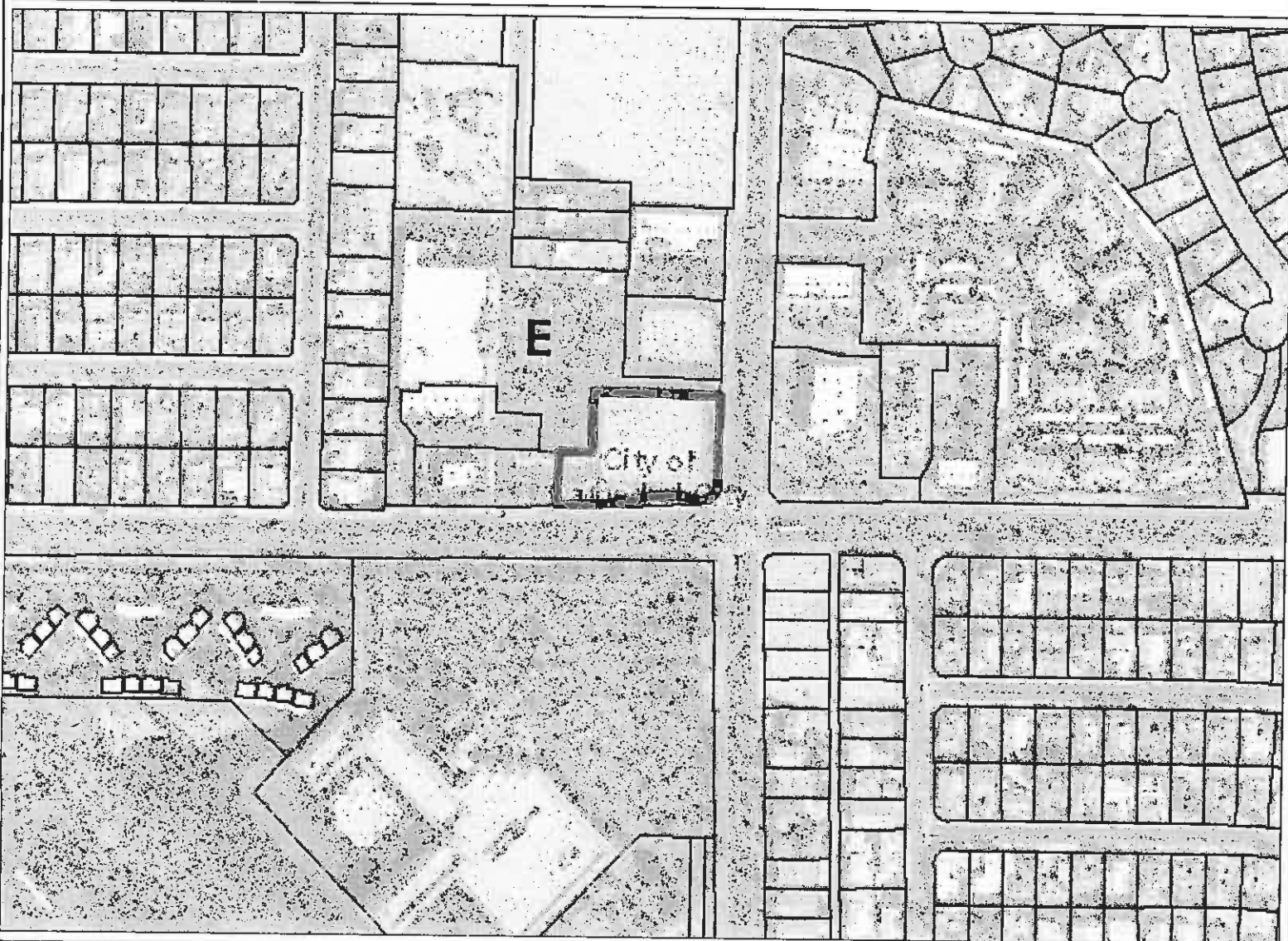
Notes



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Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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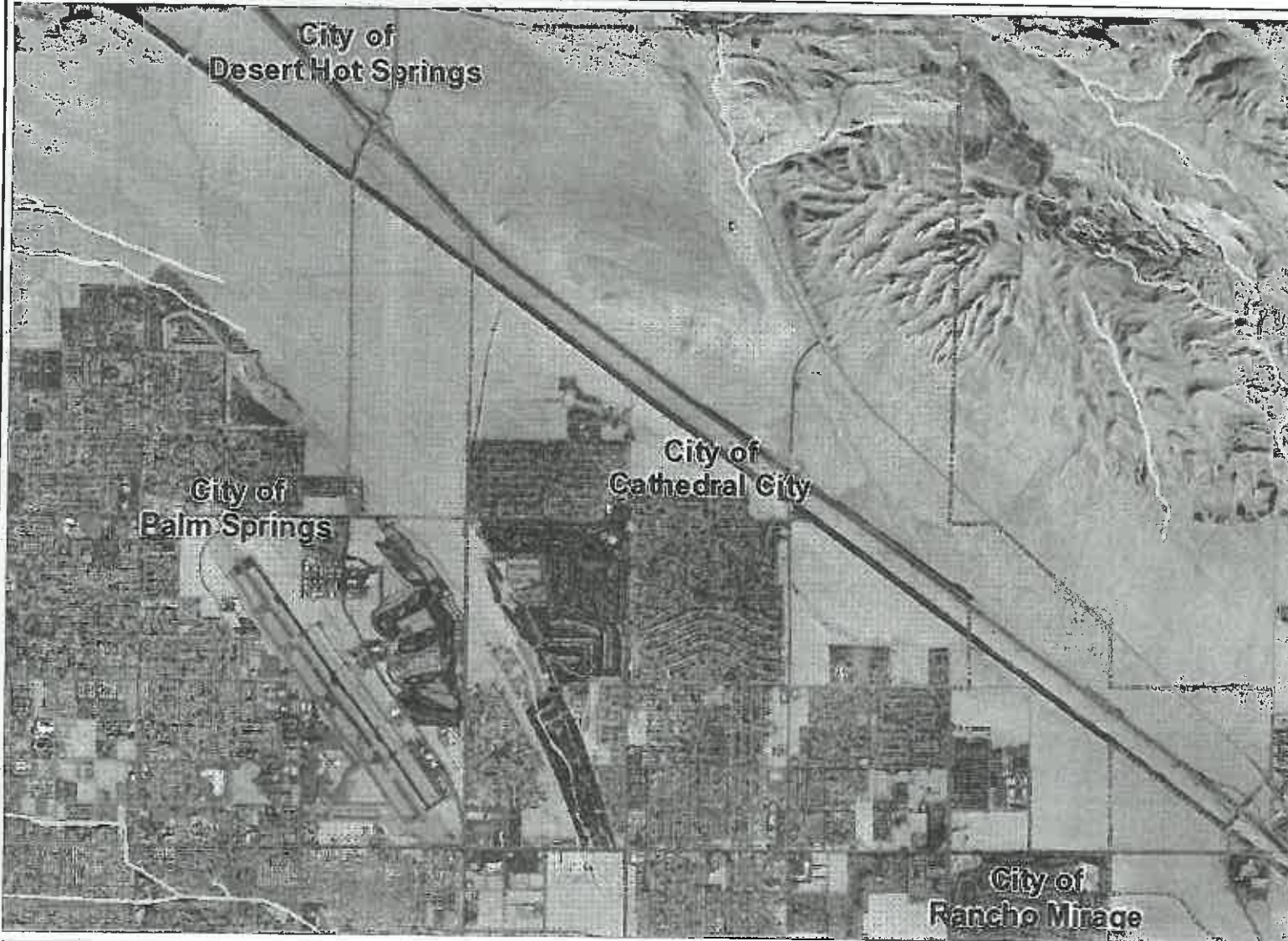


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Notes

Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



0 6 12,127 Feet
064

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Notes

Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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Notes



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Map My County Map



Legend

-  Parcels
-  Blueline Streams
-  City Areas
-  World Street Map



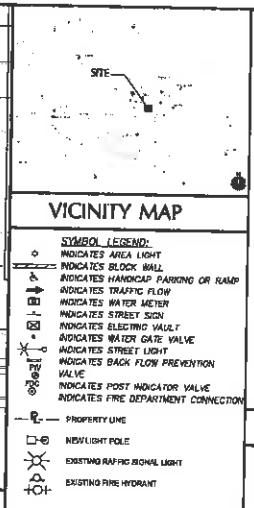
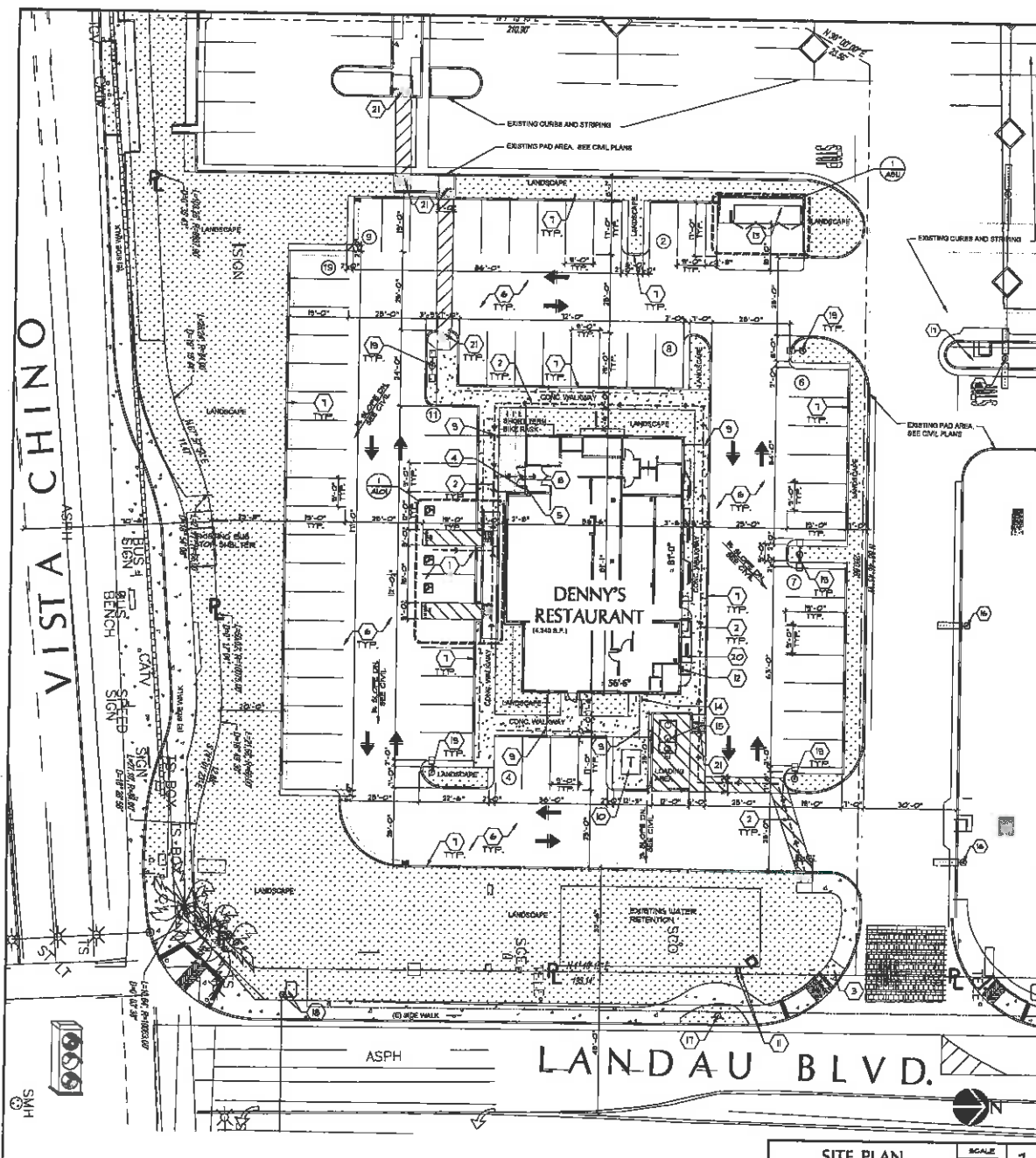
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 379 758 Feet

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Notes



SYMBOL LEGEND:

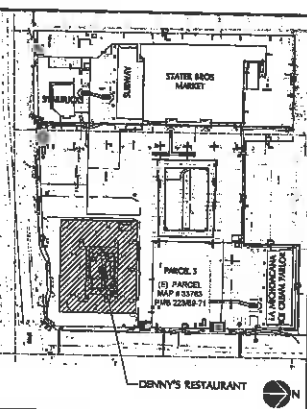
- INDICATES AREA LIGHT
- INDICATES BLOCK WALL
- △ INDICATES HANDICAP PARKING OR RAMP
- INDICATES TRAFFIC FLOW
- ⊕ INDICATES WATER METER
- ⊖ INDICATES STREET SIGN
- ⊗ INDICATES ELECTRIC VAULT
- ⊙ INDICATES WATER GATE VALVE
- ⊕ INDICATES STREET LIGHT
- ⊖ INDICATES BACK FLOW PREVENTION VALVE
- ⊗ INDICATES POST INDICATOR VALVE
- ⊙ INDICATES FIRE DEPARTMENT CONNECTION

PROPERTY LINE:

- NEW LIGHT POLE
- ⊗ EXISTING TRAFFIC SIGNAL LIGHT
- ⊕ EXISTING FIRE HYDRANT

ABBREVIATION LEGEND:

- PH FIRE HYDRANT
- EV ELECTRIC VAULT
- SCD SEWER CLEAN OUT
- FP FLAG POLE
- LS LANDSCAPED AREA
- CR COMBINATION RISER
- TR ELECTRIC TRANSFORMER
- CS CONCRETE SURFACE
- T TRASH ENCLOSURE
- SLV STREET LIGHT VAULT
- DM DRAINAGE INLET
- DO DRAINAGE OUTLET
- SMH SEWER MANHOLE
- CV COMBINATION VAULT
- EM ELECTRIC METER
- TS TRAFFIC SIGNAL
- GM GAS METER
- MV MANHOLE UNKNOWN
- CO CLEAN OUTS
- WV WATER VAULT
- CV COMBINATION VAULT
- CMH COMBINATION MANHOLE
- SMH STORMDRAIN MANHOLE
- MB MAILBOX



KEY PLAN

APN: 877-043 004

LEGAL DESCRIPTION: IN THE CITY OF CATHLAMET, COUNTY OF PIERCE, STATE OF CALIFORNIA, THAT PORTION OF PARCELS 1 AND PARCELS 3 ON PARCEL MAP 23763, AS BROWN AND BLACK 221 OF PARCELS MAPS, PAGES 88 THROUGH 92, ILLUSTRATED, OFFICIAL RECORD OF SAID COUNTY OF PIERCE.

GENERAL PLAN DESIGNATION: ON NEIGHBORHOOD COMMERCIAL

ZONING: PCC PLANNED COMMUNITY COMMERCIAL

LOT AREA: 84,963 S.F.

BUILDING AREA: 13,340 S.F.

LANDSCAPE REQUIREMENTS:

REQUIRED: 18 STALLS + 1 STALL PER 100 SF OF DRIVE OVER 4000 SF = 19 STALLS

PARKING PROVIDED: SHOPPING CENTER- 424 PROVIDED + 68 + 400, RESD-010

DRIVEWAY PAD: 1

STANDARD PARKING (STALLS): 83 STALLS

1/20 PARKING: 3 STALLS

TOTAL: 86 STALLS

BI-CYCLE PARKING PER CALIFORNIA GREEN BUILDING 5.156.4

8% OF 10 EMPLOYEES - LONG TERM BIKE LOCKER 2

25% OF 40 VISITORS-SHORT TERM PARKING RACK 2

LANDSCAPE REQUIREMENT: 13,014 S.F. (20% SITE AREA)

LANDSCAPE PROVIDED: 18,428 S.F. 29.9%



ZONING MAP

NOTE: NEW ITEMS 3 ELECTRICAL, 200 AMP, 120/208 V 3 PH AN 8W/2CH GEAR, USE ELECTRICAL PLANS

NEW ILLUMINATED COME DETECTABLE PAD, WIDTH PER PLAN 7 NEW ILL. SEE 301.01

SITE PLAN SCALE 1/8"=1'-0" 1

KEY NOTES

- 1 ACCESSIBLE PARKING, SEE REQUIREMENTS SHEET FA DIVISION 2
- 2 ACCESSIBLE PATH OF TRAVEL, SEE REQUIREMENTS SHEET FA-1
- 3 ACCESSIBLE SIGNAGE, SEE DETAIL SA1.01
- 4 ACCESSIBLE ENTRANCE, SEE REQUIREMENTS SHEET FA-1 DIVISIONS 2 & 4 AND DETAIL SA1.01
- 5 TACTILE SIGNAGE, SEE DETAIL 7, BA1.01
- 6 AC PARKING PER CITY STANDARD
- 7 4" x 4" CONCRETE CURB (TYP.), SEE DETAIL 10A.1.01
- 8 MAIN DOOR TO BE EQUIPPED WITH PANIC HARDWARE AND IF A KEY LOCKING DEVICE IS PROVIDED THEN A SIGN STATING "THIS DOOR TO REMAIN UNLOCKED WHILE BUILDING IS OCCUPYING" TO BE PROVIDED IMMEDIATELY ABOVE THE EXIT DOOR, SEE REQUIREMENTS ON SHEET FA-1
- 9 ROOF DRAIN THROUGH CURB, SEE DETAIL 12A.1.01
- 10 ELECTRICAL TRANSFORMER, SEE ELECTRICAL PLANS
- 11 NEW WATERS (P. BLDG. & 1" IRRIGATION METERS) IN PROTECTIVE COVER BELOW GRADE, SEE CIVIL PLANS
- 12 NEW GAS METER
- 13 TRASH ENCLOSURE, SEE SHEET AS1.1
- 14 LONG TERM LOCKABLE BIKE RACK
- 15 GALLON ENSURE INTERCEPTION BELOW GRADE, SEE PLUMBING PLANS
- 16 EXISTING SITE LIGHTING
- 17 EXISTING FIRE HYDRANT, SEE CIVIL PLAN
- 18 EXISTING WATER METER, SEE CIVIL PLAN
- 19 NEW SITE LIGHTING, SEE ELECTRICAL PLANS



ARCHITECTONIX, INC.
300 N. GOLDEN CIRCLE DR., SUITE 204
SANTA ANA, CA 92705 714-969-2702

SIGNIFICANT DATES

DATE	DESCRIPTION
06-04-19	PERMITS

All notes, sections and specifications herein are the property of Architectonix, Inc. and shall be used for the project or projects identified in the project or projects identified. Any information or data submitted to the office of the architect shall be held in confidence and shall not be made available to any other person without the written consent of the architect. Station information here provided is for reference only.



DENNY'S RESTAURANT
6780 VISTA CHINO
CATHLAMET CITY, CA 92234

STORE #

SITE PLAN

DRAWN	JTR
JOBS	AS INDICATED
JOB NO.	433-01
DATE	06-04-19
ISSUE DATE	
CAD NAME	433CA100
SHEET NO.	

A1.00

6/4/2019

DETAILED PROJECT DESCRIPTION:

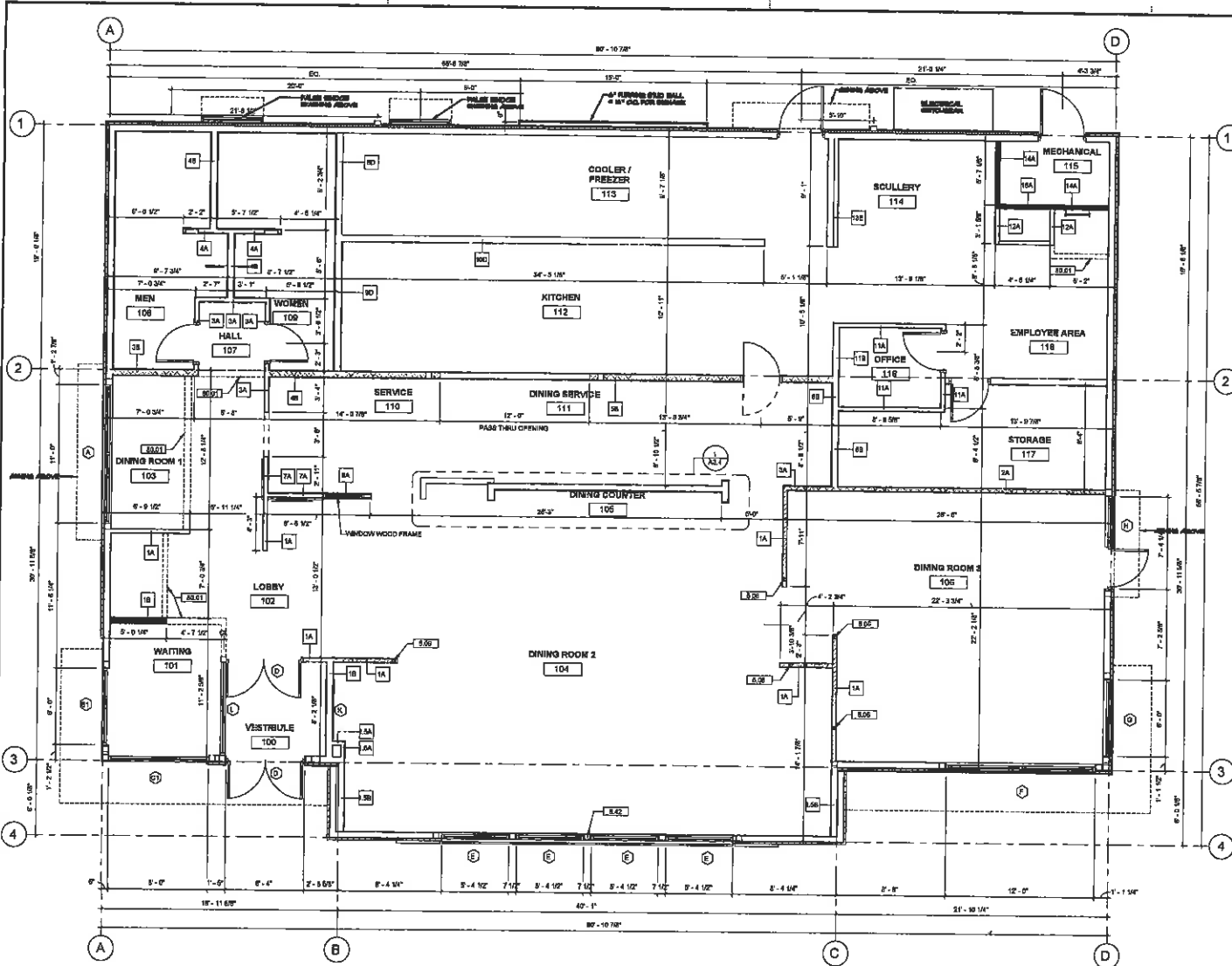
DENNY'S RESTAURANT

67800 Vista Chino, Cathedral City, CA 92234

(Northwest corner of Vista Chino & Landau Blvd.)

APN#: 677-213 066

The project scope outlined in this set of documents includes a new 4,340 sq.ft. free standing Denny's restaurant to be located in Cathedral City, California. Site work includes installation of new pavement, parking and landscaping for the 63,162 sq.ft. lot. The proposed building is a wood framed structure with stone, exterior insulation finish, and metal panels on the exterior facades. The exterior signs, awnings, and interior finishes are per the Denny's prototype design standards. Parking provided for 66 parking stalls (63 standard + 3 accessible). The proposed building will be constructed of type V-B fully sprinklered building, with setbacks greater than 35 feet on side, rear and front property lines so no additional requirements needed for increase of floor areas.



1 DIMENSION FLOOR PLAN
A1.2 1/4" = 1'-0"

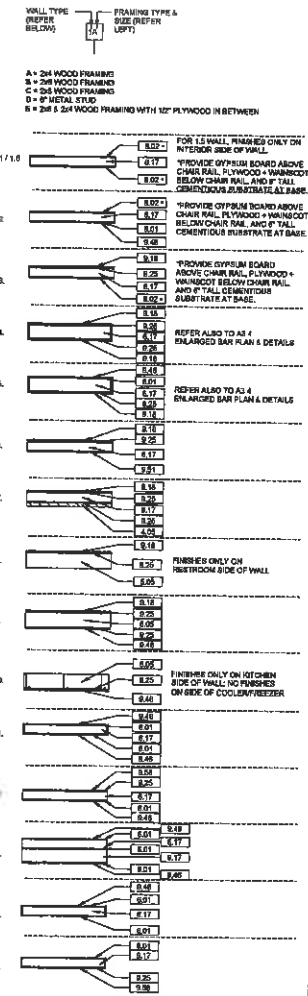
- KEYNOTES**
- 4.05 THEN BRUCK VENEER, REFER TO FINISH SCHEDULE & MANUFACTURER'S INSTALLATION GUIDANCE
 - 5.05 METAL FRAMING AT 1/2" C
 - 5.08 1/2" BRUCK TUBE, ANCHORED INTO SLAB, REFER TO STRUCTURAL DRAWINGS
 - 6.01 1/2" PLYWOOD
 - 6.11 2x WOOD FRAMING, REFER TO STRUCTURAL WOOD COLUMN, REFER TO STRUCTURAL DRAWINGS
 - 6.12 1/2" GYPSUM WALL BOARD
 - 6.18 OSB/DOCK WALL TIE, REFER TO INTERIOR ELEVATIONS
 - 6.26 1/2" CEMENTITIOUS BACKER BOARD
 - 6.66 PFP PANELS, REFER TO FINISH SCHEDULE
 - 6.51 TEXTURED FINISH LAWNITE OVER 1/2" PLYWOOD, REFER TO INTERIOR ELEVATIONS
 - 6.58 STAIN RESISTANT WALL PANEL
 - 6.51 LINE OF SOFFIT ABOVE, TYPICAL

- INTERIOR WALL HEIGHT LEGEND**
- INTERIOR BEARING WALL, REFER TO STRUCTURAL DRAWINGS
 - INTERIOR NON-BEARING WALL, HEIGHT TO DECK
 - INTERIOR NON-BEARING WALL, HEIGHT TO 10'-0"
 - INTERIOR PARTIAL HEIGHT WALL, FINISH HEIGHT TO 5'-0", SEE SHEET A1.4 FOR COUNTER HEIGHT

A1.2 GENERAL NOTES

1. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. GENERAL CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
2. DIMENSIONS ARE TO CENTERLINE OF COLUMN LINE, FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE.
3. DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTER OF THE OPENING, WITH THE EXCEPTION OF STOREFRONT SYSTEMS.
4. THE CONTRACTOR SHALL COORDINATE ALL UNDERGROUND PIPING, MECHANICAL AND ELECTRICAL WORK.
5. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND OTHER APPLICABLE CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
6. USE TWO-STEP CORNERS WHERE POSSIBLE.
7. INSULATION NOT SHOWN FOR CLARITY, REFER TO A1.1 NOTED FLOOR PLAN FOR INSULATION REQUIREMENTS.

WALL TYPES LEGEND



ARCHITECTONIX, INC.
 200 N. GARDEN CIRCLE DR., SUITE 200
 SANTA ANA, CA 92709 714-835-9200

SIGNIFICANT DATES

DATE	DESCRIPTION
08-24-19	ISSUED FOR PERMIT

All fees, deposits, and penalties have been received in full by Architectonix, Inc. and shall not be returned under any circumstances. Any information that is subject to the Uniform Computer Information Transactions Act shall be subject to the Uniform Computer Information Transactions Act. Please do not disseminate this information without written consent.



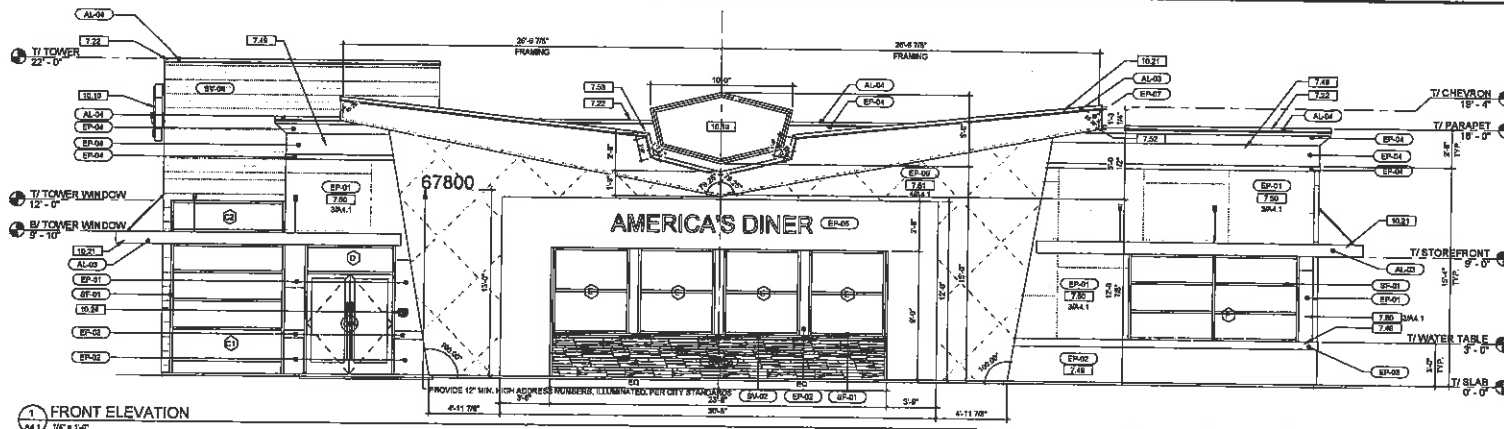
DENNY'S RESTAURANT
 67800 VISTA CHINO
 CATHEDRAL CITY, CA 92234

STORE #

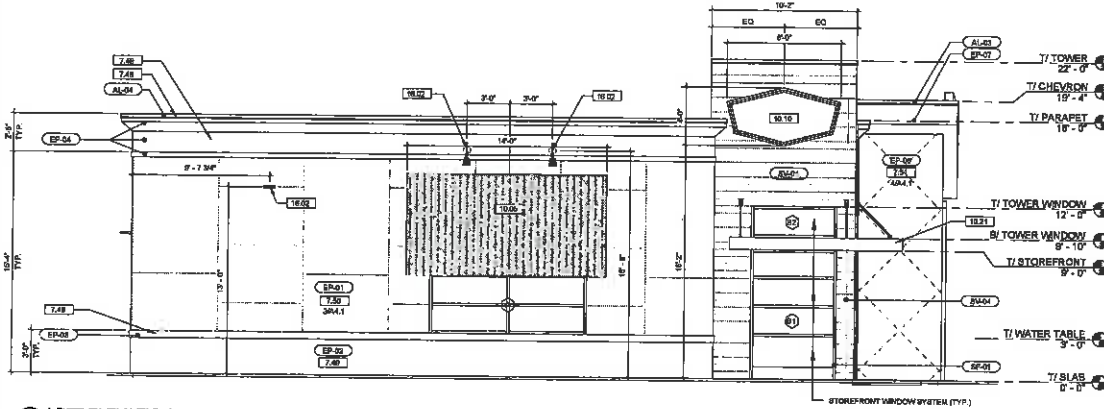
DIMENSION FLOOR PLAN

DRAWN	PM
SCALE	NONE
CON. NO.	438-01
DATE	08-04-19
DESIGNED BY	
CAD NAME	438GAD
DRYER NO.	

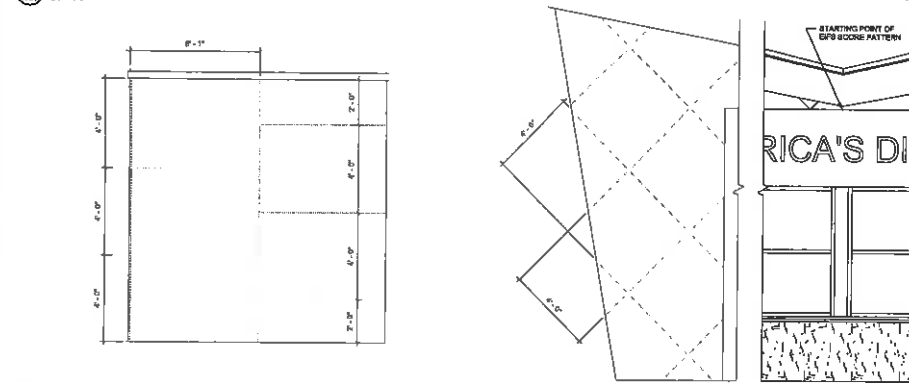
A1.2



1 FRONT ELEVATION
A4.1 1/4" = 1'-0"



2 LEFT ELEVATION
A4.1 1/4" = 1'-0"



3 EIFS SCORE PATTERN - VERTICAL RUNNING BOND
A4.1 3/8" = 1'-0"

4 EIFS SCORE PATTERN - DIAMOND
A4.1 3/8" = 1'-0"

A4 SERIES GENERAL NOTES

- 1 PROVIDE BLOCKING BEHIND ALL ATTACHED BUILDING SIGNAGE.
- 2 COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR PLACEMENT OF LIGHTING, WALL HYDRANTS, MECHANICAL LOUVERES, ETC.
- 3 PROVIDE BLOCKING BEHIND ALL ANNALS TO ENSURE A 300 LB PULL OUT OR BETTER.
- 4 ALL UTILITY BOXES (ELECTRICAL, PANELS, GAS METER, ETC.) ARE TO BE PAINTED TO MATCH EP-07 PER BUILDING FIELD.
- 5 DOWNSPUTS AND OUTLETS TO BE PRE-FINISHED AND PRE-FINISHED COLOR TO MATCH BUILDING FIELD.
- 6 ALL METAL COMPONENTS ON EXTERIOR ARE TO BE PRE-FINISHED AND PRE-FINISHED WHERE POSSIBLE.
- 7 ALL DOORS AND WINDOWS SHALL BE DARK BRONZE ANODIZED ALUMINUM WITH GLASS AS SELECTED BY OWNER AND ARCHITECT.
- 8 GASKET LINE AROUND WINDOWS AND DOOR SHALL BE 3/16" WIDE.
- 9 EXTERIOR WALL FINISH TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 10 ALL EXTERIOR LIGHT FIXTURES SHALL BE PRE-FINISHED REFER TO ELECTRICAL DRAWINGS.
- 11 ABBREVIATION "CF" DENOTES CONTROL JOINT.
- 12 COORDINATE ALL EXTERIOR SIGNAGE, CANOPIES, AWNINGS AND "AMERICA'S DINER" PANELS WITH DINER'S VENDOR.
- 13 SCORE PATTERNS IN EIFS ARE TO TURN CORNERS IN CONTINUOUS RUNS.
- 14 ALL PROPOSED SIGNAGE WILL BE REVIEWED UNDER A SEPARATE PERMIT. THE SITE IS PART OF THE PLAZA VISTA SIGN PROGRAM AND CABINET SIGNS ARE NOT ALLOWED.
- 15 REFER TO SHEET A4-2 FOR OTHER DIMENSIONS.

KEYNOTES

- 7.22 PREFINISHED ALUMINUM COPING CAP WITH CONTIGUOUS GLEAT. COLOR PER EXTERIOR FINISH SCHEDULE. SLOPE TO DRAIN TO ROOF. TYPICAL.
- 7.48 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS): DRYVIT INSULATION PLUS 2" THICK SANDBLAST FINISH. PAINT PER EXTERIOR FINISH SCHEDULE.
- 7.00 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS): DRYVIT INSULATION PLUS 2" THICK SANDBLAST FINISH. PAINT PER EXTERIOR FINISH SCHEDULE. DIAMOND SCORE PATTERN. REFER TO SCORE PATTERN DETAIL INDICATED.
- 7.81 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS): DRYVIT INSULATION PLUS 2" THICK SANDBLAST FINISH. PAINT PER EXTERIOR FINISH SCHEDULE. DIAMOND SCORE PATTERN. REFER TO SCORE PATTERN DETAIL INDICATED.
- 7.52 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS): DRYVIT INSULATION PLUS 2" THICK SANDBLAST FINISH. PAINT PER EXTERIOR FINISH SCHEDULE. SMOOTH FINISH. REFER TO EXTERIOR FINISH SCHEDULE.
- 7.53 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS): DRYVIT INSULATION PLUS 2" THICK SANDBLAST FINISH. PAINT PER EXTERIOR FINISH SCHEDULE. SANDBLAST FINISH. REFER TO EXTERIOR FINISH SCHEDULE.
- 10.06 AWNINGS AND FRAMES PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION. CONFIRM MOUNTING HOLE PLACEMENT WITH DINER'S VENDOR.
- 10.10 AWNINGS BY OTHER GENERAL CONTRACTOR SHALL INCLUDE BLOCKING AND POWER AS REQUIRED. COORDINATE INSTALLATION LOCATION WITH DINER'S VENDOR.
- 10.21 PREFABRICATED CANOPY. MAKE SUPER LUMBER/CLAY FLAT SCHEMATIC.
- 10.24 ROCK BONE. BE SHALL COORDINATE EXACT FIELD LOCATION WITH LOCAL FIRE MARSHAL AND BUILDING INSPECTOR.
- 10.02 LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.

NOTE: SIGNS ARE EVALUATED UNDER A SEPARATE PERMIT AND ARE NOT PART OF THIS ENTITLEMENT

WINDOW TYPE FOR CONSTRUCTION DOCUMENTS

EXTERIOR FINISH SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	COLOR	COMMENTS
METAL				
AL-03	PREFINISHED ALUMINUM COPING CAP	F.B.L.	COLOR TO MATCH EP-03	
AL-04	PREFINISHED ALUMINUM COPING CAP	F.B.L.	COLOR TO MATCH EP-04	
PAINT AND STAIN				
EP-01	BUILDING FIELD COLOR, DOORS, AND DOWNSPUTS	SHERWIN WILLIAMS	SW 7028 "TOMY TAUP"	
EP-02	EXTERIOR WATER TABLE, TRASH ENCLOSURE, WATER TABLE BAND	SHERWIN WILLIAMS	SW 7027 "WELL BRED BROWN"	
EP-03	WATER TABLE ACCENT BAND	SHERWIN WILLIAMS	SHERWIN WILLIAMS MATCH TO HOME DEPOT MILK CHOCOLATE	
EP-04	CORNICHE, PARAPET CAP FLASHING	SHERWIN WILLIAMS	SW 7026 "REAL GOLD"	
EP-05	HORIZONTAL SILVER ACCENT FOR AMERICA'S DINER	SHERWIN WILLIAMS	SW 4581 "SILVER - BRIT"	
EP-06	HORIZONTAL SILVER FIELD COLOR	SHERWIN WILLIAMS	SW 7028 "REAL WHITE"	
EP-07	"J" LIGHTING	SHERWIN WILLIAMS	SW 4581 "SILVER - BRIT"	
STONE VENEER				
SV-01	STONE VENEER ACCENT WALL AT VERTICAL AND ENTRY TOWER	ELDERADO STONE	MONTICLO CLIFF STONE	PLATE GL-2013, CORNERS GLD-0013
SV-02	CHESEBROUGH WATERTABLE SILL	ELDERADO STONE	MONTICLO CLIFF STONE	SEL PROPILE ADD 7014
SV-03	PIER ELEMENT ELASTIC SYSTEM	PICHERA	PIERASQUOZZO CLASSE FINISH	USE CSP1301 QUAD GULCH AT ALL VERTICAL JOINTS
STOREFRONT SYSTEM				
SF-01	STOREFRONT AND ASSOCIATED ALUMINUM BRANDED METAL	KAUFBERG METAL FAB (DARK BRONZE ANODIZED) 1514 OR EQUAL		



ARCHITECTRONIX, INC.
281 E. CEDAR CIRCLE DR., SUITE 204
SANTA ANA, CA 92705

REVISIONS
DATE DESCRIPTION
04-04-15 REVISION

All items, materials, and specifications shall be in accordance with the project specifications and shall be of the highest quality. The contractor shall be responsible for all materials and conditions on the job and shall coordinate with the local fire marshal and building inspector. Signage shall be reviewed under a separate permit.

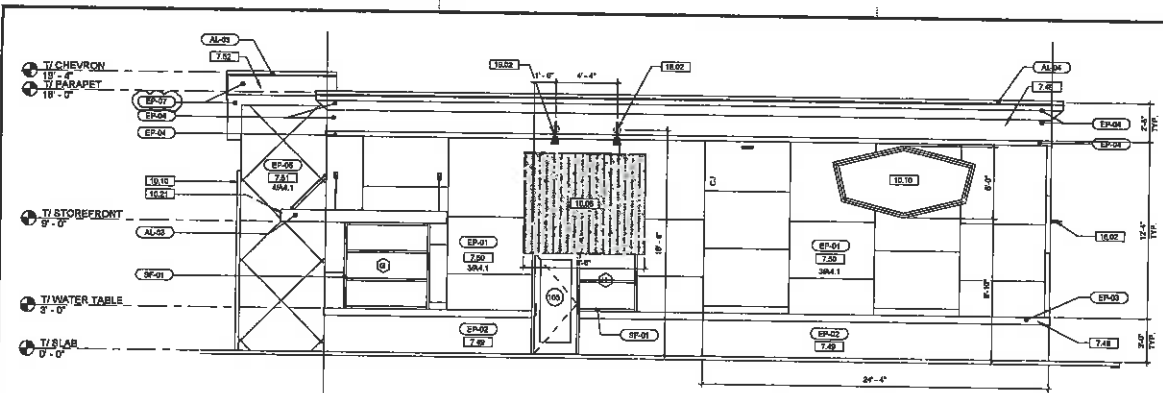


DENNY'S RESTAURANT
67800 VISTA CHINO
CATHEDRAL CITY, CA 92234
STORE #

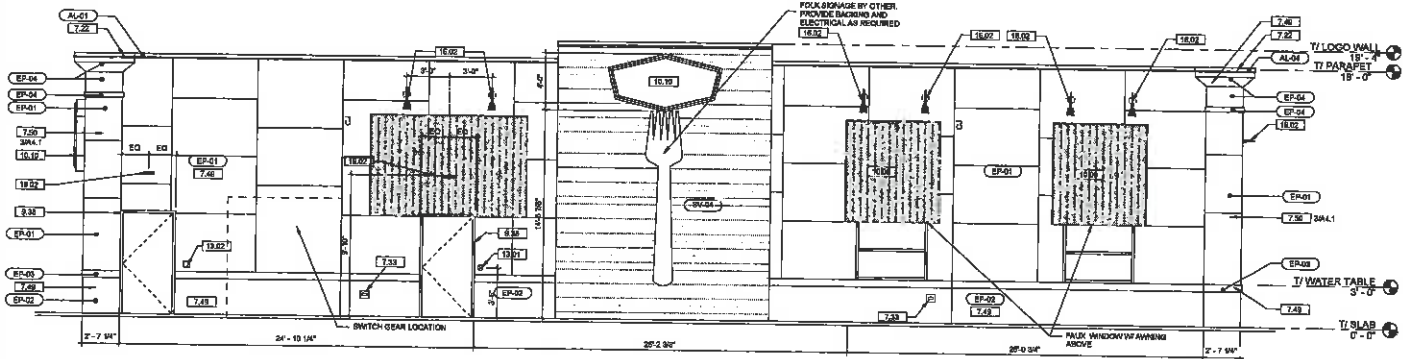
EXTERIOR ELEVATIONS

DESIGN: TFI
SCALE: NONE
JOB NO: 433-01
DATE: 04-04-15
REBAR DATE:
CADD NAME: 43301A4
PRINT NO:

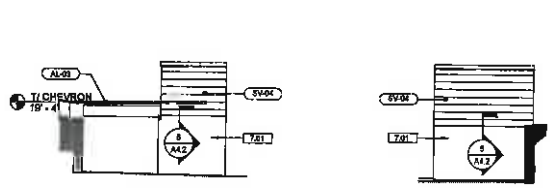
A4.1



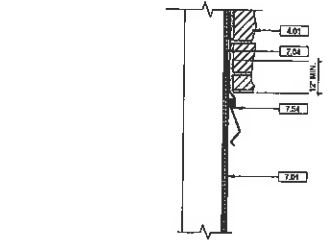
1 RIGHT ELEVATION
A4.2 180' x 1'-0"



2 REAR ELEVATION
A4.2 17' x 1'-0"



3 TOWER ELEVATION
A4.2 18' x 1'-0"



4 TOWER ELEVATION
A4.2 18' x 1'-0"



5 ROOF MEMBRANE TERMINATION
A4.2 1'-0\"/>

NOTE: SIGNS ARE EVALUATED UNDER A SEPARATE PERMIT AND ARE NOT PART OF THIS INSTRUMENT

EXTERIOR FINISH SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	COLOR	COMMENTS
AL-01	PRE-FINISHED ALUMINUM COPING CAP	F.B.I.	COLOR TO MATCH EP-04	
AL-02	PRE-FINISHED ALUMINUM COPING CAP	F.B.I.	COLOR TO MATCH EP-04	
PAINT AND STAIN				
EP-01	MAIN BUILDING FIELD COLOR, DOORS, AND BONNETS/COVERS	SHERWIN WILLIAMS	SW705 'TOMY TAUPPE'	
EP-02	EXTERIOR WATER-TABLE, TRASH ENCLOSURE (WATER, TRASH)	SHERWIN WILLIAMS	SW702 'HELL BRED BROWN'	
EP-03	WATER TABLE ACCENT BAND	SHERWIN WILLIAMS	SW705 'TOMY TAUPPE'	
EP-04	CORNER PARAPET CAP FLASHING	SHERWIN WILLIAMS	SW 705 'REAL BRW'	
EP-05	VERTICAL SILVER ACCENT FOR AMERICA'S DEN	SHERWIN WILLIAMS	SW 705 'REAL BRW'	
EP-06	VERTICAL SILVER ACCENT FOR AMERICA'S DEN	SHERWIN WILLIAMS	SW 705 'REAL BRW'	
EP-07	T/CHEVRON	SHERWIN WILLIAMS	SW 705 'REAL BRW'	
STONE VENEER				
EP-01	STONE VENEER ACCENT WALL AT V-PORCH AND ENTRY TOWER	ELDORADO STONE	MONTEGRO CLIFFSTONE	PLATE CL-010; CORNERS QLO-019
EP-02	SHIBUI EDI WATER-TABLE SILL	MONTEBOTO CLIFFSTONE		
EP-03	FRIER CEMENT CLADDING SYSTEM	INDUSTRIAL	WINTAGEWOOD, CEDAR FINISH	USE ON BENT/SHOULDER CALCUL AT ALL VERTICAL JOINTS
STONETIGHT SYSTEM				
EP-01	STONETIGHT AND ASSOCIATED ALUMINUM FINISH/METAL	KAUFNER VOYTRAP	DARK BRONZE ANODIZED 1/4\"/>	

A4 SERIES GENERAL NOTES

- 1 PROVIDE BLOCCING BEHIND ALL ATTACHED BUILDING STORAGE
- 2 COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR PLACEMENT OF LIGHTING, WALL SYSTEMS, MECHANICAL UNITS, ETC.
- 3 PROVIDE BLOCCING BEHIND ALL AWNINGS TO ENSURE A 30D LB FALL OUT OR BETTER.
- 4 ALL UTILITY BOXES (ELECTRICAL, PHONES, GAS, WATER, ETC.) ARE TO BE PAINTED TO MATCH RIPS IF PERMISSIBLE BY THE LOCAL UTILITY COMPANY.
- 5 DOWNSPUTS AND GUTTERS TO BE PERFORMED AND PRE-FINISHED COLOR TO MATCH BUILDING FIELD.
- 6 ALL METAL COMPONENTS ON EXTERIOR ARE TO BE PERFORMED AND PRE-FINISHED WHERE POSSIBLE.
- 7 ALL DOORS AND WINDOWS SHALL BE DARK BRONZE ANODIZED ALUMINUM WITH GLASS AS SELECTED BY OWNER AND ARCHITECT.
- 8 GASK LINE AROUND WINDOWS AND DOOR SHALL BE 1/4\"/>

KEYNOTES

- 4.01 INSULATED STONE VENEER IN MORTAR OVER METAL LATH, OVER ONE LAYER 1/4\"/>



ARCHITECTONIX, INC.
300 AL COCKER CIRCLE DR., SUITE 204
SANTA ANA, CA 92705 714-268-0702

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	10-04-19	ISSUED	SM

All items, materials, and specifications shall conform to the quantity of specifications and shall not be used, unless approved, or directed to any other, fine or otherwise, without the written consent of the architect. Contractors shall verify and be responsible for all dimensions and quantities on the site and notify the architect of any discrepancies immediately. All dimensions are in feet and inches unless otherwise noted.



DENNY'S RESTAURANT
67800 VISTA CHINO
CATHEDRAL CITY, CA 92234
STORE #

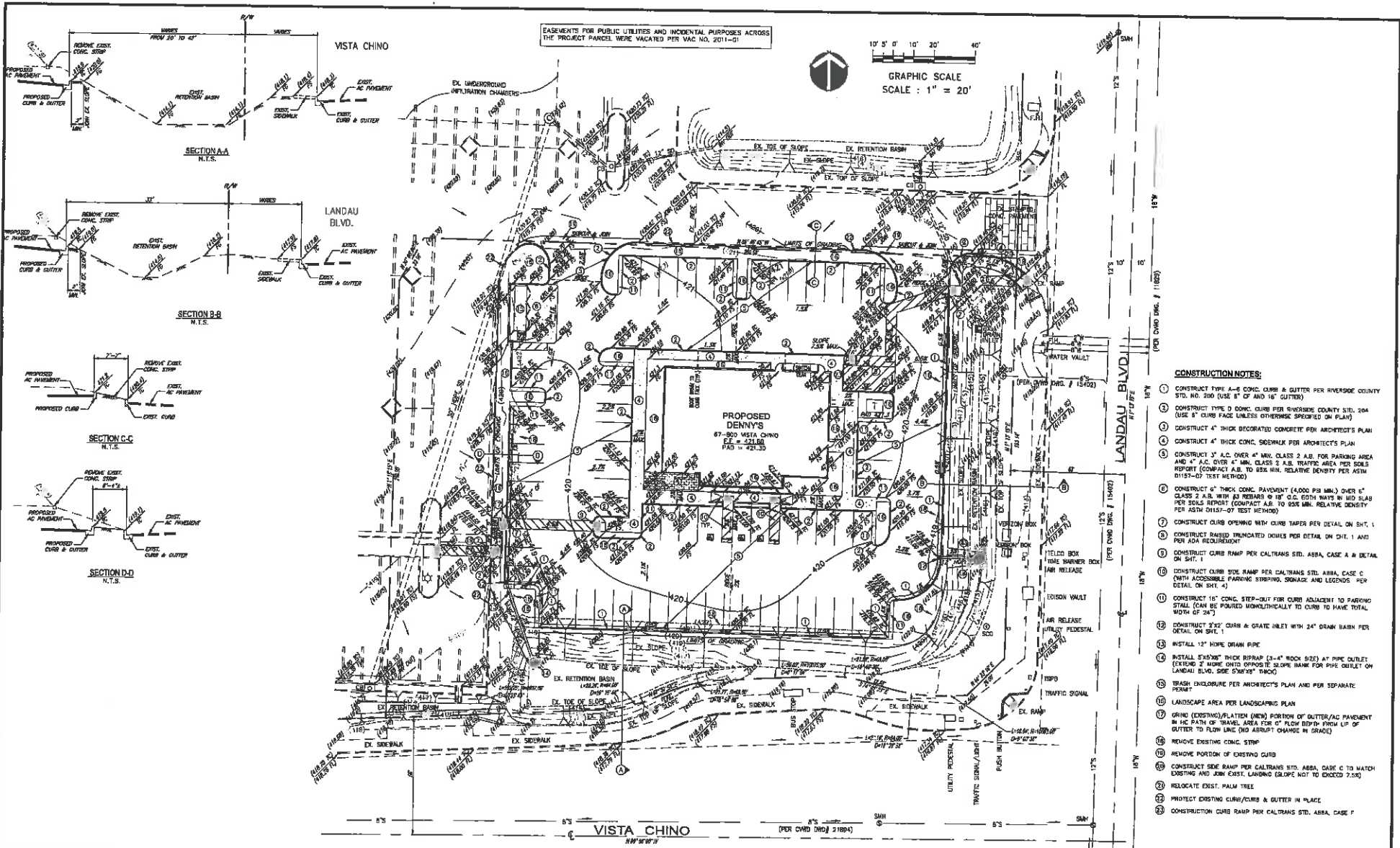
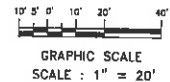
EXTERIOR ELEVATIONS

DRAWING INFORMATION

DRAWN	PH
SCALE	AS NOTED
JOB NO.	433-01
DATE	06-04-19
CAD NAME	43301A43
PROJECT NO.	

A4.2

EASEMENTS FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES ACROSS THE PROJECT PARCEL WERE VACATED PER VAC NO. 2011-01



- CONSTRUCTION NOTES:**
- 1) CONSTRUCT TYPE A-6 CONC. CURB & GUTTER PER RIVERSIDE COUNTY STD. NO. 200 (USE 4" OF 16" GUTTER)
 - 2) CONSTRUCT TYPE D CONC. CURB PER RIVERSIDE COUNTY STD. 204 (USE 6" CURB FACE UNLESS OTHERWISE SPECIFIED ON PLAN)
 - 3) CONSTRUCT 4" THICK DECORATED CONCRETE PER ARCHITECT'S PLAN
 - 4) CONSTRUCT 4" THICK CONC. SIDEWALK PER ARCHITECT'S PLAN
 - 5) CONSTRUCT 3" A.C. OVER 4" MIN. CLASS 2 A.B. FOR PARKING AREA AND 4" A.C. OVER 4" MIN. CLASS 2 A.B. TRAFFIC AREA PER SOils REPORT (COMPACT A.B. TO 95% MIN. RELATIVE DENSITY PER ASTM D1557-07 TEST METHOD)
 - 6) CONSTRUCT 6" THICK CONC. PAVEMENT (4000 PSI MIN.) OVER 4" CLASS 2 A.B. WITH #3 REBARS @ 12" O.C. WITH 1/2" MIN. SAND FILL PER SOils REPORT (COMPACT A.B. TO 95% MIN. RELATIVE DENSITY PER ASTM D1557-07 TEST METHOD)
 - 7) CONSTRUCT CURB OPENING WITH CURB TAPER PER DETAIL ON SHT. 1
 - 8) CONSTRUCT BASED ILLUMINATED SIGNS PER DETAIL ON SHT. 1 AND PER ADA REQUIREMENT
 - 9) CONSTRUCT CURB RAMP PER CALTRANS STD. ABA, CASE A & DETAIL ON SHT. 1
 - 10) CONSTRUCT CURB SIDE RAMP PER CALTRANS STD. ABA, CASE C (WITH ACCESSIBLE PARKING STRIPING, SIGNAGE AND LEGENDS PER DETAIL ON SHT. 4)
 - 11) CONSTRUCT 18" CONC. STEP-OUT FOR CURB ADJACENT TO PARKING STALL (CAN BE POURED OPPOSITE TO CURB TO HAVE TOTAL WIDTH OF 24")
 - 12) CONSTRUCT 2"x2" CHAIN & GRATE INLET WITH 2" DRAIN BASIN PER DETAIL ON SHT. 1
 - 13) INSTALL 12" HOSE DRAIN PIPE
 - 14) INSTALL 8"x8"x20" THICK REBAR (3-4" HOOD SIZE) AT PIPE OUTLET (EXTEND 2' MORE ONTO OPPOSITE SLOPE BANK FOR PIPE OUTLET ON LANDAU BLVD. SEE EXIST' THICK)
 - 15) TRASH ENCLOSURE PER ARCHITECT'S PLAN AND PER SEPARATE PERMIT
 - 16) LANDSCAPE AREA PER LANDSCAPING PLAN
 - 17) GRIND (EXISTING) FLAT (NEW) PORTION OF GUTTER/PAVEMENT IN THE PATH OF TRAVEL AREA FOR 6" FLOW DEPTH FROM LIP OF GUTTER TO FLOW LINE (NO ADJUST CHANGE IN GRADE)
 - 18) REMOVE EXISTING CONC. STRIP
 - 19) REMOVE PORTION OF EXISTING CURB
 - 20) CONSTRUCT SIDE BANK FOR CALTRANS STD. ABA, CASE C TO MATCH EXISTING AND LEAN EXIST. LANDING (SLOPE NOT TO EXCEED 7:50)
 - 21) RELOCATE EXIST. PALM TREE
 - 22) PROTECT EXISTING CURB/CLIMS & GUTTER IN PLACE
 - 23) CONSTRUCTION CURB RAMP PER CALTRANS STD. ABA, CASE F

<p>DCA/ERT Underground Service Airt 811</p>	BENCH MARK: 111 ELEV. 445.98 DESCRIPTION: (NOV023) BENCH MARK NO. 111, STAMPER 111 1886, CATHEDRAL CITY BRIDGE OVER BY CONCRETE BRIDGE ABUTMENT APPROXIMATELY 40 FT. SOUTHWESTLY OF THE SOUTH EASTERLY CORNER OF BRIDGE OVER THE INTERSECTION WITH VISTA CHINO, ON THE TOP OF THE CONCRETE SLOPE PAVING ON EASTERLY SIDE OF BRIDGE SOUTHWESTLY OF VISTA CHINO. ELEV. = 444.98 (NOV023)		APPROVED BY: JESSICA GONZALEZ, PE CIVIL ENGINEER RECOMMENDED FOR APPROVAL BY: JAMES K. HANSEN, PE CIVIL ENGINEER	PREPARED BY: LINDA WILSON RCE 4871	L.N. CIVIL ENGINEERS, INC. 12118 HUMPHRETT PLACE CHINO, CA 91710 Phone (909)485-0470 Long.Lance@verizon.net	IN THE CITY OF CATHEDRAL CITY, CALIFORNIA GRADING PLAN FOR DENNY'S RESTAURANT PLAZA RIO VISTA PORTION OF PARCEL 1 & 4, P.M. 33783, BK 228, PG. 89-74 A PORT. OF THE S 1/2 OF SEC. 5, T4S, R2E, S8M.	SHEET 2 OF 4 SHEETS
	NO. REVISION DATE APPR.						

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

July 11, 2019

Ms. Dionne Harris, Urban Regional Planner II
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside CA 92501
(VIA HAND DELIVERY)

CHAIR
Steve Manos
Lake Elsinore

VICE CHAIR
Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.aluc.org

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1373MA19
Related File No.: PM37397 (Tentative Parcel Map)
APN: 315-040-005

Dear Ms. Harris:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. PM37397 (Tentative Parcel Map), a proposal to divide 5.47 gross acres located northerly of Costello Avenue, westerly of Brown Street, easterly of Alexander Street, and southerly of Oleander Avenue into four residential lots.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (AMSL). At a distance of 14,700 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review could be required for any structures with a top of roof exceeding 1,635 feet AMSL. The project site elevation is 1,660 feet AMSL, and the parcel map depicts existing buildings, although no new structures are proposed at this time. Review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) is not a prerequisite to land division, but will be required prior to construction of new buildings or any other structures on the parcels. A condition has been included requiring that the permittee obtain a “Determination of No Hazard to Air Navigation” letter from the FAA OES prior to issuance of building permits for any new structures on the property.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

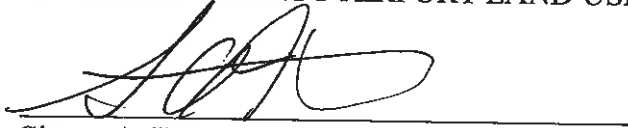
1. Any new outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Mead Valley Area Plan:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the proposed lots and tenants of any dwellings thereon, and shall be recorded as a deed notice prior to, or in conjunction with, recordation of the final map. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.
4. Any ground-level or aboveground water detention basin or facilities shall be designed and maintained for a maximum 48-hour detention period after the design storm and remain totally dry between rainfalls. Vegetation around such facilities that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping.
5. The following uses are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; and hazards to flight.
6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

AIRPORT LAND USE COMMISSION

7. Prior to issuance of building permits for any new structures, the permittee shall provide to the Riverside County Department of Building and Safety a "Determination of No Hazard to Air Navigation" letter from the Federal Aviation Administration Obstruction Evaluation Service.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

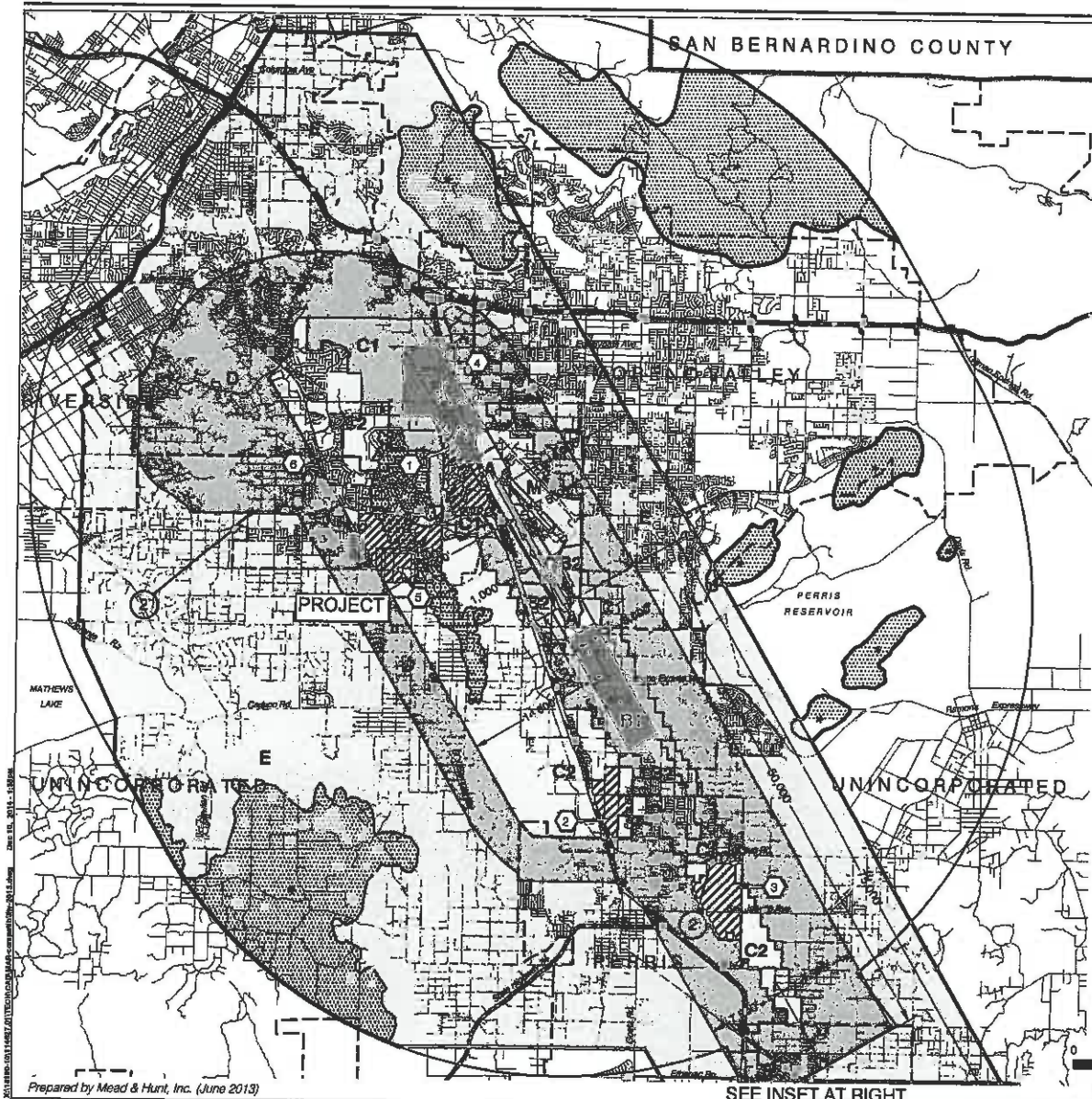
Attachments: Notice of Airport in Vicinity

cc: Manuel and Helen Lopez (applicants/landowners)
ACE Group Inc., Rod Arsalan (applicant's representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel "Rock" Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1373MA19\ZAP1373MA19.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

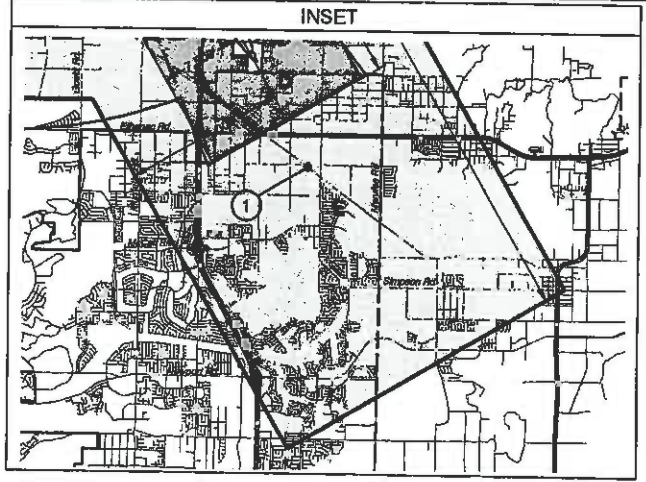
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- - - City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

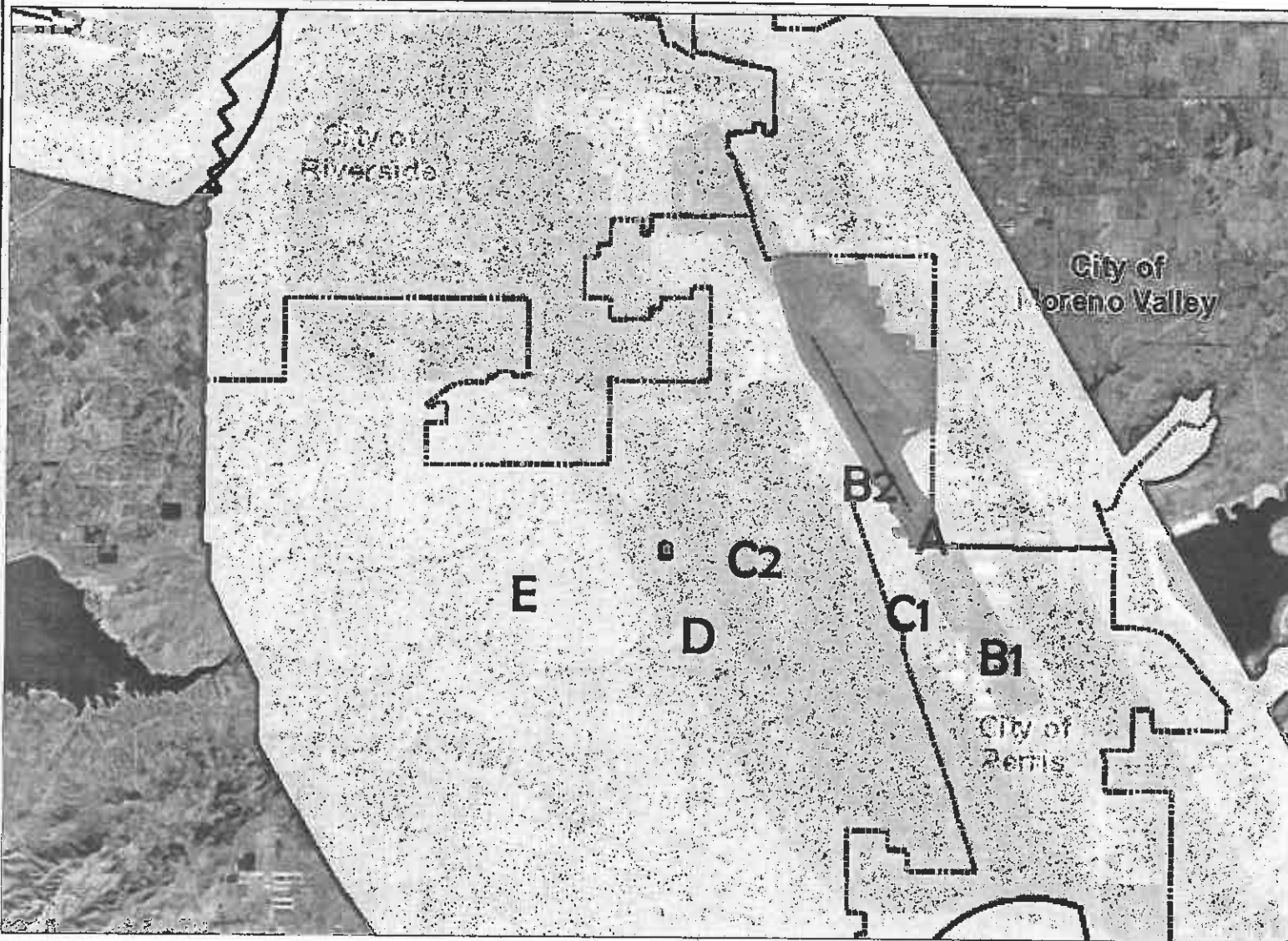
Map MA-1

Compatibility Map
March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- ▨ OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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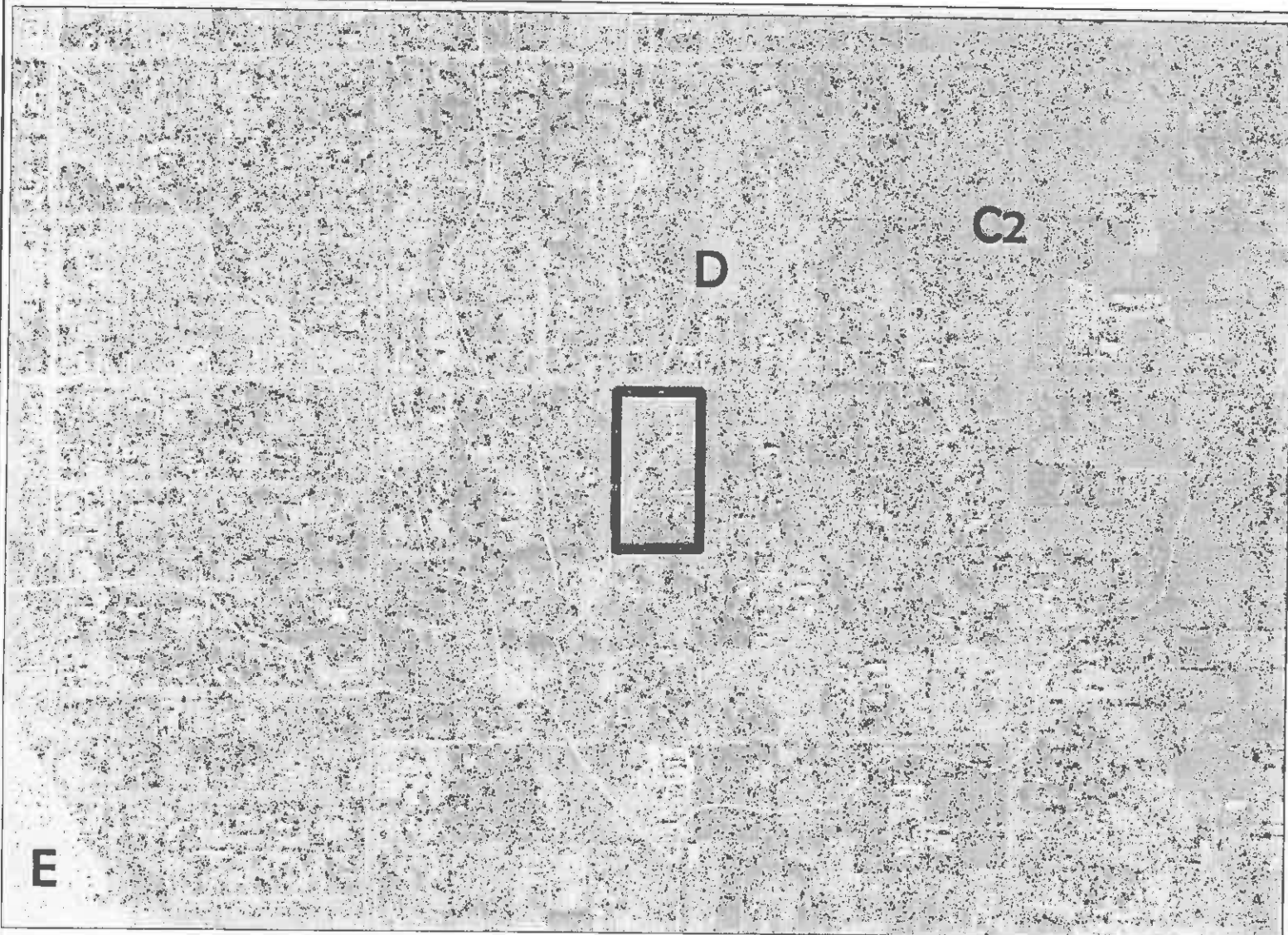


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Notes

Map My County Map



Legend

- Runways
- ▣ Airports
- ▣ Airport Influence Areas
- Airport Compatibility Zones**
- ▨ OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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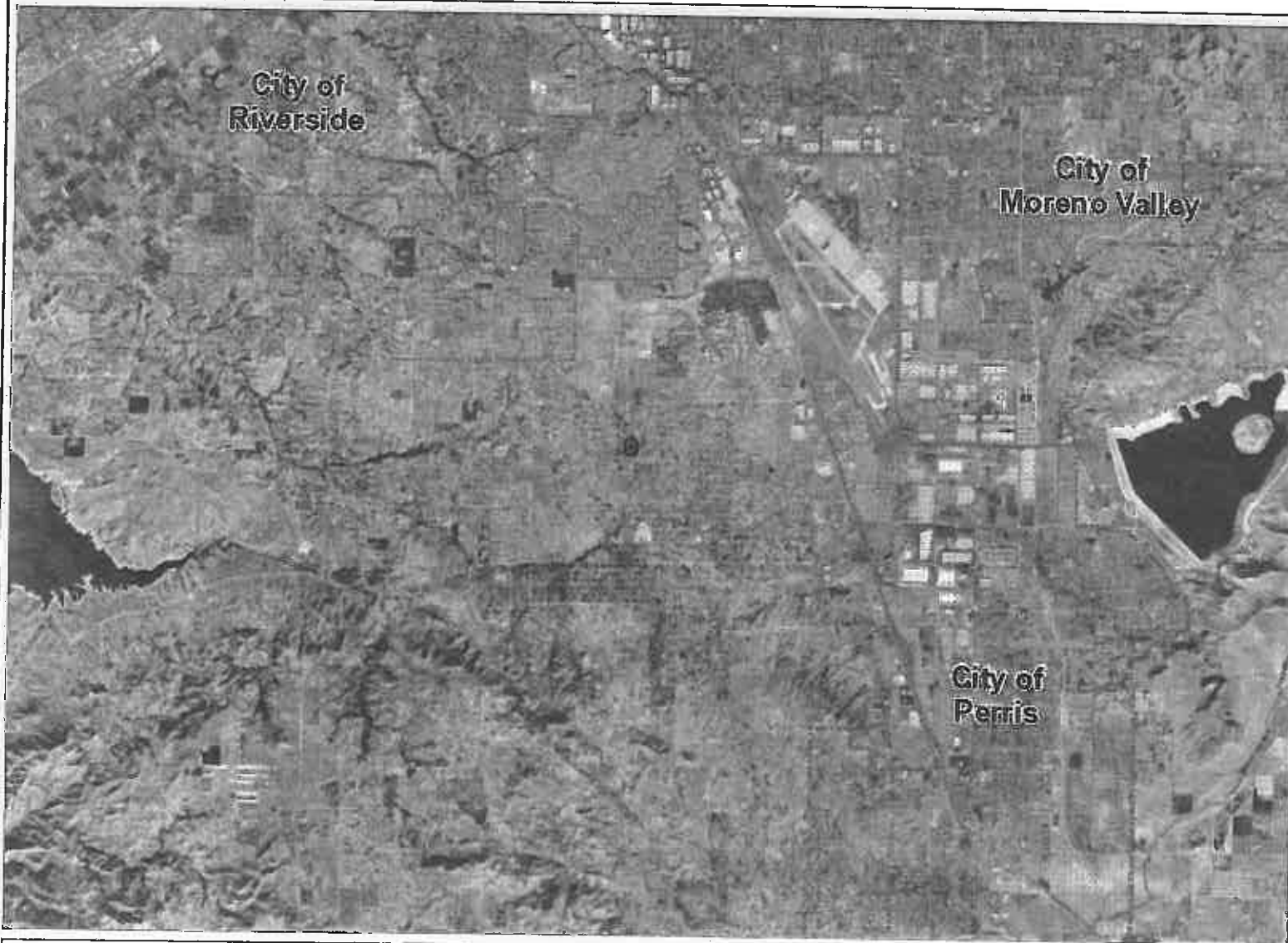


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Notes

Map My County Map



Legend

-  City Areas
-  World Street Map



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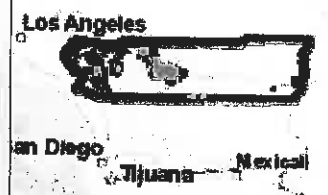


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Notes

Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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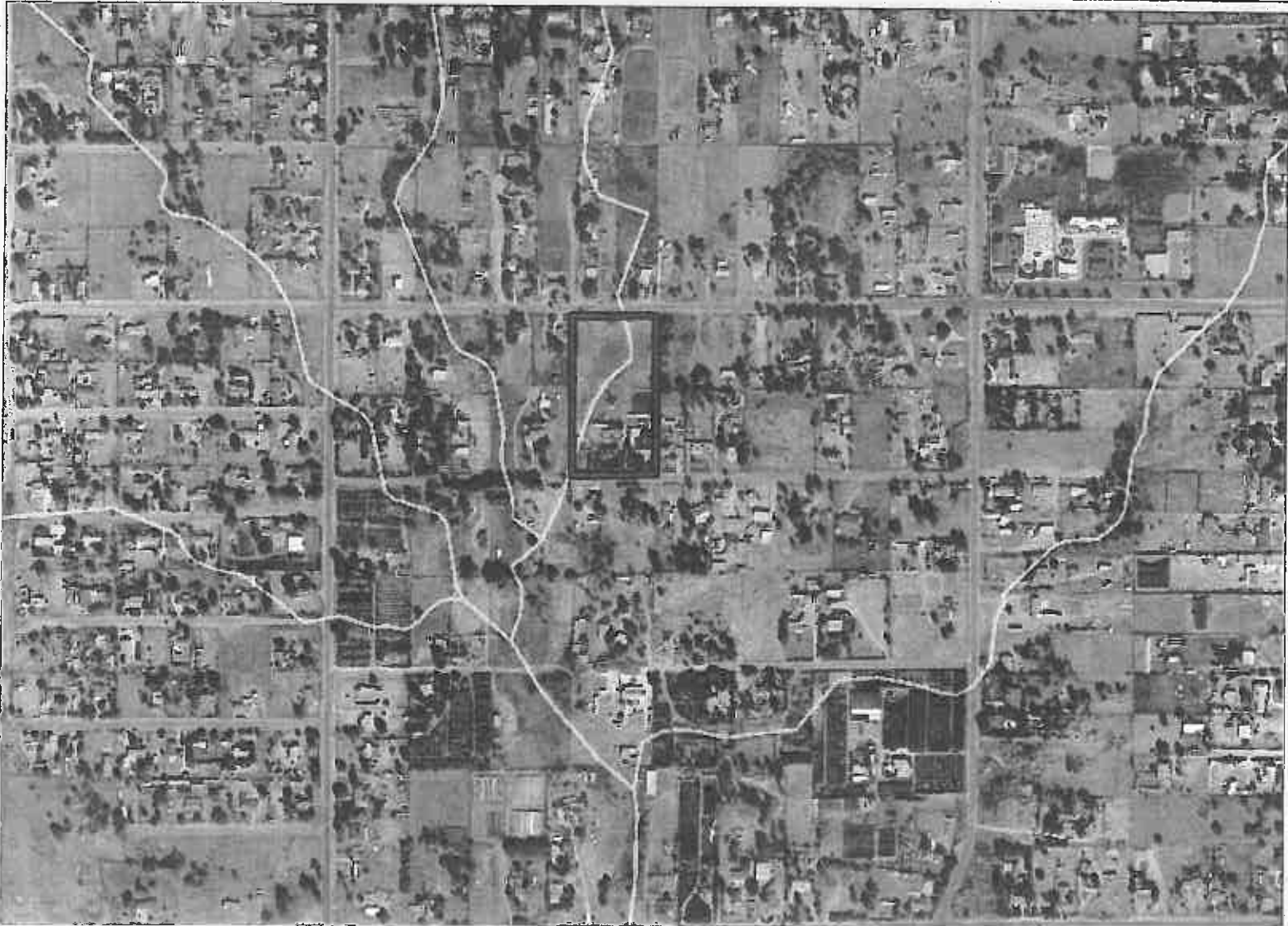


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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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0 758 1,516 Feet

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Notes

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**AIRPORT LAND USE COMMISSION
RIVERSIDE COUNTY**

July 11, 2019

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Lake Elsinore

VICE CHAIR
Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Terreclula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lamon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.com

Mr. Chris Tracy, Senior Planner
City of Murrieta Planning Department
1 Town Square
Murrieta CA 92562

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1091FV19
Related File No.: DCA-2019-1923 (Development Code Amendment)
APN: Citywide

Dear Mr. Tracy:


As authorized by the Riverside County Airport Land Use Commission (ALUC) pursuant to its Resolution No. 2011-02, as ALUC Director, I have reviewed City of Murrieta Case No. DCA-2019-1923 (Development Code Amendment), an amendment to the City’s Development Code (Title 16 of the Murrieta Municipal Code) revising Section 16.20 relating to Density Bonuses. The new Section 16.20 focuses on permit processing requirements allowing for the density bonuses, incentives, concessions, and waivers mandated by Section 65915 of the California Government Code. It does not provide for any bonuses, incentives, or waivers in addition to those required by State law.

The existing Section 16.20 already provided for the same levels of density bonuses as provided in State law, and the revised section simply refers to the State law as to the density bonus levels; therefore, this amendment does not result in an increase in residential density or non-residential intensity. As such, it has no possibility for having an impact on the safety of air navigation within the portions of the French Valley Airport Influence Area located within the City of Murrieta.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachment: Proposed Development Code Amendment

Y:\AIRPORT CASE FILES\French Valley\ZAP1091FV19\ZAP1091FV19.LTR.doc

AN ORDINANCE (DCA 2019-1923) AMENDING TITLE 16, ARTICLE III, SECTION 16.20 OF THE MURRIETA MUNICIPAL CODE TO MAKE CITY CODE CONSISTENT WITH STATE DENSITY BONUS LAW.

SECTION 1. The City Council of the City of Murrieta does hereby find and declares as follows:

WHEREAS, California Government Code Section 65915(a) requires that all cities adopt an ordinance that specifies how compliance with State Density Bonus Law will be implemented; and

WHEREAS, a hearing on the matter was duly noticed as provided in Development Code section 16.76.040 for the Planning Commission and held on June 26, 2019; and

WHEREAS, on July 16, 2019 the City of Murrieta City Council held a duly noticed public hearing on DCA 2019-1923 in compliance with Murrieta Development Code Section 16.76.040, at which time a staff report was presented and evidence in the record was provided to support the findings required by the Murrieta Development Code Section 16.58.080 as reflected in Planning Commission Resolution 2019-1923; and

WHEREAS, the City finds that the proposed amendments to the City's Municipal Code are exempt from environmental review pursuant to General Rule, Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines since there would be no possibility of a significant effect on the environment. The ordinance being considered specifies how the City will comply with and implement State density bonus law, and adoption is required pursuant to Government Code §65915(a). The bonuses, *incentives*, and waivers permitted by the ordinance are required by State law, and this ordinance does not permit any bonuses, *incentives*, or waivers other than those required by State law; and

WHEREAS, the City Council has considered the facts presented in the case, including the written and oral staff reports on the proposed Amendment (DCA 2019-1923), public testimony, written and oral evidence presented to the City Council, Planning Commission and the Planning Commission recommendation.

NOW, THEREFORE, the City Council of the City of Murrieta resolves as follows:

SECTION 2. Section 16.20 of the Murrieta Municipal Code is hereby repealed and replaced to read as follows:

16.20 Density Bonus Regulations.

16.20.010 Purpose.

The public good is served when there exists in a city, housing which is appropriate for the needs of and affordable to the public who reside within that city. There is in the City of Murrieta a need for housing affordable to various groups, such as lower income, moderate income and senior citizen households. Therefore, it is in the public interest for the City to promote the construction of such additional housing through the exercise of its powers and utilization of its resources to facilitate the development of quality housing affordable for these types of households.

- A. It is the purpose of this section to specify how compliance with Government Code Sections 65915, 65915.5, 65915.7, and 65917 ("State Density Bonus Law") will be implemented, as required by Government Code Section 65915(a).
- B. It is the purpose of this section to implement the goals, objectives and policies of the Housing Element of the City's General Plan.
- C. It is the purpose of this section to provide the implementing framework, as it relates to affordable housing density bonuses, and offer *concessions* and *incentives* for eligible housing developments which are consistent with the City's long-standing commitment to provide for affordable housing.

16.20.020 Definitions.

The definitions found in State Density Bonus Law shall apply to the terms contained in this subsection.

16.20.030 Applicability.

A *housing development* as defined in State Density Bonus Law shall be eligible for a density bonus and other regulatory *incentives* that are provided by State Density Bonus Law when the applicant seeks and agrees to provide low, very-low, senior or moderate income housing units or units intended to serve transitional foster youth, disabled veterans, homeless persons, and lower income students in the threshold amounts specified in State Density Bonus Law. A *housing development* includes only the residential component of a mixed use project. A *commercial development* as defined in subsection 16.20.100 shall be eligible for a *commercial development bonus* as provided in subsection 16.20.100.

The granting of a density bonus, *incentive* or *concession*, pursuant to this section, shall not be interpreted, in and of itself, to require a general plan amendment, development code amendment, zone change, other discretionary approval, or the waiver of a city ordinance or provisions of a city ordinance unrelated to development standards.

16.20.040 Application Requirements.

- A. Any applicant requesting a density bonus and any *incentive(s)*, waiver(s), parking reductions, or *commercial development bonus* provided by State Density Bonus Law shall submit a density bonus report as described below concurrently with the filing of the planning application for the first discretionary permit required for the *housing development*, *commercial development*, or mixed-use development. The requests contained in the density bonus report shall be processed concurrently with the planning application. The applicant shall be informed whether the application is complete consistent with Government Code Section 65943.
- B. The density bonus report shall include the following minimum information:
 1. Requested Density Bonus.
 - a. Summary table showing the maximum number of dwelling units permitted by the zoning and general plan excluding any density bonus units, proposed affordable units by income level, proposed bonus percentage, number of density bonus units proposed, total number of dwelling units proposed on the site, and resulting density in units per acre.
 - b. A tentative map and/or preliminary site plan, drawn to scale, showing the number and location of all proposed units, designating the location of proposed affordable units and density bonus units.
 - c. The zoning and general plan designations and assessor's parcel number(s) of the housing development site.
 - d. A description of all dwelling units existing on the site in the five-year period preceding the date of submittal of the application and identification of any units rented in the five-year period. If dwelling units on the site are currently rented, income and household size of all residents of currently occupied units, if known. If any dwelling units on the site were rented in the five-year period but are not currently rented, the income and household size of residents occupying dwelling units when the site contained the maximum number of dwelling units, if known.
 - e. Description of any recorded covenant, ordinance, or law applicable to the site that restricted rents to levels affordable to very low or lower income households in the five-year period preceding the date of submittal of the application.
 - f. If a density bonus is requested for a land donation, the location of the land to be dedicated, proof of site control, and reasonable documentation that each of the requirements included in Government Code Section 65915(g) can be met.
 2. Requested *Concession(s)* or *Incentive(s)*.

In the event an application proposes *concessions* or *incentives* for a *housing development* pursuant to State Density Bonus Law, the density bonus report shall include the following minimum information for each *incentive* requested, shown on a site plan if appropriate:

- a. The City's usual development standard and the requested development standard or regulatory *incentive*.
- b. Except where mixed-use zoning is proposed as a *concession* or *incentive*, reasonable documentation to show that any requested *incentive* will result in identifiable and actual cost reductions to provide for affordable housing costs or rents.
- c. If approval of mixed use zoning is proposed, reasonable documentation that nonresidential land uses will reduce the cost of the *housing development*, that the nonresidential land uses are compatible with the *housing development* and the existing or planned development in the area where the proposed *housing development* will be located, and that mixed use zoning will provide for affordable housing costs or rents.

3. Requested or Waiver(s).

In the event an application proposes waivers of development standards for a housing development pursuant to State Density Bonus Law, the density bonus report shall include the following minimum information for each waiver requested on each lot, shown on a site plan if appropriate:

- a. The City's usual development standard and the requested development standard.
- b. Reasonable documentation that the development standards for which a waiver is requested will have the effect of physically precluding the construction of a development at the densities or with the *concessions* or *incentives* permitted by Government Code Section 65915.

4. Requested Parking Reduction.

In the event an application proposes a parking reduction for a *housing development* pursuant to Government Code Section 65915(p), a table showing parking required by the zoning regulations, parking proposed under Section 65915(p), and reasonable documentation that the project is eligible for the requested parking reduction.

5. Child Care Facility.

If a density bonus or *incentive* is requested for a child care facility in a *housing development*, reasonable documentation that all of the requirements included in Government Code Section 65915(h) can be met.

6. Condominium Conversion.

If a density bonus or *incentive* is requested for a condominium conversion, reasonable documentation that all of the requirements included in Government Code Section 65915.5 can be met.

7. Commercial Development Bonus.

If a *commercial development bonus* is requested for a *commercial development*, the application shall include the proposed *partnered housing agreement* and the proposed *commercial development bonus*, as defined in subsection 16.20.100, and reasonable documentation that each of the standards included in subparagraph 16.20.100.C has been met.

8. Fee.

Payment of any fee in an amount set by resolution of the City Council for staff time necessary to determine compliance of the Density Bonus Plan with State Density Bonus Law.

16.20.050 Density Bonus.

All calculations are rounded up for any fractional numeric value in determining the total number of units to be granted, including base density and bonus density, as well as, the resulting number of affordable units needed for a given density bonus project.

- A. If a *housing development* qualifies for a density bonus under more than one income category, or additionally as senior housing or as housing intended to serve transitional foster youth, disabled veterans, homeless persons, or lower income students, the applicant shall identify the categories under which the density bonus would be associated with and granted to. Density bonuses from more than one category can be combined up to maximum allowed under State Density Bonus law.
- B. The density bonus units shall not be included in determining the number of affordable units required to qualify a *housing development* for a density bonus pursuant to State Density Bonus Law.
- C. The applicant may elect to accept a lesser percentage of density bonus than the *housing development* is entitled to, or no density bonus, but no reduction will be permitted in the percentages of required affordable units contained in Government Code Section 65915(b), (c), and (f). Regardless of the number of affordable units, no *housing development* shall be entitled to a density bonus of more than what is authorized under State Density Bonus Law.

16.20.060 Incentives.

- A. Incentives include *incentives* and *concessions* as defined in State Density Bonus Law. The number of *incentives* that may be requested shall be based upon the number the applicant is entitled to pursuant to State Density Bonus Law.
- B. Nothing in this subsection requires the provision of direct financial *incentives* for the *housing development*, including, but not limited to, the provision of financial subsidies, publicly owned land, fee waivers, or waiver of dedication requirements. The City, at its sole discretion, may choose to provide such direct financial *incentives*.

16.20.070 Review Procedures.

All requests for density bonuses, *incentives*, parking reductions, waivers, or *commercial development bonuses* shall be considered and acted upon by the approval body with authority to approve the development within the timelines prescribed by Government Code Sections 65950 et seq., with right of appeal to the City Council.

- A. Eligibility for Density Bonus, *Incentive(s)*, Parking Reduction, and/or Waiver(s) for a *Housing Development*. To ensure that an application for a *housing development* conforms with the provisions of State Density Bonus Law, the staff report presented to the decision-making body shall state whether the application conforms to the following requirements of state law as applicable:
 1. The *housing development* provides the affordable units or senior housing required by State Density Bonus Law to be eligible for the density bonus and any *incentives*, parking reduction, or waivers requested, including the replacement of units rented or formerly rented to low and very low income households as required by Government Code Section 65915(c)(3).
 2. Any requested *incentive* will result in identifiable and actual cost reductions to provide for affordable housing costs or rents; except that, if a mixed-use development is requested, the application must instead meet all of the requirements of Government Code Section 65915(k)(2).
 3. The development standards for which a waiver is requested would have the effect of physically precluding the construction of a development at the densities or with the *concessions* or *incentives* permitted by Government Code Section 65915.
 4. The *housing development* is eligible for any requested parking reductions under Government Code Section 65915(p).
 5. If the density bonus is based all or in part on donation of land, all of the requirements included in Government Code Section 65915(g) have been met.
 6. If the density bonus or *incentive* is based all or in part on the inclusion of a child care facility, all of the requirements included in Government Code Section 65915(h) have been met.
 7. If the density bonus or *incentive* is based all or in part on the inclusion of affordable units as part of a condominium conversion, all of the requirements included in Government Code Section 65915.5 have been met.

- B. If a *commercial development bonus* is requested for a *commercial development*, the decision-making body shall make a finding that the development complies with all of the requirements of subparagraph 16.20.100.C, that the City has approved the *partnered housing agreement*, and that the *commercial development bonus* has been mutually agreed upon by the City and the commercial developer.
- C. The decision-making body shall grant an *incentive* requested by the applicant unless it makes a written finding, based upon substantial evidence, of any of the following:
 - 1. The proposed *incentive* does not result in identifiable and actual cost reductions to provide for affordable housing costs, as defined in Section 50052.5 of the Health and Safety code, or for affordable rents, as defined in Section 50053 of the Health and Safety Code; or
 - 2. The proposed *incentive* would be contrary to state or federal law; or
 - 3. The proposed *incentive* would have a specific, adverse impact upon public health or safety or the physical environment or on any real property that is listed in the California Register of Historic Resources, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the *housing development* unaffordable to low and moderate income households. For the purpose of this subsection, *specific adverse impact* means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified, written public health or safety standards, policies, or conditions as they existed on the date that the application for the *housing development* was deemed complete.
- D. The decision-making body shall grant the waiver of development standards requested by the applicant unless it makes a written finding, based upon substantial evidence, of any of the following:
 - 1. The proposed waiver would be contrary to state or federal law; or
 - 2. The proposed waiver would have an adverse impact on any real property listed in the California Register of Historic Resources; or
 - 3. The proposed waiver would have a specific, adverse impact upon public health or safety or the physical environment, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the *housing development* unaffordable to low and moderate income households. For the purpose of this subsection, *specific adverse impact* means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified, written public health or safety standards, policies, or conditions as they existed on the date that the application for the *housing development* was deemed complete.
- E. If any density bonus, *incentive*, parking reduction, waiver, or *commercial development bonus* is approved pursuant to this chapter, the applicant shall enter into an *affordable housing agreement* or *senior housing agreement* with the City pursuant to subsection 16.20.080.

16.20.080 Affordable Housing Agreement and Senior Housing Agreement.

- A. Except where a density bonus, *incentive*, waiver, parking reduction, or *commercial development bonus* is provided for a market-rate *senior housing development*, the applicant shall enter into an *affordable housing agreement* with the City, in a form approved by the City Attorney, to be executed by the City Manager, to ensure that the requirements of this subsection are satisfied. The *affordable housing agreement* shall guarantee the affordability of the affordable units for a minimum of 55 years or a longer period of time if required by the construction or mortgage financing assistance program, mortgage insurance program, or rental subsidy program; shall identify the type, size and location of each affordable unit; and shall specify phasing of the affordable units in relation to the market-rate units.
- B. Where a density bonus, waiver, or parking reduction is provided for a market-rate *senior housing development*, the applicant shall enter into a restrictive covenant with the City, running with the land, in a form approved by the City Attorney, to be executed by the City Manager, to require that the *housing development* be operated as "housing for older persons" consistent with state and federal fair housing laws.
- C. The executed *affordable housing agreement* or *senior housing agreement* shall be recorded against the *housing development* prior to final or parcel map approval, or, where a map is not being processed, prior

to issuance of building permits for the *housing development*. The *affordable housing agreement* or *senior housing agreement* shall be binding on all future owners and successors in interest.

- D. The *affordable housing agreement* shall include, but not be limited to, the following:
1. The number of density bonus dwelling units granted;
 2. The number and type of affordable dwelling units
 3. The unit size(s) (square footage) of target dwelling units and the number of bedrooms per target dwelling unit;
 4. The proposed location of the affordable dwelling units;
 5. Schedule for production of affordable dwelling units;
 6. *Incentives or concessions or waivers* provided by the city;
 7. Where applicable, tenure and conditions governing the initial sale of the affordable units;
 8. Where applicable, tenure and conditions establishing rules and procedures for qualifying tenants, setting rental rates, filling vacancies, and operating and maintaining units for affordable rental dwelling units
 9. Marketing Plan; Publication and Notification of Availability of Affordable Units;
 10. Compliance with Federal and State Laws;
 11. Prohibition Against Discrimination;
 12. Indemnification;
 13. City's Right to Inspect Units and Documents;
 14. Remedies;
 15. Attorney(s) Fees Provision.

16.20.090 Design and Quality.

- A. The City may not issue building permits for more than 50 percent of the market rate units until it has issued building permits for all of the affordable units, and the City may not approve any final inspections or certificates of occupancy for more than 50 percent of the market rate units until it has issued final inspections or certificates of occupancy for all of the affordable units.
- B. Affordable units shall be comparable in exterior appearance and overall quality of construction to market-rate units in the same housing development. Interior finishes and amenities may differ from those provided in the market rate units, but neither the workmanship nor the products may be of substandard or inferior quality as determined by the City.
- C. The number of bedrooms of the affordable units shall at least equal the minimum number of bedrooms of the market-rate units.

16.20.100 Commercial Density Bonus.

- A. The following definitions shall apply to Commercial Density Bonus:
 1. *Commercial development* means a development project for nonresidential uses.
 2. *Commercial development bonus* means a modification of development standards mutually agreed upon by the City and a commercial developer and provided to a commercial development eligible for such a bonus under subparagraph 16.20.100.C. Examples of a commercial development bonus include an increase in floor area ratio, increased building height, or reduced parking.
 3. *Partnered housing agreement* means an agreement approved by the City between a commercial developer and a housing developer identifying how the *commercial development* will provide

housing available at affordable ownership cost or affordable rent consistent with subparagraph 16.20.100.C. A *partnered housing agreement* may consist of the formation of a partnership, limited liability company, corporation, or other entity recognized by the state in which the commercial developer and the housing developer are each partners, members, shareholders, or other participants, or a contract between the commercial developer and the housing developer for the development of both the *commercial development* and the *housing development*.

- B. When an applicant proposes to construct a *commercial development* and has entered into a *partnered housing agreement* approved by the City, the City shall grant a *commercial development bonus* mutually agreed upon by the developer and the City. The *commercial development bonus* shall not include a reduction or waiver of fees imposed on the *commercial development* to provide for affordable housing.
- C. The *partnered housing agreement* shall include all of the following provisions:
 - 1. The *housing development* shall be located either: (A) on the site of the *commercial development*, or (B) on a site within the City that is within one-half mile of a major transit stop and is located in close proximity to public amenities, including schools and employment centers.
 - 2. At least 30 percent of the total units in the *housing development* shall be made available at affordable ownership cost or affordable rent for low-income households, or at least 15 percent of the total units in the *housing development* shall be made available at affordable ownership cost or affordable rent for very low-income households.
 - 3. The commercial developer must agree either to directly build the affordable units; donate a site consistent with subparagraph (i) above for the affordable units; or make a cash payment to the housing developer for the affordable units.
- D. Any approved *partnered housing agreement* shall be described in the City's Housing Element annual report as required by Government Code Section 65915.7(k).

16.20.110 Interpretation.

If any portion of this subsection conflicts with State Density Bonus Law or other applicable state law, state law shall supersede this subsection. Any ambiguities in this section shall be interpreted to be consistent with State Density Bonus Law.

SECTION 3. EFFECTIVE DATE

This ordinance shall take effect and be enforced thirty (30) days following its adoption.

SECTION 4. NOTICE OF ADOPTION

The City Clerk shall certify to the adoption of this ordinance and shall publish a summary of this ordinance and post a certified copy of the full ordinance in the office of the City Clerk at least five (5) days prior to the adoption of the proposed ordinance; and within fifteen (15) days after adoption of the ordinance, the City Clerk shall publish a summary of the ordinance with the names of the council members voting for and against the ordinance.

ADOPTED by the City Council and signed by the Mayor and attested by the City Clerk this ___ day of _____, 2019.

ATTEST:

Kelly Seyarto, Mayor

Stephanie D. Smith, MMC, City Clerk

APPROVED AS TO FORM

Leslie E. Devaney, City Attorney

I, Stephanie D. Smith, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing ordinance was duly and regularly introduced at a meeting of the City Council on the 6th day of August, 2019 and that thereafter the said ordinance was duly and regularly adopted at a meeting of the City Council on the ____ day of _____, 2019, by the following vote, to wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Murrieta, California, this ____ day of _____, 2019.

Stephanie D. Smith, MMC, City Clerk

(Seal)



Draft TD-227
DENSITY BONUS TABLE
 Development Services Department

	Very Low Income Density Bonus (1)	Low Income Density Bonus (2)	Moderate Income Density Bonus (3)	Land Donation Density Bonus (4)	Senior Density Bonus (5)
5%	20%	-	-	-	20%
6%	22.5%	-	-	-	20%
7%	25%	-	-	-	20%
8%	27.5%	-	-	-	20%
9%	30%	-	-	-	20%
10%	32.5%	20%	5%	15%	20%
11%	35%	21.5%	6%	16%	20%
12%	35%	23%	7%	17%	20%
13%	35%	24.5%	8%	18%	20%
14%	35%	26%	9%	19%	20%
15%	35%	27.5%	10%	20%	20%
16%	35%	29%	11%	21%	20%
17%	35%	30.5%	12%	22%	20%
18%	35%	32%	13%	23%	20%
19%	35%	33.5%	14%	24%	20%
20%	35%	35%	15%	25%	20%
21%	35%	35%	16%	26%	20%
22%	35%	35%	17%	27%	20%
23%	35%	35%	18%	28%	20%
24%	35%	35%	19%	29%	20%
25%	35%	35%	20%	30%	20%
26%	35%	35%	21%	31%	20%
27%	35%	35%	22%	32%	20%
28%	35%	35%	23%	33%	20%
29%	35%	35%	24%	34%	20%
30%	35%	35%	25%	35%	20%
31%	35%	35%	26%	35%	20%
31%	35%	35%	27%	35%	20%
33%	35%	35%	28%	35%	20%
34%	35%	35%	29%	35%	20%
35%	35%	35%	30%	35%	20%
36%	35%	35%	31%	35%	20%
37%	35%	35%	32%	35%	20%
38%	35%	35%	33%	35%	20%
39%	35%	35%	34%	35%	20%
40%	35%	35%	35%	35%	20%

(1) Government Code §65915(f)(2)

(2) Government Code §65915(f)(1)

(3) Government Code §65915(f)(4)

(1) Government Code §65915(g)(1)

(1) Government Code §65915(f)(3); No affordable units are required for senior housing units to receive a density bonus.

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

July 11, 2019

CHAIR

Steve Manos
Lake Elsinore

VICE CHAIR

Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-6132

www.rcaluc.org

Mr. Nazir Slim, Associate Planner
City of Riverside Community & Economic Development Department: Planning Division
3900 Main Street, 3rd Floor
Riverside CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1372MA19 (letter 1 of 2)
Related File Nos.: P19-0321 (Rezone)
APN: 210-110-042

Dear Mr. Slim:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No.15-01 (as adopted on August 13, 2015), staff reviewed City of Riverside Case No. P19-0321 (Rezone), a proposal to change the zoning of 4.19 acres located northerly of Spruce Street, westerly of Chicago Avenue and easterly of the 215 freeway, from I-SP – General Industrial – Specific Plan (Hunter Business Park) Overlay Zones to I-BSR-SP – General Industrial – Business Support Retail – Specific Plan (Hunter Business Park) Overlay Zones.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (“March ALUCP”).

This finding of consistency relates to airport compatibility issues and does not necessarily constitute an endorsement of this rezone. Both the existing and proposed zoning are consistent, as the site is located within Airport Compatibility Zone E, where non-residential intensity and residential density are not restricted.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Scott Yocum, 21st Amendment Ventures, LLC/Limited Liability Calabrians, LLC
Doug Magnon, Nova Building (property owner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel "Rock" Rockholt, March Air Reserve Base
ALUC Case File

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AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

July 11, 2019

Mr. Nazir Slim, Associate Planner

City of Riverside Community & Economic Development Department: Planning Division
3900 Main Street, 3rd Floor
Riverside CA 92522

CHAIR

Steve Manos
Lake Elsinore

VICE CHAIR

Russell Betts
Desert Hot Springs

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

COMMISSIONERS

Arthur Butler
Riverside

File No.: ZAP1372MA19 (letter 2 of 2)
Related File No.: P19-0322 (Conditional Use Permit)
APN: 210-110-042

John Lyon
Riverside

Dear Mr. Slim:

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case No. P19-0322 (Conditional Use Permit), a proposal to establish a brewpub facility within an existing 15,300 square foot warehouse building on 4.19 acres located at 1751 Spruce Street (on the northerly side of Spruce Street, westerly of Chicago Avenue, and easterly of the 215 freeway). The applicant also proposes Variances to allow the sale of alcohol within 600 feet of a school (P19-0323) and to reduce the number of parking spaces below the City’s minimum requirement (P19-0324).

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port AIA, non-residential intensity is not restricted. As no calculation of occupancy or intensity is required to determine consistency with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan for properties in Compatibility Zone E, the proposed reduction in the number of parking spaces has no effect on such a determination. Therefore, ALUC review of City Case No. P19-0324 is not required.

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The elevation of the site is more than 600 feet lower than the elevation of March’s Runway 14-32 at its northerly terminus (approximately 1,535 feet above mean sea level). The site is located more than 29,300 feet from the runway at Riverside Municipal Airport. Flabob Airport is approximately 16,200 feet away, but as Flabob’s runway does not exceed a length of 3,200 feet, the notice radius for that airport is only 10,000 feet, and the notice surface is evaluated on the basis of a 50:1 slope rather than a 100:1 slope. Furthermore, no new building is proposed. Therefore, Federal Aviation Administration Obstruction Evaluation Service review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Riverside applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

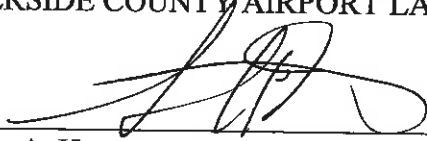
1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to tenants and/or lessees of all structures thereon.
4. No new aboveground detention or water quality basins are proposed through this application, but any such new facilities on the site shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping.

This finding of consistency relates to airport compatibility issues and does not necessarily constitute an endorsement of this particular use of the property. The Variance regarding distance from the school does not relate to height or intensity of use. Therefore, ALUC review of City Case No. P19-0323 is not required, and ALUC takes no position on that matter.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

AIRPORT LAND USE COMMISSION

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

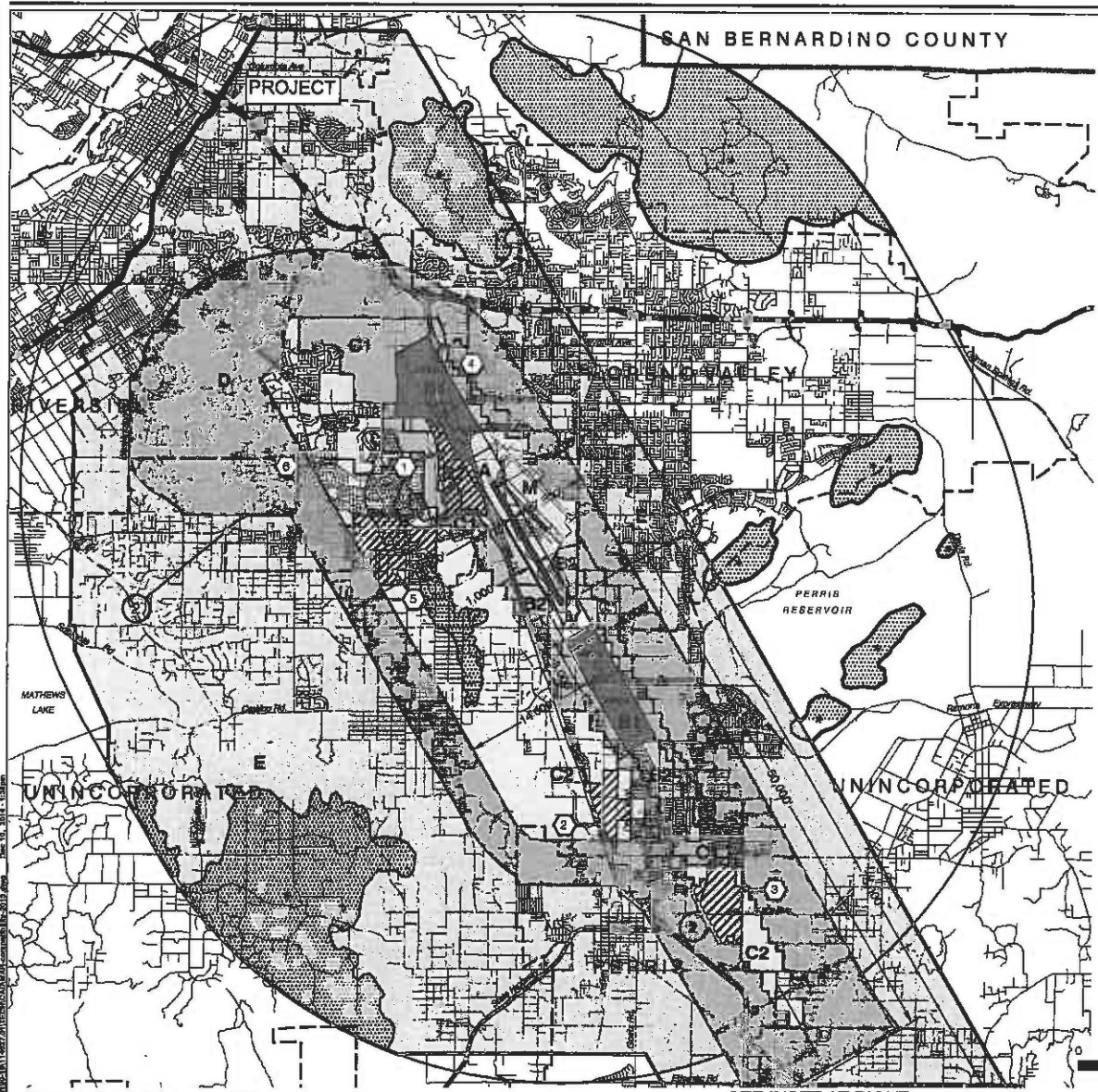
Attachment: Notice of Airport in Vicinity

cc: Scott Yocum, 21st Amendment Ventures, LLC/ Limited Liability Calabrians, LLC
Doug Magnon, Nova Building
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel "Rock" Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1372MA19\ZAP1372MA19.LTR CUP.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- ▨ Zone A
- ▨ Zone B1
- ▨ Zone B2
- ▨ Zone C1
- ▨ Zone C2
- ▨ Zone D
- ▨ Zone E
- ▨ Zone M
- ▨ High Terrain Zone
- ▨ FAR Part 77 Military Outer Horizontal Surface Limits
- ▨ FAR Part 77 Notification Area

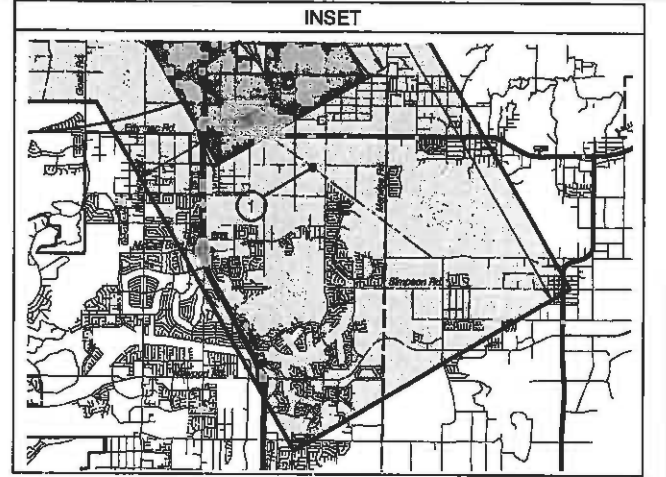
Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

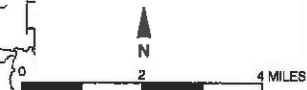
② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian
 ② Perris: Harvest Landing
 ③ Perris: Park West
 ④ Moreno Valley: Affordable Housing
 ⑤ March JPA: Ben Clark Training Center
 ⑥ Riverside: Ridge Crest Subdivision



**Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)**

Note:
 All dimensions are measured from runway ends and centerlines.



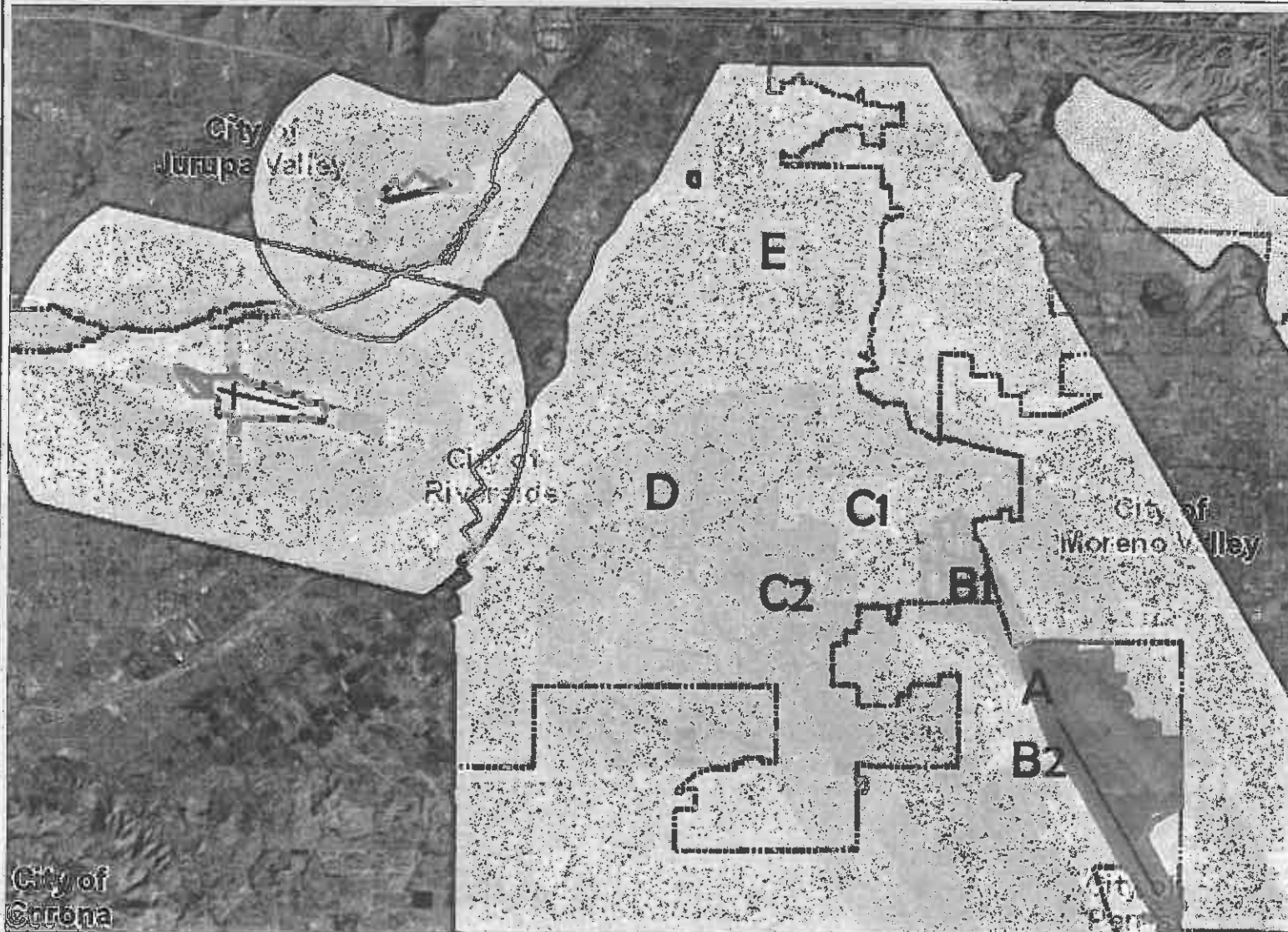
Base map source: County of Riverside 2013

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Notes

Map My County Map



Legend

- Runways
- ☐ Airports
- ☐ Airport Influence Areas
- Airport Compatibility Zones**
- ☐ OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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0 758 1,516 Feet

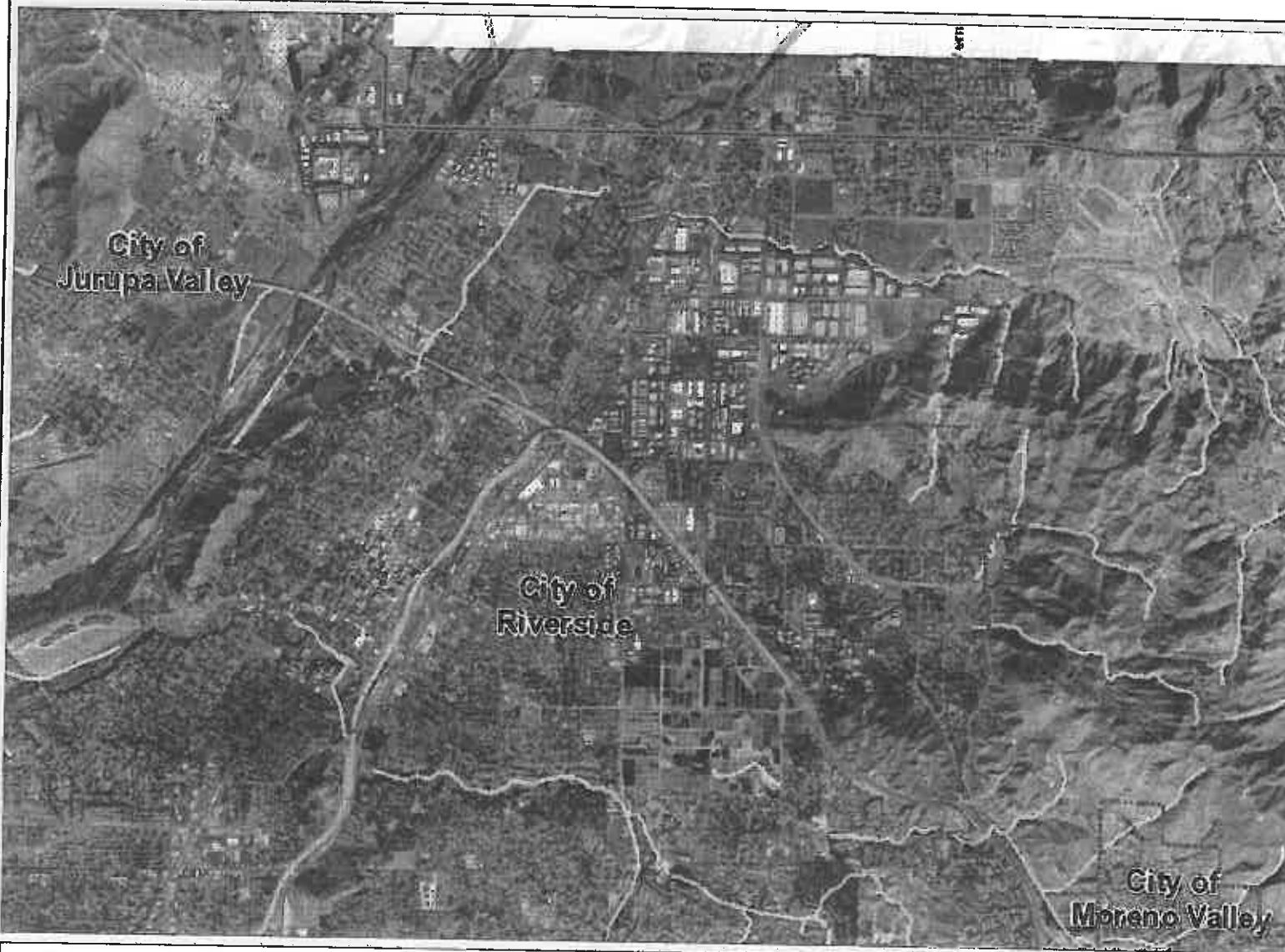
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Notes



Map My County Map



Legend

- Blueline Streams
- ▣ City Areas
- World Street Map



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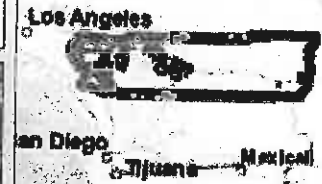
Notes



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Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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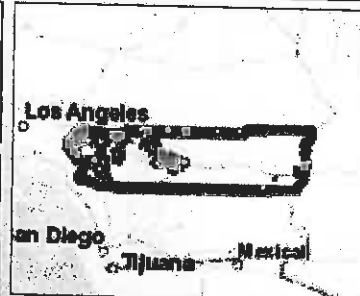
Notes



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Map My County Map



- Legend**
- Blueline Streams
 - City Areas
 - World Street Map



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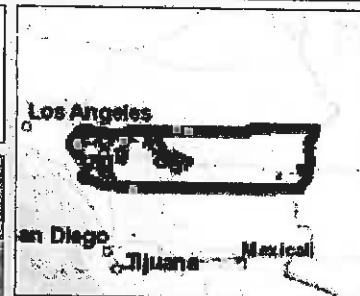


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Notes

Map My County Map



- Legend**
- Parcels
 - Blueline Streams
 - City Areas
 - World Street Map



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Notes



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SPRUCE STREET BREWERY

2023

210110041
ZONING: GENERAL INDUSTRIAL (I-SP)

210110035
ZONING: GENERAL INDUSTRIAL (I-SP)

2025

PROJECT SITE

APN: 210 110-042

EX.ZONING: I-SP

GENERAL INDUSTRIAL

SPECIFIC PLAN

(HUNTER BUSINESS PARK)

OVERLAY ZONES

PROP. ZONING: I-BSR-SP

GENERAL INDUSTRIAL

BUSINESS SUPPORT RETAIL

SPECIFIC PLAN

(HUNTER BUSINESS PARK)

OVERLAY ZONES

2095

210110033
ZONING: GENERAL INDUSTRIAL (I-SP)

210110019
ZONING: GENERAL INDUSTRIAL (I-SP)

1855

2155

210110032
ZONING: GENERAL INDUSTRIAL (I-SP)

1835

1825
1805

2255

210110031
ZONING: GENERAL INDUSTRIAL (I-SP)

1765 1751

1725

Spruce St

Chicago Ave

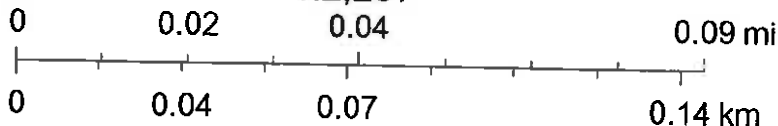
1846 1834

210140006 1746
ZONING: (B/OP)
BUSINESS OFFICE PARK

2305
210140008
ZONING: (B/OP)
BUSINESS OFFICE PARK

SOURCE(S): CITY OF RIVERSIDE PROPERTY VIEWER MAPS

1:2,257



21ST AMENDMENT VENTURES, LLC.
CHANGE OF ZONE

DATE: JULY 2019

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RESOLUTION NO. 21797

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVERSIDE, CALIFORNIA, AMENDING THE HUNTER BUSINESS PARK SPECIFIC PLAN TO ESTABLISH A BUSINESS SUPPORT OVERLAY LAND USE DESIGNATION TO ALLOW CERTAIN COMMERCIAL USES.

WHEREAS, an application was initiated by the City of Riverside designated as Case P07-1143, to amend the Hunter Business Park Specific Plan to establish a Business Support Overlay land use designation to allow certain commercial uses, and to remove the size limitation for small fitness facilities; and

WHEREAS, the Planning Commission of the City of Riverside, California, advertised for and held a public hearing on February 5, 2009, to consider a proposed amendment to the Hunter Business Park Specific Plan (Case No. P07-1143) to amend the Hunter Business Park Specific Plan to establish a Business Support Overlay land use designation to allow certain commercial uses, and to remove the size limitation for small fitness facilities and thereupon recommended to the City Council that the amendment proposed by Case No. P07-1143 would not have a significant effect on the environment and that the amendment be approved; and

WHEREAS, the City Council of the City of Riverside advertised for and held a public hearing on March 17, 2009, to consider Case No. P07-1143; and

WHEREAS, the City Council received and considered the reports and recommendation from the Planning Commission and all other testimony, whether written or oral, presented at the public hearing;

NOW, THEREFORE, BE IT RESOLVED, FOUND AND DETERMINED by the City Council of the City of Riverside, California, as follows:

Section 1: Incorporating the findings set forth above and in the documents and reports for Planning Case No. P07-1143, it is in the public interest to amend the Hunter Business Park Specific Plan to establish a Business Support Overlay land use designation to allow certain commercial uses, and to remove the size limitation for small fitness facilities.

1 Section 2: It is the independent judgment of the City Council that the amendment to the
2 Hunter Business Park Specific Plan will not have a significant effect on the environment based on
3 the findings set forth in the case record, and hereby adopts a Negative Declaration.

4 Section 3: Section III, Table III-1: Land Use Matrix of the Hunter Business Park Specific
5 Plan is amended to include the following remarks in Notes: Business Support Retail Overlay Zone
6 may be applied to a specific property subject to the approval of a Rezoning request, in accordance
7 with Chapter 19.180 of the Municipal Code. See Section III F. of the Specific Plan for list of
8 Permitted Uses, as described in Exhibit "A", attached hereto and incorporated herein.

9 Section 4: Section III F. of the Hunter Business Park Specific Plan is amended in part to
10 remove the size limitation for small fitness facilities as described in Exhibit "B", attached hereto and
11 incorporated herein.

12 Section 5: The amendment adopted by this resolution shall be integrated into the adopted
13 Hunter Business Park Specific Plan document and shall be noted on the appropriate specific plan and
14 general plan maps previously adopted by the City Council as appropriate.

15 ADOPTED by the City Council this 24th day of March, 2009.

16
17 
18 _____
19 Mayor of the City of Riverside

18 ATTEST:

19 
20 _____
21 City Clerk of the City of Riverside

1 I, Colleen J. Nicol, City Clerk of the City of Riverside, California, hereby certify that the
2 foregoing resolution was duly and regularly introduced and adopted at a meeting of the City Council
3 of said City at its meeting held on the 24th day of March, 2009, by the following vote, to wit:

4 Ayes: Councilmembers Gardner, Melendrez, Schiavone, Mac Arthur, Hart, and Adams

5 Noes: None

6 Absent: Councilmember Bailey

7 Abstain: None

8
9 IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the
10 City of Riverside, California, this 27th day of March, 2009.

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12 
13 _____
14 City Clerk of the City of Riverside

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23 O:\Cycor\WPDocs\0024\0008\00003902.DOC
24 CA: 09-0428
02/24/09

ZONING	MF-1	MF	MF-1	MF-2	C-1	EG-1	EG-2	EG-3	RI	MF	MF
INDUSTRIAL/MANUFACTURING											
Wholesale Distribution	P	P	P	P							
Warehousing/Storage	P	P	P	P						P	P
Manufacturing	P	P	P	P						P	P
Research and Development	P	P	P	P						P	P
Publishing and Printing	P	P	P	P						P	P
Ancillary Retail Sales On-Site	P	P	P	P						P	P
Off-Site Retail Sales	P	P	P	P						P	P
Wholesale Showrooms	P	P	P	P						P	P
OFFICE											
Office and Administrative	P	P	P	P	P	P	P			P	P
RETAIL											
Convenience Sales					P	P				A	A
Eating and Drinking (part of a multi-tenant industrial park)	P	P	F	P	F	P				P	
Eating and Drinking (freestanding building)				P	P	P					P
Business Supply Retail	P			P	P	P					
Building Supplies and Sales				P	P	P					
SERVICES											
Automotive Rental					P	P					
Automotive Service Station	CUP	CUP	CUP	CUP	CUP	CUP					
Building Maintenance Services			P	P		P					
Business Support Services	P					P	P	P			
Heavy Equipment Sales and Rental						P	P	P			
Medical/Health Care Services	P	P	P	P	P	P				P	
Personal Services	P				P	P					P
Recreational Facilities	CUP	CUP			CUP	P					
Repair Services	P		P	P		CUP**				CUP	CUP
DESIGN STANDARDS FOR SPECIFIC PLAN AREA											
Minimum Parcel Size ****	Per Underlying Zone					One Acre			Five Acres (One Acre after Approved Master Plan)		
Minimum Lot Width ****	Per Underlying Zone					140 Feet			300 Feet (140 Feet after Approved Master Plan)		
Building Site Coverage	Not Greater than 50%					Not Greater than 50%			Not Greater than 50%		
Building Height	As Defined for Each Parcel per the Existing Zoning					45 Feet			45 Feet		
Building Setbacks from Major Secondary Street *** ****	Average 50 Feet, Minimum 40 Feet					Average 50 Feet; Minimum 40 Feet			Average 50 Feet; Minimum 40 Feet		
Building Setbacks from Local Streets	Per Underlying Zone					Per Underlying Zone			Per Underlying Zone		
Interior Building Setbacks	Side and Rear, Minimum 20 Feet					Side and Rear, Minimum 20 Feet			Side and Rear, Minimum 20 Feet		
Parking Setbacks ***	20 Feet All Zones					20 Feet			20 Feet		
Parking Standards	To Be Determined by Use Within Structure (Per Title 19)					To Be Determined by Use Within Structure (Per Title 19)			To Be Determined by Use Within Structure (Per Title 19)		
Tenancy	Multiple Tenant Parcels Permitted					Multiple Tenant Parcels Permitted			Multiple Tenant Parcels Permitted		
NOTES											
P = Permitted Use with Design Review Approval CUP = Conditional Use Permit with Approval by Planning Commission Signs per Title 19											
Certain Uses Normally Allowed in the Zoning Classifications above are Prohibited in this Specific Plan Area.											
Business Support Retail Overlay Zone may be applied to a specific property subject to the approval of a Rezoning request, in accordance with Chapter 19.180 of the Municipal Code. See Section III.F of the Specific Plan for list of Permitted Uses.											
** -- Permitted Within a Completely Enclosed Building *** -- Columbia, Marlborough, Spruce, Iowa, Chicago and Columbia Loop Easterly of Iowa											
**** -- Parcels approved under a master plan and associated design guidelines as outlined in I.1 may be less than one acre, with widths less than 140 feet per City Planning Commission approval. In addition, a front yard setback of twenty-feet is permitted and interior side and rear yard setbacks may be reduced to zero upon City Planning Commission approval.											

Table III-1 Land Use Matrix

EXHIBIT A

F. Hunter Business Park Business Support Retail "BSR" Overlay District

The Business Support Retail Overlay District is primarily intended to allow for support retail uses in areas generally located along arterial streets within centralized locations accessible to the industrial businesses and visitors doing business in the Hunter Park. The application of the BSR Overlay District shall require a Rezoning request, in accordance with Section 19.810 of the Municipal Code.

The following uses shall be allowed in addition to all other uses permitted by the underlying land use district within the Hunter Business Park Specific Plan:

1. Office Supply Retail
2. Cell Phone Retailers
3. Computer Sales/Repair
4. Banks and Financial Institutions
5. Dry Cleaning
6. Shoe Repair
7. Florist
8. Postal Services
9. Bakery
10. Beauty/Barber Shop
11. Day Spa
12. Medical Supplies
13. Photographic/Camera Store
14. Nail and Tanning Salons
15. Small fitness facilities, ~~not more than 4,000 square feet in size~~
16. Blueprint Store
17. Tailor Shop
18. Weight Loss Centers
19. Restaurants, excluding drive-thru
20. Medical Supply Sales
21. Photographic/Camera Shops
22. Other similar uses, subject to the approval of the Planning Director

EXHIBIT B

Statement of Operations

Liquor License: Type 23 – Microbrewery

Hours of Operation: Sun - Thur (11 am – 10 pm), Fri – Sat (11 am- 12 pm)

Staffing: Slow Hours: 5-7 Staff

Peak Hours: 7-10 Staff

(Front of house shifts commence at 10 am and back of house shifts will start at 8 am, swing shift will commence at 3-5 pm depending on the day)

Customer Occupancy Load:

Interior - 243

Exterior Patio - 68

Operations and Scope

Our mission is to be the first destination brewery in the city of Riverside. This project is similar in nature to successful business models that are seen in Anaheim, LA and San Diego. We will accomplish this by designing a unique, fun, and lively brewpub that will cater to a variety of customers. Beer will be produced at our facility for on-site consumption and off-site distribution. The production floor-plan is being designed to accommodate a phased development once customer demand is established. Additionally, our site will be able to host larger special events such as charities/fundraisers, catering services, holiday celebrations and a variety of entertainment. Lastly, we will have a strong involvement with the community.

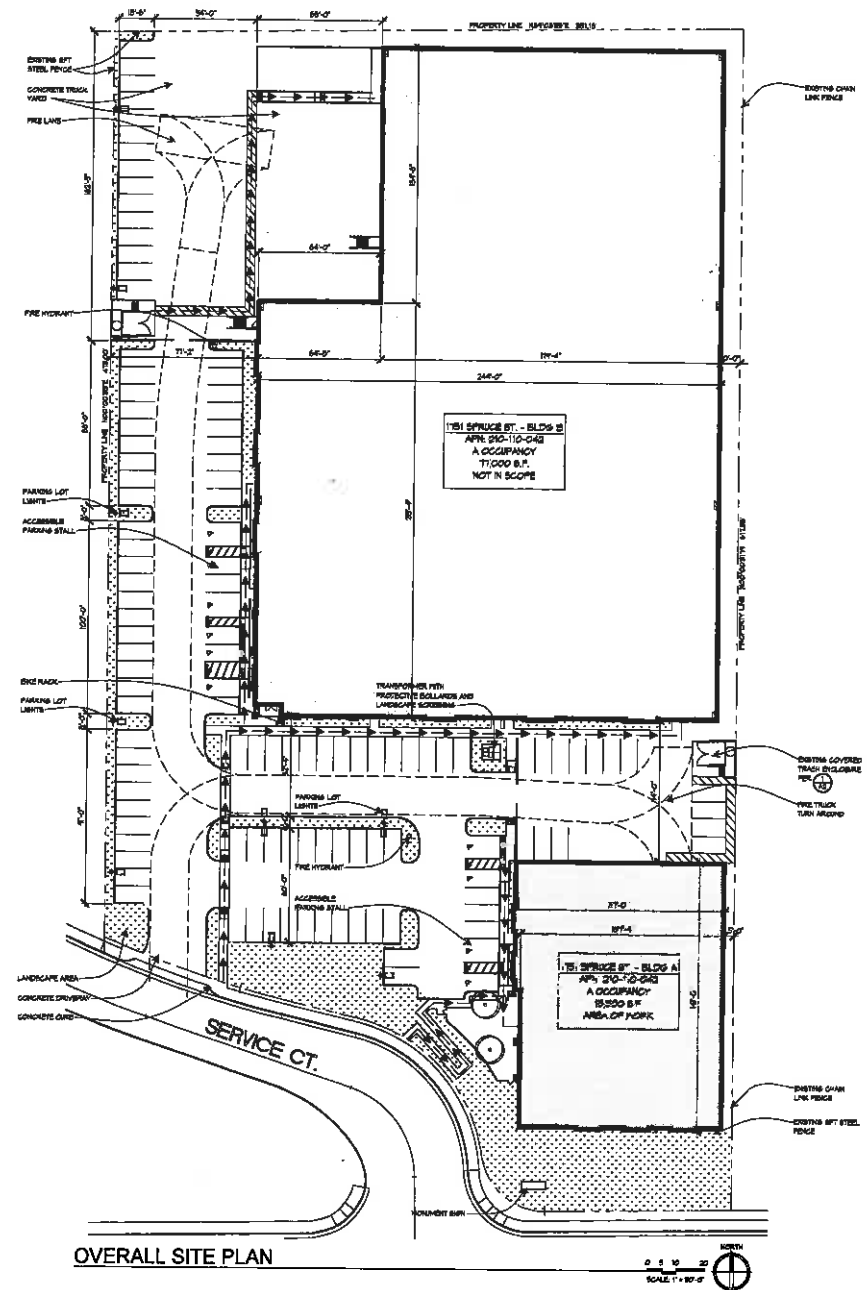
Day to day operations will mostly involve everything related to tasting room and production. All catering, entertainment and special events will require advance notice and will comply with all government regulations. The tasting room floor planned was intended to be as open as possible to allow guest to enjoy a free flowing environment. Customers will have access to:

- ❖ **Bar:** On and off-site sale of beer that is produced in house. To-go beer will be located behind bar in a fridge that will only be accessed by employees and will comply with all ABC regulations. Wine will be served since our establishment will be considered a 'Bona-fide eating place' with the ABC. Lastly, we will provide drink options for the non-alcoholic drinkers.
- ❖ **Kitchen:** Food truck *style* fare (no food trucks). Customers will receive pager and pick up their food at the order counter.
- ❖ **Catering room:** Guest will have the option to rent out our catering room for any special occasion. Catering room will have full access to kitchen and a separate menu.

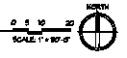
- ❖ **Bathrooms**: Multiple female and male stalls with communal sink.
- ❖ **Patio**: Large area with industrial style railing will established the boundaries for the designated drinking areas outside. Patio will be able to connect to tasting room through roll up garage doors.
- ❖ **Game Area**: Corn-hole, shuffle board and various arcade cabinets.
- ❖ **Seating**: Family style tables, lounging chairs, and stools that aren't attached to the bar.
- ❖ **Entertainment**: Live music, sports events, standup comedy, demonstrations, guest speakers and other similar events. Entertainment will only be located in designated area inside tasting room. Furniture will not be moved to create standing room for guest. There will be no stage, tickets or dance floor.
- ❖ **7K SQFT trucking yard**: Guest can gain access to the yard though tasting room for our larger special events. The trucking yard gate can be closed off to the parking lot to allow us to control patrons on-site consumption of alcohol for larger special events. City will be allowed to have access to gate when its locked.

All production related areas will be closed off to customers. Any production related tasks that require distribution or delivery vehicles will be conducted before between the hours of 8-11am, Mon-Fri. Hours will change as necessary so that delivery/distribution operations do not interfere with customer traffic. Types of vehicles other than daily commuters that you can expect:

- ❖ Mercedes sprinter vans (Main distribution vehicles)
- ❖ Freight shipments (For special deliveries that will not occur frequently)
- ❖ Trash Truck



OVERALL SITE PLAN



PROJECT INFORMATION

PROJECT NAME: FOCAL POINT BREWING CO.

PROJECT ADDRESS: 1751 SPRUCE ST. RIVERSIDE, CA 92507

APN: 210-110-042

LEGAL DESCRIPTION: L 12 1/2 MD 024 026 HILBUR TR

ZONE: HUNTER BUSINESS PARK SPECIFIC PLAN GENERAL INDUSTRIAL BR-1 BUSINESS MANUFACTURING PARK

EXISTING USE: -

PROPOSED USE: EATING AND DRINKING ESTABLISHMENT WITH ACCESSORY BEER MANUFACTURING

CODES: 2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS
CITY OF RIVERSIDE MUNICIPAL CODE

LOT AREA: 152,452 S.F.

BUILDING AREA: 19,500 S.F.

TENANT LEASE AREA: 19,300 S.F.

OCCUPANCY: S-1

CONSTRUCTION TYPE: III-B

FIRE SPRINKLERS: YES

NUMBER OF STORES: 2

SCOPE OF WORK: INTERIOR TENANT IMPROVEMENT FOR NEW EATING AND DRINKING ESTABLISHMENT WITH ACCESSORY BEER MANUFACTURING.



1751 SPRUCE ST.
RIVERSIDE, CA 92507

SITE PLAN LEGEND

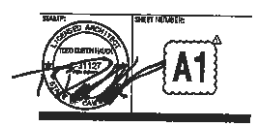
← ACCESSIBLE PATH OF TRAVEL: ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRED FREE ACCESS ROUTE WITHOUT ANY OBSTACLE LEVEL CHANGE EXCEPT "Y" SYMBOLS AS 1/2" MAX SLOPE, OR VERTICAL LEVEL CHANGE NOT EXCEEDING 1/4" AND AT LEAST 48" IN WIDTH. BARRIERS IS STRAIGHT, PEEK AND SLOPE RESISTANT. GRADE SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 1% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OBSTACLES. OBSTRUCTIONS TO 36" WHEEL AND PROTRUSIONS EXCEEDING GREATER THAN 1/4" PROTRUSION FROM WALL AND FLOOR OF 1/4" AND LESS THAN 1/4" G.C. SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

ORIGINAL DATE: CONCEPTUAL USE PERM 08-28-14

NO.	DATE	DESCRIPTION
1	08-28-14	CONCEPT USE PERM

1/4" = 1'-0"

OVERALL SITE PLAN



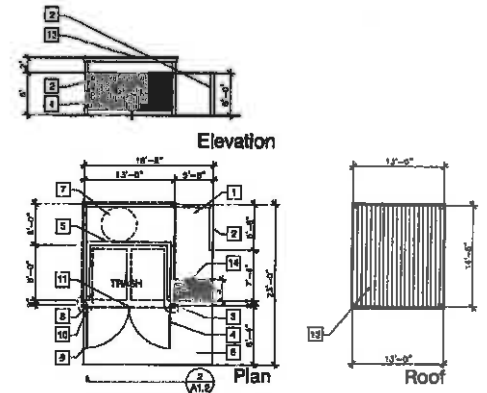
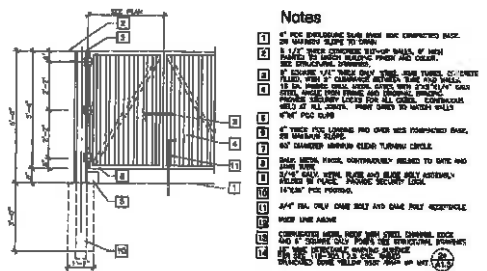
SITE PLAN LEGEND

AREA	LOAD FACTOR	SPACES REQUIRED
BAR/RESTAURANT		
TAP ROOM	2.10 S.F.	
BAR	871 S.F.	
CORRELATIONED	128 S.F.	
TAP ROOM BATHROOM	870 S.F.	
BAR/RESTAURANT SUB-TOTAL	4,591 S.F. / 100	49.4
OFFICE SPACE		
OFFICE	411 S.F.	
OFFICE SPACE SUB-TOTAL	411 S.F. / 250	1.6
MANUFACTURING		
PILOT	204 S.F.	
BREWHOUSE	464 S.F.	
MANUFACTURING SUB-TOTAL	668 S.F. / 300	2.2
PANTRY		
CELLAR	1,280 S.F.	
COLD BOX	1,106 S.F.	
BRKRM	8,480 S.F.	
LBS	87 S.F.	
BACK OF HOUSE BATHROOM	86 S.F.	
REB FRASH	881 S.F.	
STORAGE	208 S.F.	
ELECTRICAL/ROOF ACCESS	447 S.F.	
PACKAGING	1,889 S.F.	
PANTRY SUB-TOTAL	18,719 S.F. / 1,000	18.7
GRAND TOTAL	19,209 S.F.	19,209 S.F.
PARKING SPACES REQUIRED:		58.9

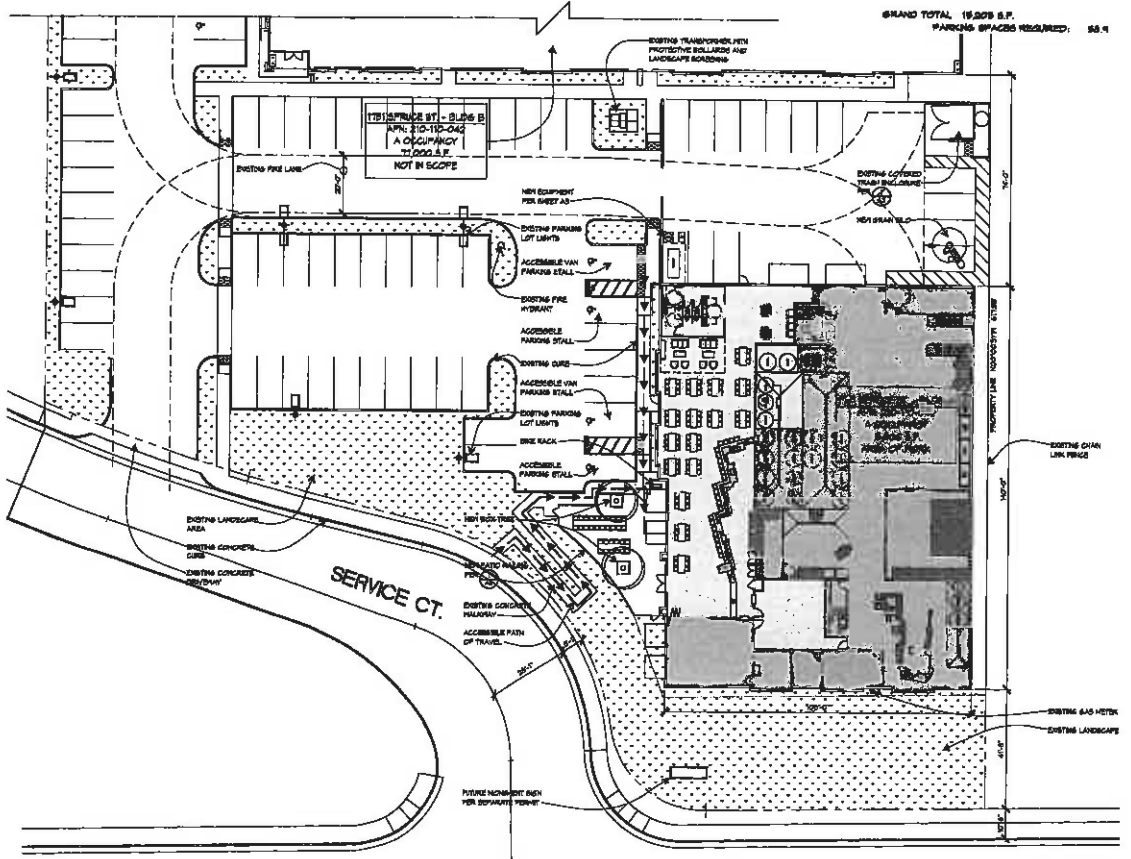
GROUP AS	AREA	LOAD FACTOR	SPACES REQUIRED
TAP ROOM	2,110 S.F. @ 1:15 =	144.30 =	145
RESTROOMS	370 S.F. @ 1:15 =	24.67 =	25
SUB-TOTAL	2,480 S.F.		170
GROUP P2			
MANUFACTURING	668 S.F. @ 1:300 =	2.14 =	4
GROUP B			
BAR	871 S.F. @ 1:100 =	8.71 =	9
CORRELATIONED	128 S.F. @ 1:100 =	1.28 =	1
OFFICE	471 S.F. @ 1:100 =	4.71 =	5
SUB-TOTAL	1,470 S.F.		15
GROUP B2			
PANTRYHOUSE	2,944 S.F. @ 1:300 =	9.81 =	21
STORAGE	881 S.F. @ 1:300 =	2.94 =	3
SUB-TOTAL	3,825 S.F.		24
INTERIOR TOTAL	19,209 S.F.		219
EXTENSION - GROUP AS			
PATH	1,012 S.F. @ 1:15 =	67.47 =	68

GROUP AS	AREA	LOAD FACTOR	SPACES REQUIRED
TAP ROOM	2,110 S.F.		
RESTROOMS	370 S.F.		
PATH	1,012 S.F.		
SUB-TOTAL	4,502 S.F. @ 1:50 =	148.40 =	144
GROUP P2			
MANUFACTURING	668 S.F. @ 1:300 =	0.51 =	1
GROUP B			
BAR	871 S.F.		
CORRELATIONED	128 S.F.		
OFFICE	411 S.F.		
SUB-TOTAL	1,410 S.F. @ 1:300 =	0.84 =	4
GROUP B2			
PANTRYHOUSE	2,944 S.F.		
STORAGE	881 S.F.		
SUB-TOTAL	3,825 S.F. @ 1:300 =	1.43 =	5
TOTAL	184		
	11 M/F		

FEATURES REQUIRED	TOILET	NEUTRAL	LAV.
MALE	2	1	1
FEMALE	2	1	1
TOTAL FEATURES REQUIRED =	4	2	2
TOTAL FEATURES PROVIDED =	4	2	2



1 EXISTING TRASH ENCLOSURE



SITE PLAN

NO.	DATE	DISCUSSION
1	04-28-17	CLIENT COMMENT RESPONSE

SITE PLAN

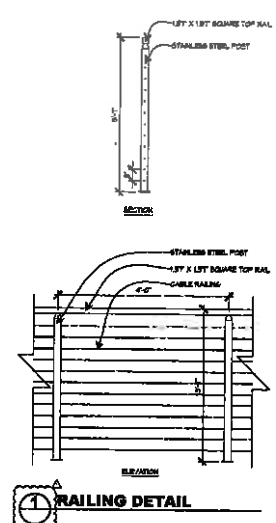
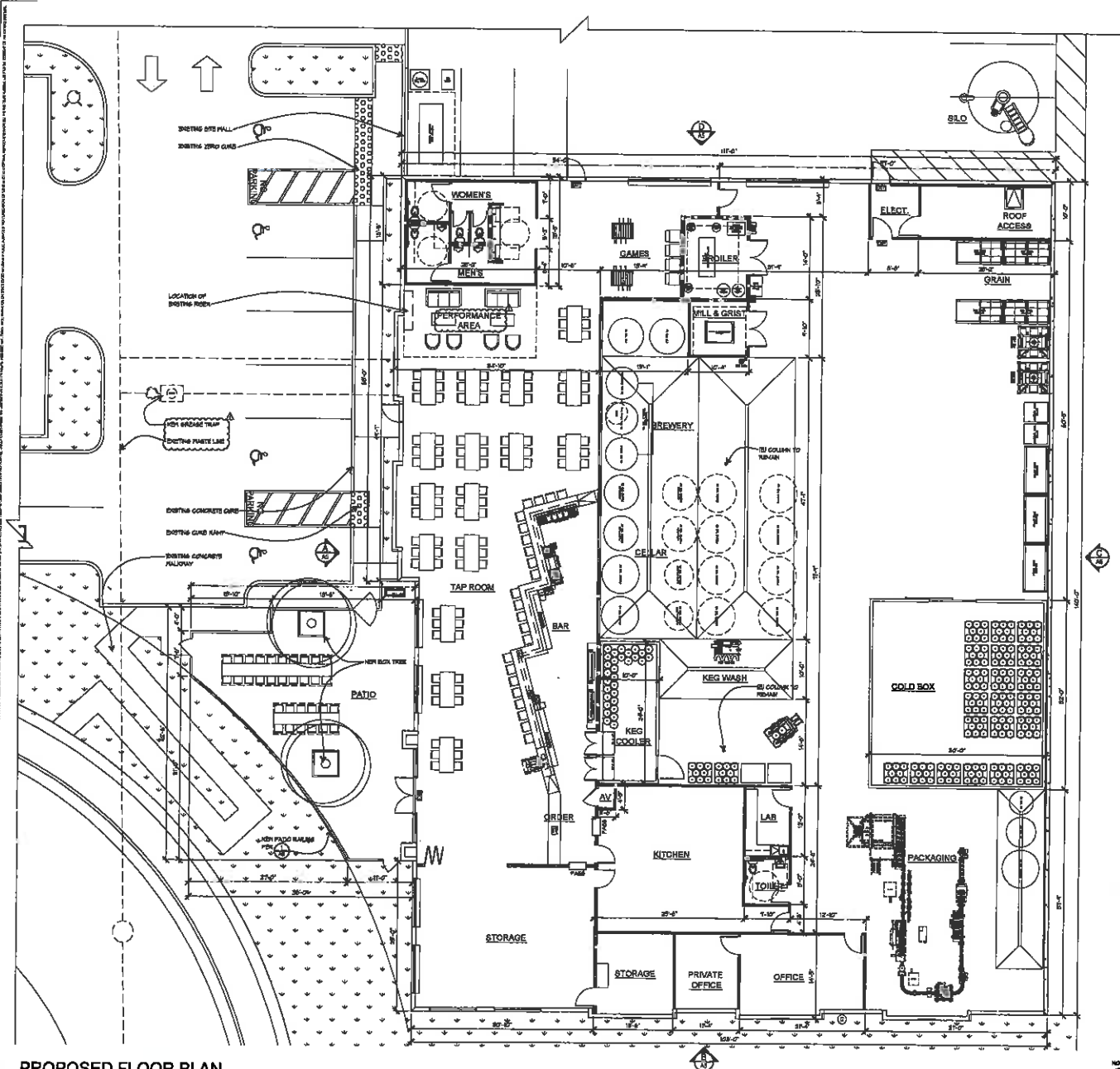
HAUCK ARCHITECTURE
 4836 KERRY CT., #61, SAN DIEGO, CA 92111
 TEL: 619.594.7795 FAX: 619.594.7796
 WWW.HAUCKARCHITECTURE.COM

DATE: 04/28/17
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

A2

1751 SPRUCE ST.
 RIVERSIDE, CA 92507

- LEGEND**
- EXISTING CONCRETE WALLS TO REMAIN
 - NEW 1/2" METAL STUDS @ 16" O.C. BY SLABERS W/ TYPE X GYP. BO. EACH SIDE @ 5/8" BATT INSUL.
 - NEW 1/2" METAL STUDS @ 16" O.C. BY SLABERS W/ TYPE X GYP. BO. EACH SIDE @ 5/8" BATT INSUL.
 - MANUFACTURED PANEL BY OTHERS
 - DRY BURN AND 2 LAMP EMERGENCY LIGHT WITH ORIGINAL 10 WATT BATTERY BACKUP AND TACTILE SIGNAGE PER SHEET A11



PROPOSED FLOOR PLAN



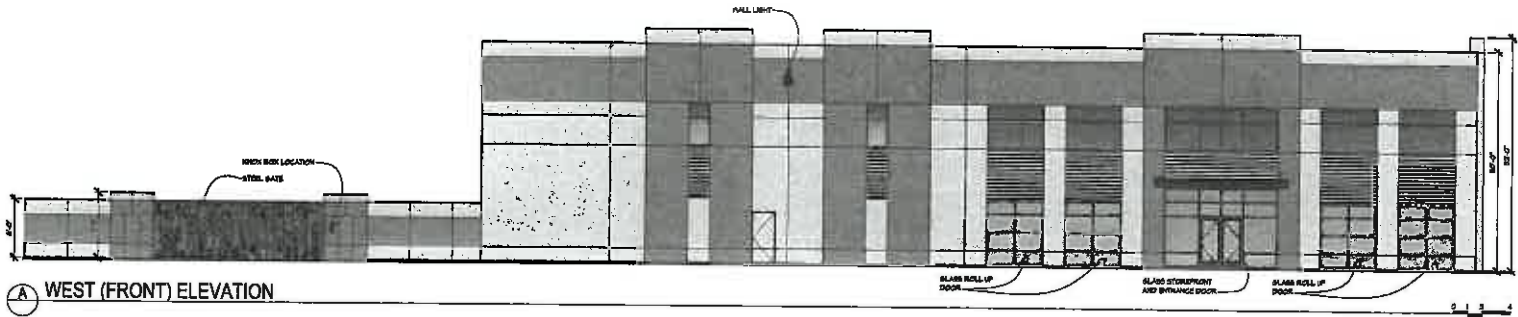
ORIGINAL DATE: CONCEPTUAL USE PERIOD 02-28-17

REVISION	NO.	DATE	DESCRIPTION
	1	04-26-17	CLIENT COMMENT RESPONSE

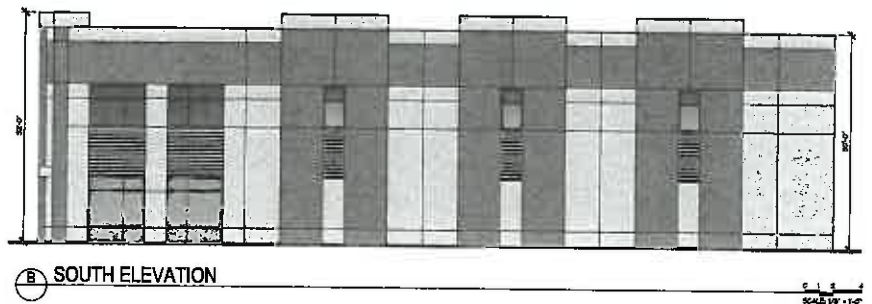
UNIT TITLE:

PROPOSED FLOOR PLAN

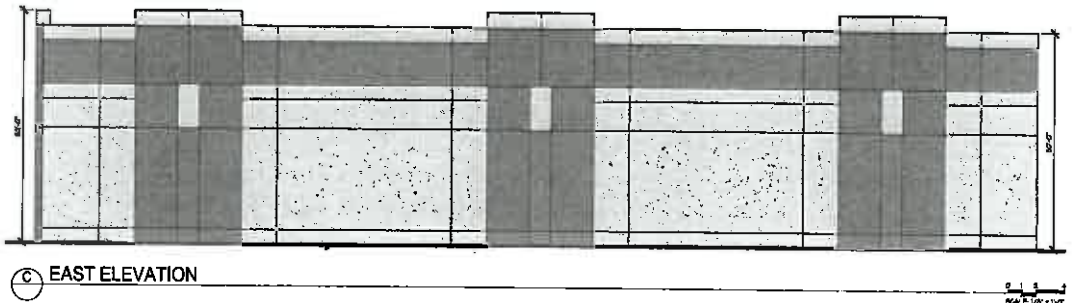
ISSUED: 04/26/17
 PROJECT NUMBER: 1751 SPRUCE ST.
 SHEET NUMBER: **A3**



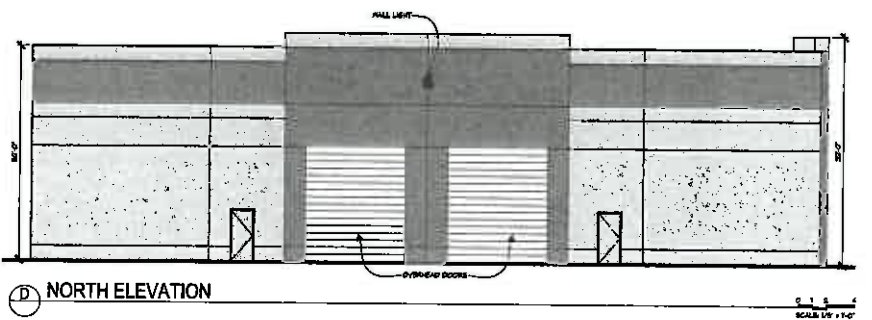
A WEST (FRONT) ELEVATION



B SOUTH ELEVATION



C EAST ELEVATION



D NORTH ELEVATION

HAUCK ARCHITECTURE
 4888 Mission Ct., Ste. 300, San Diego, CA 92111
 P: 619.344.7796 E: info@hauckarchitecture.com
 PROJECT: 16073
SPRUCE ST. BREWERY

1761 SPRUCE ST.
 RIVERSIDE, CA 92507

PAINT LEGEND

	DARK GREY/BLACK CORRODED GALVA STEEL
	MEDIUM GREY/BLACK CORRODED GALVA STEEL
	DARK GREY/BLACK POLYURETHANE EMULSION

ORIGINAL DATE: CONDITIONAL USE PERMIT 02-26-15

REVISION	NO.	DATE	DESCRIPTION
	A	04-26-17	CLIP CORROSION RESPONSE

EXTERIOR ELEVATIONS

SCALE: SHEET NUMBER: **A5**

PAGE BREAK



Research and Innovative Technology Administration

Aylward, Anne D.; Brecht-Clark, Jan M.; Farley, Audrey L.; Hu, Patricia S.; Ishihara, David S.; Johns, Robert C.; Lang, Steven R.; Partridge, Ellen L.; Schmitt, Rolf R.; Womack, Kevin C.

Saint Lawrence Seaway Development Corporation

Middlebrook, Craig H.; Pisani, Salvatore L.

[FR Doc. 2013-24813 Filed 10-22-13; 8:45 am]

BILLING CODE 4910-9X-P

DEPARTMENT OF TRANSPORTATION

Federal Aviation Administration

Interim Policy, FAA Review of Solar Energy System Projects on Federally Obligated Airports

AGENCY: Federal Aviation Administration (FAA), DOT.

ACTION: Notice of interim policy; opportunity to comment.

SUMMARY: This notice establishes interim FAA policy for proposals by sponsors of federally obligated airports to construct solar energy systems on airport property. FAA is adopting an interim policy because it is in the public interest to enhance safety by clarifying and adding standards for measuring ocular impact of proposed solar energy systems which are effective upon publication. FAA will consider comments and make appropriate modifications before issuing a final policy. The policy applies to any proposed on-airport solar energy system that has not received from the FAA either an unconditional airport layout plan approval or a "no objection" finding on a Notice of Proposed Construction or Alteration Form 7460-1.

DATES: The effective date of this interim policy is October 23, 2013.

Comments must be received by November 22, 2013.

ADDRESSES: You can get an electronic copy of the interim policy and the comment form on the FAA Airports Web site at <http://www.faa.gov/airports/environmental/>.

You can submit comments using the Comments Matrix, using any of the following methods:

Electronic Submittal to the FAA: Go to <http://www.faa.gov/airports/environmental/> and follow the instructions for sending your comments electronically.

Mail: FAA Office of Airports, Office of Airport Planning and Programming,

Routing Symbol APP-400, 800 Independence Avenue SW., Room 615, Washington, DC 20591. Please send two copies.

Fax: 1-202-267-5302.

Hand Delivery: To FAA Office of Airports, Office of Airport Planning and Programming, Routing Symbol APP-400, 800 Independence Avenue SW., Room 615, Washington, DC 20591; between 9 a.m. and 4 p.m., Monday through Friday, except Federal holidays. Please provide two copies.

For more information on the notice and comment process, see the **SUPPLEMENTARY INFORMATION** section of this document.

Privacy: We will post all comments we receive, without change, to <http://www.faa.gov/airports/environmental/>, including any personal information you provide.

Comments Received: To read comments received, go to <http://www.faa.gov/airports/environmental/> at any time.

FOR FURTHER INFORMATION CONTACT: Ralph Thompson, Manager, Airport Planning and Environmental Division, APP-400, Federal Aviation Administration, 800 Independence Ave. SW., Washington, DC 20591, telephone (202) 267-3263; facsimile (202) 267-5257; email: ralph.thompson@faa.gov.

SUPPLEMENTARY INFORMATION: The FAA invites interested persons to join in this notice and comment process by filing written comments, data, or views. The most helpful comments reference a specific portion of the proposal, explain the reason for any recommended change, and include supporting data.

Availability of Documents

You can get an electronic copy of this interim policy by visiting the FAA's Airports Web page at <http://www.faa.gov/airports/environmental/>.

Authority for the Policy

This notice is published under the authority described in Subtitle VII, part B, chapter 471, section 47122 of title 49 United States Code.

Background

There is growing interest in installing solar photovoltaic (PV) and solar hot water (SHW) systems on airports. While solar PV or SHW systems (henceforth referred to as solar energy systems) are designed to absorb solar energy to maximize electrical energy production or the heating of water, in certain situations the glass surfaces of the solar energy systems can reflect sunlight and produce glint (a momentary flash of bright light) and glare (a continuous source of bright light). In conjunction

with the United States Department of Energy (DOE), the FAA has determined that glint and glare from solar energy systems could result in an ocular impact to pilots and/or air traffic control (ATC) facilities and compromise the safety of the air transportation system. While the FAA supports solar energy systems on airports, the FAA seeks to ensure safety by eliminating the potential for ocular impact to pilots and/or air traffic control facilities due to glare from such projects.

The FAA established a cross-organizational working group in 2012, to establish a standard for measuring glint and glare, and clear thresholds for when glint and glare would impact aviation safety. The standards that this working group developed are set forth in this notice.

A sponsor of a federally-obligated airport must request FAA review and approval to depict certain proposed solar installations (e.g., ground-based installations and collocated installations that increase the footprint of the collocated building or structure) on its airport layout plan (ALP), before construction begins.¹ A sponsor of a federally-obligated airport must notify the FAA of its intent to construct any solar installation² by filing FAA Form 7460-1, "Notice of Proposed Construction or Alteration" under 14 CFR Part 77 for a Non-Rulemaking case (NRA)^{3,4}. This includes the intent to permit airport tenants, including Federal agencies, to build such

¹ FAA Technical Guidance for Evaluating Selected Solar Technologies on Airports, Section 2.3.5, states that "solar installations of any size, located on an airport, that are not collocated on an existing structure (i.e., roof of an existing building) and require a new footprint, need to be shown on the Airport Layout Plan (ALP). Collocated solar installations need to be shown on the ALP only if these installations substantially change the footprint of the collocated building or structure. Available at: http://www.faa.gov/airports/environmental/policy_guidance/media/airport_solar_guide_print.pdf. Title 49 of the United States Code (USC), sec. 47107(a), requires, in part, a current ALP approved by the FAA prior to the approval of an airport development project. See Grant Assurance No. 29, AC No. 150/5070-6B, and FAA Order No. 5100.38.

² Any solar installation means any ground-based solar energy installation and those solar energy installations collocated with a building or structure (i.e., rooftop installations).

³ FAA Technical Guidance for Evaluating Selected Solar Technologies on Airports Section 3.1 reads in part "All solar projects at airports must submit to FAA a Notice of Proposed Construction Form 7460 . . .". This section further states "Even if the project will be roof mounted . . . the sponsor must still submit a case" [i.e., file a Form 7460-1].

⁴ The requirements of this policy are not mandatory for a proposed solar installation that is not on an airport and for which a form 7460-1 is filed under part 77 and is studied under the Obstruction Evaluation Program. However, the FAA urges proponents of off-airport solar-installations to voluntarily implement the provisions in this policy.

installations. The sponsor's obligation to obtain FAA review and approval to depict certain proposed solar energy installation projects at an airport is found in 49 U.S.C. 47107(a)(16) and Sponsor Grant Assurance 29, "Airport Layout Plan." Under these latter provisions, the sponsor may not make or permit any changes or alterations in the airport or any of its facilities which are not in conformity with the ALP as approved by the FAA and which might, in the opinion of the FAA, adversely affect the safety, utility or efficiency of the airport.

Airport sponsors and project proponents must comply with the policies and procedures in this notice to demonstrate to the FAA that a proposed solar energy system will not result in an ocular impact that compromises the safety of the air transportation system. This process enables the FAA to approve amendment of the ALP to depict certain solar energy projects or issue a "no objection" finding to a filed 7460-1 form. The FAA expects to continue to update these policies and procedures as part of an iterative process as new information and technologies become available.

Solar energy systems located on an airport that is not federally-obligated or located outside the property of a federally-obligated airport are not subject to this policy. Proponents of solar energy systems located off-airport property or on non-federally-obligated airports are strongly encouraged to consider the requirements of this policy when siting such systems.

This interim policy clarifies and adds standards for measurement of glint or glare presented in the 2010 Technical Guidance document. Later this year the FAA plans to publish an update to the "Technical Guidance for Evaluating Selected Solar Technologies on Airports," (hereinafter referred to as "Technical Guidance") dated November 2010. This update to the technical guidance will include the standards for measuring glint and glare outlined in this notice. It will also provide enhanced criteria to ensure the proper siting of a solar energy installation to eliminate the potential for harmful glare to pilots or air traffic control facilities.

In advance of the planned update, as part of this Notice, we are clarifying one aspect of the Technical Guidance relating to airport sponsor and FAA responsibilities for evaluating the potential for solar energy systems installed on airports to either block, reflect, or disrupt radar signals, NAVAIDS, and other equipment required for safe aviation operations. Section 3.1 of the Technical Guidance, entitled "Airspace Review," correctly states that this role is exclusively the responsibility of FAA Technical Operations (Tech Ops). However subsection 3.1.3, "System Interference," states: "[s]tudies conducted during project siting should identify the location of radar transmission and receiving facilities and other NAVAIDS, and determine locations that would not be suitable for structures based on their potential to either block, reflect, or disrupt radar signals."

Reading the two sections together, what is meant is that the airport sponsor, in siting a proposed solar energy system, is responsible for limiting the potential for interference with communication, navigation, and surveillance (CNS) facilities. The sponsor should do so by ensuring that solar energy systems remain clear of the critical areas surrounding CNS facilities. FAA Advisory Circular (AC) 5300-13, "Airport Design," Chapter 6, defines the critical areas for common CNS facilities located on an airport. Sponsors may need to coordinate with FAA Technical Operations concerning CNS facilities not in AC 5300-13. As stated in Section 3.1, the FAA is responsible for evaluating if there are any impacts to CNS facilities. The FAA will conduct this review after the Form 7460-1 is filed for the construction of a new solar energy system installation on an airport. In summary, airport sponsors do not need to conduct studies on their own to determine impacts to CNS facilities when siting a solar energy system on airport. Section 3.1.3 will be revised accordingly in the next version of the Technical Guidance.

Interim Policy Statement

The following sets forth the standards for measuring ocular impact, the

required analysis tool, and the obligations of the Airport Sponsor when a solar energy system is proposed for development on a federally-obligated airport.

The FAA is adopting an interim policy because it is in the public interest to enhance safety by clarifying and adding standards for measuring ocular impact of proposed solar energy systems. FAA will consider comments and make appropriate modifications before issuing a final policy in a future **Federal Register** Notice. The policy applies to any proposed solar energy system that has not received unconditional airport layout plan approval (ALP) or a "no objection" from the FAA on a filed 7460-1, Notice of Proposed Construction or Alteration.

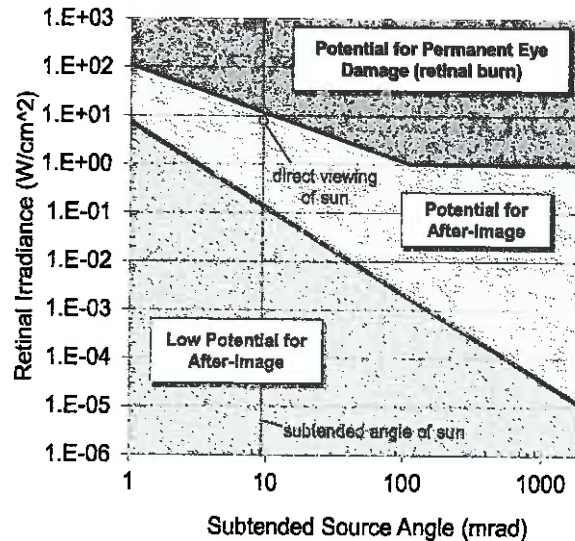
Standard for Measuring Ocular Impact

FAA adopts the *Solar Glare Hazard Analysis Plot* shown in Figure 1 below as the standard for measuring the ocular impact of any proposed solar energy system on a federally-obligated airport. To obtain FAA approval to revise an airport layout plan to depict a solar installation and/or a "no objection" to a Notice of Proposed Construction Form 7460-1, the airport sponsor will be required to demonstrate that the proposed solar energy system meets the following standards:

1. No potential for glint or glare in the existing or planned Airport Traffic Control Tower (ATCT) cab, and
2. No potential for glare or "low potential for after-image" (shown in green in Figure 1) along the final approach path for any existing landing threshold or future landing thresholds (including any planned interim phases of the landing thresholds) as shown on the current FAA-approved Airport Layout Plan (ALP). The final approach path is defined as two (2) miles from fifty (50) feet above the landing threshold using a standard three (3) degree glidepath.

Ocular impact must be analyzed over the entire calendar year in one (1) minute intervals from when the sun rises above the horizon until the sun sets below the horizon.

Figure 1



Solar Glare Ocular Hazard Plot: The potential ocular hazard from solar glare is a function of retinal irradiance and the subtended angle (size/distance) of the glare source. It should be noted that the ratio of spectrally weighted solar illuminance to solar irradiance at the earth's surface yields a conversion factor of ~100 lumens/W. Plot adapted from Ho et al., 2011.

Chart References: Ho, C.K., C.M. Ghanbari, and R.B. Diver, 2011, Methodology to Assess Potential Glint and Glare Hazards from Concentrating Solar Power Plants: Analytical Models and Experimental Validation, *J. Solar Energy Engineering*, August 2011, Vol. 133, 031021-1 – 031021-9.

Tool To Assess Ocular Impact

In cooperation with the DOE, the FAA is making available free-of-charge the *Solar Glare Hazard Analysis Tool* (SGHAT). The SGHAT was designed to determine whether a proposed solar energy project would result in the potential for ocular impact as depicted on the *Solar Glare Hazard Analysis Plot* shown above.

The SGHAT employs an interactive Google map where the user can quickly locate a site, draw an outline of the proposed solar energy system, and specify observer locations (Airport Traffic Control Tower cab) and final approach paths. Latitude, longitude, and elevation are automatically recorded through the Google interface, providing necessary information for sun position and vector calculations. Additional information regarding the orientation and tilt of the solar energy panels, reflectance, environment, and ocular factors are entered by the user.

If glare is found, the tool calculates the retinal irradiance and subtended source angle (size/distance) of the glare source to predict potential ocular hazards ranging from temporary after-image to retinal burn. The results are presented in a simple, easy-to-interpret plot that specifies when glare will occur

throughout the year, with color codes indicating the potential ocular hazard. The tool can also predict relative energy production while evaluating alternative designs, layouts, and locations to identify configurations that maximize energy production while mitigating the impacts of glare.

Users must first register for the use of the tool at this web address: www.sandia.gov/glare.

Required Use of the SGHAT

As of the date of publication of this interim policy, the FAA requires the use of the SGHAT to demonstrate compliance with the standards for measuring ocular impact stated above for any proposed solar energy system located on a federally-obligated airport. The SGHAT is a validated tool specifically designed to measure glare according to the *Solar Glare Hazard Analysis Plot*. All sponsors of federally-obligated airports who propose to install or to permit others to install solar energy systems on the airport must attach the SGHAT report, outlining solar panel glare and ocular impact, for each point of measurement to the Notice of Proposed Construction Form 7460-1. The FAA will consider the use of alternative tools or methods on a case-

by-case basis. However, the FAA must approve the use of an alternative tool or method prior to an airport sponsor seeking approval for any proposed on-airport solar energy system. The alternative tool or method must evaluate ocular impact in accordance with the *Solar Glare Hazard Analysis Plot*.

Please contact the Office of Airport Planning and Programming, Airport Planning and Environmental Division, APP-400, for more information on the validation process for alternative tools or methods.

Airport sponsor obligations have been discussed above under Background. We caution airport sponsors that under preexisting airport grant compliance policy, failure to seek FAA review of a solar installation prior to construction could trigger possible compliance action under 14 CFR Part 16, "Rules of Practice for Federally-Assisted Airport Enforcement Proceedings." Moreover, if a solar installation creates glare that interferes with aviation safety, the FAA could require the airport to pay for the elimination of solar glare by removing or relocating the solar facility.

Issued in Washington, DC, on September 27, 2013.

Benito De Leon,

Director, Office of Airport Planning and Programming.

[FR Doc. 2013-24729 Filed 10-22-13; 8:45 am]

BILLING CODE 4910-13-P

DEPARTMENT OF TRANSPORTATION

Federal Aviation Administration

Third Meeting: RTCA Tactical Operations Committee (TOC)

AGENCY: Federal Aviation Administration (FAA), U.S. Department of Transportation (DOT)

ACTION: Third Meeting Notice of RTCA Tactical Operations Committee.

SUMMARY: The FAA is issuing this notice to advise the public of the third meeting of the RTCA Tactical Operations Committee.

DATES: The meeting will be held November 7, 2013 from 9 a.m.–3 p.m.

ADDRESSES: The meeting will be held at RTCA Headquarters, 1150 18th Street NW., Suite 910, Washington, DC 20036.

FOR FURTHER INFORMATION CONTACT: The RTCA Secretariat, 1150 18th Street NW., Suite 910, Washington, DC 20036, or by telephone at (202) 833-9339, fax at (202) 833-9434, or Web site <http://www.rtca.org>. Andy Cebula, NAC Secretary can also be contacted at acebula@rtca.org or 202-330-0652.

SUPPLEMENTARY INFORMATION: Pursuant to section 10(a)(2) of the Federal Advisory Committee Act (Pub. L. No. 92-463, 5 U.S.C., App.), notice is hereby given for a meeting of the Tactical Operations Committee (TOC). The agenda will include the following:

November 19, 2013

- Opening of Meeting/Introduction of TOC Members
- Official Statement of Designated Federal Official
- Approval of July 23, 2013 Meeting Summary
- FAA Report
- Notice to Airmen (NOTAM) Activity Prioritization
- Regional Task Groups (RTGs)
- Reports on current activities underway by Regional Task Groups: Eastern, Central, Western
- VHF Omni-directional Range (VOR) Minimum Operating Network
- New Tasking: Obstacle Clearance
- Anticipated Issues for TOC consideration and action at the next meeting
- Other Business
- Adjourn

Attendance is open to the interested public but limited to space availability. With the approval of the chairman, members of the public may present oral statements at the meeting. Persons wishing to present statements or obtain information should contact the person listed in the **FOR FURTHER INFORMATION CONTACT** section. Members of the public may present a written statement to the committee at any time.

Issued in Washington, DC, on October 18, 2013.

Edith V. Parish,

Senior Advisor, Mission Support Services, Air Traffic Organization, Federal Aviation Administration.

[FR Doc. 2013-24968 Filed 10-22-13; 8:45 am]

BILLING CODE 4910-13-P

DEPARTMENT OF TRANSPORTATION

Federal Aviation Administration

Public Notice for Waiver of Aeronautical Land-Use Assurance

AGENCY: Federal Aviation Administration (FAA), DOT.

ACTION: Notice of intent of waiver with respect to land; French Lick Airport; French Lick, Indiana.

SUMMARY: The FAA is considering a proposal to change a portion of airport land from aeronautical use to non-aeronautical use and to authorize the sale of airport property located at French Lick Airport, French Lick, Indiana. The aforementioned land is not needed for aeronautical use. The proposal consists of 18.606 acres located in the southern section of airport property which is not being used by the airport presently. The land is to be sold to Commissioners of Orange County for the construction of County Road CR 300 South/Airport Road to facilitate access to the airport.

DATES: Comments must be received on or before November 22, 2013.

ADDRESSES: Documents are available for review by appointment at the FAA Airports District Office, Azra Hussain, Program Manager, 2300 E. Devon Avenue, Des Plaines, Illinois 60018 Telephone: (847) 294-8252/Fax: (847) 294-7046 and Zachary D. Brown, French Lick Municipal Airport, 9764 West County Road 375 South, French Lick, Indiana, 47933.

Written comments on the Sponsor's request must be delivered or mailed to: Azra Hussain, Program Manager, Federal Aviation Administration, Airports District Office, 2300 E. Devon Avenue, Des Plaines, Illinois (847) 294-7046.

FOR FURTHER INFORMATION CONTACT: Azra Hussain, Program Manager, Federal Aviation Administration, Airports District Office, 2300 E. Devon Avenue, Des Plaines, Illinois 60018. Telephone Number: (847) 294-8252/FAX Number: (847) 294-7046.

SUPPLEMENTARY INFORMATION: In accordance with section 47107(h) of Title 49, United States Code, this notice is required to be published in the **Federal Register** 30 days before modifying the land-use assurance that requires the property to be used for an aeronautical purpose.

The subject land consists of two parcels. Parcel 1 (approx. 16.667 acres) was acquired through the Federal Aid to Airport Program dated July 28, 1963 and Parcel 2 (approx. 1.939 acres) was acquired by the sponsor as part of a larger parcel (approx. 9.97 acres) for the nominal sum of One Dollar and zero cents (\$1.00) on April 19, 2010. The Commissioners of Orange County intend to purchase the property for a nominal sum of One Dollar and zero cents (\$1.00) for the construction of County Road CR 300 South/Airport Road. Construction of the road will facilitate access to the airport. The aforementioned land is not needed for aeronautical use, as shown on the Airport Layout Plan. There are no impacts to the airport by allowing the airport to dispose of the property.

This notice announces that the FAA is considering the release of the subject airport property at French Lick Airport, French Lick, Indiana, subject to easements and covenants running with the land. Approval does not constitute a commitment by the FAA to financially assist in the disposal of the subject airport property nor a determination that all measures covered by the program are eligible for grant-in-aid funding from the FAA. The disposition of proceeds from the sale of the airport property will be in accordance with FAA's Policy and Procedures Concerning the Use of Airport Revenue, published in the **Federal Register** on February 16, 1999 (64 FR 7696).

Issued in Des Plaines, Illinois on September 30, 2013.

James Keefer,

Manager, Chicago Airports District Office, FAA, Great Lakes Region.

[FR Doc. 2013-24738 Filed 10-22-13; 8:45 am]

BILLING CODE 4910-13-P



**AIRPORT LAND USE COMMISSION
MINUTE ORDER JULY 11, 2019
RIVERSIDE MEETING**

DRAFT

A regular scheduled meeting of the Airport Land Use Commission was held on July 11, 2019 at the Riverside County Administrative Center, Board Chambers.

COMMISSIONERS PRESENT: Steve Manos, Chair
Russell Betts, Vice Chair
Arthur Butler
John Lyon
Steven Stewart
Richard Stewart
Gary Youmans

COMMISSIONERS ABSENT: None

STAFF PRESENT: Simon Housman, ALUC Director
John Guerin, Principal Planner
Paul Rull, Principal Planner
Barbara Santos, ALUC Commission Secretary
Raymond Mistica, ALUC Counsel

OTHERS PRESENT: Peter Hersh, Riverside County, Planning Department
Miguel Villasenor, Inland Valley Surveying

**AIRPORT LAND USE COMMISSION
MINUTE ORDER JULY 11, 2019
RIVERSIDE MEETING**

I. **AGENDA ITEM 2.1:** ZAP1046TH19 – Kohl Ranch Company, LLC “Thermal Beach Club” (Representative: Melissa Perez, Albert A. Webb Associates) – County of Riverside Planning Case Nos. TTM 37269 (Tentative Tract Map) and PP 180037 (Plot Plan). Tentative Tract Map No. 37269 is a proposal to divide 117.8 acres within two existing parcels with a total area of 307.12 acres located southerly of 64th Avenue, easterly of Tyler Street, northerly of 66th Avenue, and westerly of Polk Street into 210 residential lots that will accommodate 326 dwelling units. All of the lots will have a net area not exceeding 8,712 square feet (0.2 acre). 128 lots will accommodate individual single-family residences. 65 lots will accommodate duplexes (two unit structures). 17 lots will accommodate four-unit structures (four-plexes). Additional lots will accommodate a surf lagoon, village area with clubhouse buildings, reservoir, and drainage areas. Plot Plan No. 180037 is a proposal to establish a surf lagoon with wave making capabilities on 21 acres and to develop a clubhouse village area consisting of four buildings with a combined floor area of 34,400 square feet. Anticipated uses of the clubhouse buildings include a restaurant, kitchen facilities, bar, spa, exercise facilities, swimming pool, deck, retail uses, and administration. The project is proposed under the name “Thermal Beach Club” (Compatibility Zone D of the Jacqueline Cochran Regional Airport Influence Area). Continued from June 13, 2019.

II. **MAJOR ISSUES**

The applicant is proposing a 21-acre surf lagoon and a reservoir, both of which would be permanent water bodies within an Airport Influence Area. The site is located 10,000 feet southerly of the runway along the extended runway centerline. An existing lake is located within a tentatively approved tract map that extends into the more northerly of the two Assessor’s parcels included in this application. In order to address the concern of bird attraction, a qualified wildlife hazard biologist has prepared a report addressing potential measures to minimize this potential hazard to flight. ALUC Director Simon Housman requested that Mead & Hunt review the report. Mead & Hunt’s initial review indicated that the Mitigation/Management Plan prepared by Whitestar should be amended to be consistent with the recommendations in the biologist’s report. The Whitestar report has since been updated to address these recommendations.

The overall density of the project is less than five dwelling units per acre. However, all of the proposed residential lots are less than 8,712 square feet (0.2 acre) in area. Pursuant to Additional Compatibility Policy 2.2 of the Jacqueline Cochran Regional Airport Land Use Compatibility Plan, projects located southerly of Avenue 64 are substantially consistent... with Zone D if the average residential lot size is 8,712 square feet (0.2 acre) or less, excluding common area, public facility, drainage basin, recreational, and open space lots.

The applicant team has provided an open area exhibit. The proposed earthen channels provide 12.5 acres of flat-bottomed open area for emergency landings. These channels will be dry under normal conditions. This is, after all, a desert, with rainfall occurring only rarely (average of nine days per year at the airport).

III. **STAFF RECOMMENDATION**

Staff recommends that the Commission open the public hearing, consider public testimony, discuss the proposal, and find the proposed project CONSISTENT with the 2005 Jacqueline Cochran Regional Airport Land Use Compatibility Plan, as amended in 2006, subject to the conditions included herein.

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IV. PROJECT DESCRIPTION

Tentative Tract Map No. 37269 is a proposal to divide ~~117.18~~ ~~239~~ acres within two existing parcels with a total area of 307.12 acres into 210 residential lots that will accommodate 326 dwelling units. All of the residential lots will have a net area not exceeding 8,712 square feet (0.2 acre). 128 lots will accommodate individual single-family residences. 65 lots will accommodate duplexes (two unit structures). 17 lots will accommodate four-unit structures (four-plexes). (The applicant envisions maintaining the lots with two-unit and four-unit structures for rental or vacation rental purposes.) Additional lots will accommodate a surf lagoon, village area with clubhouse buildings, reservoir, and drainage areas.

Plot Plan No. 180037 is a proposal to establish a surf lagoon with wave making capabilities on 21 acres and to develop a clubhouse village area consisting of four buildings with a combined ~~gross net~~ floor area of ~~34,400~~ ~~42,000~~ square feet. Anticipated uses of the clubhouse buildings include a restaurant, kitchen facilities, bar, spa, exercise facilities, swimming pool, deck, retail uses, and administration.

The project is proposed under the name "Thermal Beach Club."

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

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3. The attached notice shall be provided to all prospective purchasers of the proposed parcels and tenants or lessees of the buildings, and shall be recorded as a deed notice prior to or in conjunction with recordation of the final tract map. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final tract map, if an ECS is otherwise required.
4. The shoreline of the surf lagoon shall be maintained in sand or gravel. No vegetation or landscaping shall be permitted along the margins of the shoreline.
5. Vegetation around the reservoir that would provide food, ~~or~~ cover, or **nesting opportunities** for birds or **other wildlife** would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced to prevent contiguous canopy, when mature. Trees and bushes shall not produce fruit, seeds, or berries.

Any landscaping around the reservoir shall be in accordance with the guidance provided in ALUC's "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide, or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

6. The reservoir to be used for the delivery and retention of canal water for recreational use in the surf lagoon shall be constructed with steep sides (minimum slope of 3:1), minimal surface area, and deep water and lined with concrete or other impervious materials to prevent vegetation growth along the margins.
7. The reservoir shall be completely covered at all times from top, sides, and bottom so as to prevent access by birds and other wildlife. The cover shall consist of 1" x 1" UV-protected polypropylene mesh secured at ground level around the edges and suspended four feet above the edge elevation, on steel cables spaced not greater than 30 feet apart, as depicted on the attached exhibits. The suspension design is intended to allow for the sagging of the netting material without touching the surface of the waters, so that the material stays dry. The cables and netting material shall be maintained in operable condition (no gaps or tears) throughout the life of the permit, as long as the reservoir holds water or other liquid.
8. Club personnel responsible for maintenance of the lagoon and reservoir shall be trained and equipped to disperse birds that may attempt to access the waters through use of handheld sonic devices to be used only when birds are noted present or approaching, in order to "herd" them away from the facility. **Club personnel shall receive training from an FAA-qualified wildlife hazard biologist or someone who has received training from an FAA-qualified wildlife hazard biologist through a "Train the Trainer" program or similar.**
9. In the event that any incidence of wildlife hazard affecting the safety of air navigation occurs as a result of the presence of the surf lagoon and/or reservoir on-site, upon notification to the airport operator (currently the Riverside County Economic Development Agency) of an incidence, the airport operator shall notify Kohl Ranch Company, LLC (or its successor(s)-in-

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interest) (hereafter referred to as “owner”) in writing. Within 15 days of written notice, the owner shall be required to promptly take all measures necessary to eliminate such wildlife hazard, including, if necessary, the draining of the lagoon and/or emptying of the reservoir. An “incidence” includes any situation that results in an accident, incident, “near-miss,” or specific safety complaint regarding an in-flight experience to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The owner shall work with the airport operator to prevent recurrence of the incidence. For each such incidence made known to the owner, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport owner’s satisfaction.

10. The uses within Buildings 1 through 4 and the square footages of individual portions of those buildings shall comply with the chart included on Sheet 1 of the plot plan dated May 23, 2019. The maximum Building Code occupancy for any of these buildings shall not exceed 300 persons.
11. **Due to the site’s proximity to Jacqueline Cochran Regional Airport, flight of unmanned aerial systems (drones) is height restricted over this site and requires advance coordination with the Federal Aviation Administration for use of airspace. Heights may be restricted to 100 feet.**

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.

VII. VIDEO

The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.

ITEM 2.1: TIME: 9:31 A.M.

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I. **AGENDA ITEM 3.1:** ZAP1368MA19 – Daniel Duenas (Representative: Miguel A. Villasenor, Inland Valley Surveying) – County of Riverside Case No. PM37627 (Tentative Parcel Map). A proposal to divide a 3.62 gross acre property located at 19655 Camino Del Sol, southerly of Cajalco Road and westerly of Seaton Avenue, into two single-family residential lots. (There are already two homes on the property.) (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**
None

III. **STAFF RECOMMENDATION**
Staff recommends that the Commission find the proposed Tentative Parcel Map CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**
The applicant proposes to divide 3.62 gross acres into 2 single family residential lots.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site in accordance with Note A on Table 4 of the Mead Valley Area Plan:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight. Children's schools are

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discouraged.

4. The attached notice shall be given to all prospective purchasers of the proposed lots and tenants of any dwellings thereon, and shall be recorded as a deed notice prior to or in conjunction with recordation of the final map. In the event that the Office of Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.
5. Any ground-level or aboveground water detention basin or facilities shall be designed and maintained for a maximum 48-hour detention period after the design storm and remain totally dry between rainfalls. Vegetation around such facilities that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced to prevent large expanses of contiguous canopy, when mature. Trees and bushes shall not produce fruit, seeds, or berries.
6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
7. Prior to building permit issuance for any additional (new) buildings, the permittee shall have submitted Form 7460-1 to the Federal Aviation Administration Obstruction Evaluation Service and shall have received a "Determination of No Hazard to Air Navigation" letter pertaining to that structure.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

The following spoke in favor of the project:

Miguel Villasenor, Inland Valley Surveying, 130 Walnut Ave. Perris, CA 92571

No one spoke in neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.

VII. VIDEO

The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.

ITEM 3.1: TIME: 10:30 A.M.

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- I. **AGENDA ITEM 3.2:** ZAP1370MA19 – Froylan Damas (Representative: YMW Design, Vanessa Roeder) – County of Riverside Case No. PM37625 (Tentative Parcel Map). A proposal to divide a 3.4 gross acre property located on the southwest corner of Hawthorne Avenue and Carroll Street into 3 single family residential lots (Airport Compatibility Zone C2 High Terrain Zone of the March Air Reserve Base/Inland Port Airport Influence Area).
- II. **MAJOR ISSUES**
None
- III. **STAFF RECOMMENDATION**
Staff recommends that the Commission find the proposed Tentative Parcel Map CONSISTENT, subject to the conditions included herein.
- IV. **PROJECT DESCRIPTION**
The applicant proposes to divide 3.4 gross acres into 3 single family residential lots.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site in accordance with Note A on Table 4 of the Mead Valley Area Plan:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight. Children's schools are discouraged.

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4. The attached notice shall be given to all prospective purchasers of the proposed lots and tenants of any dwellings thereon, and shall be recorded as a deed notice prior to or in conjunction with recordation of the final map. In the event that the Office of Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.
5. Any ground-level or aboveground water detention basin or facilities shall be designed and maintained for a maximum 48-hour detention period after the design storm and remain totally dry between rainfalls. Vegetation around such facilities that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced to prevent large expanses of contiguous canopy, when mature. Trees and bushes shall not produce fruit, seeds, or berries.
6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
7. Prior to building permit issuance, the permittee shall have submitted Form 7460-1 to the Federal Aviation Administration Obstruction Evaluation Service and shall have received a "Determination of No Hazard to Air Navigation" letter pertaining to that structure.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.

VII. VIDEO

The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.

ITEM 3.2: TIME: 10:35 A.M.

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I. **AGENDA ITEM 3.3:** ZAP1089FV19 – MHS 98, LLC (Representative: VSL Engineering) – City of Murrieta Case Nos. GPA2018-1762 (General Plan Amendment), ZC2018-1763 (Zone Change), DP2018-1761 (Development Plan). A proposal to establish a 234 dwelling unit multi-family residential complex on 8.37 acres located northerly of Rising Hill Drive, westerly of Highway 79 Winchester Road, easterly of Date Street, and southerly of Murrieta Hot Springs Road. The applicant also proposes amending the City’s General Plan designation of the site from Commercial to Multi Family Residential and changing the site’s zoning from Community Commercial to Multi-Family 3 (Airport Compatibility Zone D of the French Valley Airport Influence Area).

II. **MAJOR ISSUES**

None

III. **STAFF RECOMMENDATION**

Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011, and find the proposed Development Plan CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**

A proposal to establish a 234 dwelling unit multi-family residential complex on 8.37 acres. The applicant also proposes amending the City’s General Plan designation of the site from Commercial to Multi Family Residential and changing the site’s zoning from Community Commercial to Multi-Family 3.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides,

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recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses.
3. The attached notice shall be provided to all prospective purchasers of the property and future tenants of the proposed buildings, and shall be recorded as a deed notice.
 4. Any proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around detention basins that would provide food or cover for birds, would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.

VII. VIDEO

The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.

ITEM 3.3: TIME: 10:37 A.M.

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I. **AGENDA ITEM 3.4:** ZAP1078BD19 – Smartlink, LLC (Representative: Chris Doheny) – City of Palm Desert Case No. CUP19-0002. A proposal to establish a 65 foot tall “monopalm” wireless communications facility with a 286 square foot equipment shelter area on 0.71 acres located southerly of Country Club Drive, westerly of Washington Street, and northerly and easterly of Harris Lane (Assessor’s Parcel Number 632-070-052) (Airport Compatibility Zone C of the Bermuda Dunes Airport Influence Area).

II. **MAJOR ISSUES**

An original proposal for a 75-foot tall structure was determined to be a hazard to air navigation. The applicant then revised the height to 65 feet. (A temporary 90-foot crane will require marking and lighting and issuance of a Notice to Airmen.)

III. **STAFF RECOMMENDATION**

Staff recommends that the Conditional Use Permit be found CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**

The applicant proposes to establish a 65 foot tall “monopalm” wireless communications facility with a 286 square foot equipment shelter area on 0.71 acre (Assessor’s Parcel Number 632-070-052).

CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

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- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be given to all prospective purchasers and/or tenants of the property, and shall be recorded as a deed notice.
 4. The Federal Aviation Administration has conducted an aeronautical study of the proposed wireless facility structure (Aeronautical Study No. 2019-AWP-4372-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 2 and shall be maintained in accordance therewith for the life of the project.
 5. The proposed wireless facility structure shall not exceed a height of 65 feet above ground level and a maximum elevation at top point of 178 feet above mean sea level.
 6. The maximum height and top point elevation specified above and the coordinates, frequencies, and power specified in the Determination of No Hazard to Air Navigation letter for Aeronautical Study No. 2019-AWP-4372-OE shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
 7. Within five (5) days after construction of the permanent structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://ocaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.
 8. The Federal Aviation Administration has conducted aeronautical studies of the proposed temporary construction crane structure (Aeronautical Study No. 2019-AWP-4373-OE) and is requiring that it be marked and lighted in accordance with FAA Advisory Circular 70/7460-1 L Change 2, Obstruction Marking and Lighting, flags/red lights – Chapter 3 (Marked), 4, 5 (Red), and 12.
 9. Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as normal operation is restored, notify the same number.
 10. The temporary construction crane shall not exceed a height of 90 feet above ground level. The maximum elevation at top point shall not exceed 203 feet above mean sea level (AMSL). The maximum crane height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in crane height or elevation shall not require further review

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RIVERSIDE MEETING**

by the Airport Land Use Commission.

11. At least three (3) business days prior to the erection of the temporary structure/crane, the permittee shall notify the FAA OES during core business hours via telephone at (424) 405-7642 or (424) 405-7643 and the manager of Bermuda Dunes Airport at (760) 345-2558 so that aeronautical procedures can be temporarily modified to accommodate the structure. Specifically, during the time that the crane is in place, the FAA's Flight Procedures Office will need to issue a Notice to Airmen increasing the LNAV MDA from 480 to 520 for pattern RNAV (GPS) RWY 10. Actual voice contact is required. Notification via telephone is required again upon removal of the temporary structure so that the Notice to Airmen may be cancelled.
12. Within five (5) days after the temporary crane has been dismantled or removed, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://ocaaa.faa.gov> for instructions.)

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.

VII. VIDEO

The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.

ITEM 3.4 TIME: 10:42 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER JULY 11, 2019
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.5:** ZAP1038RG19 – City of Menifee (Representative: Lisa Gordon) – Comprehensive Development Code Update and New Zoning Map. A proposal by the City of Menifee to adopt a Comprehensive Development Code, consisting of new Zoning, Subdivision, and Grading Ordinances, and a new Zoning Map to bring zoning of properties into consistency with their General Plan designations. (Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area and Compatibility Zone E of the Perris Valley Airport Influence Area).
- II. **MAJOR ISSUES**
None
- III. **STAFF RECOMMENDATION**
Staff recommends that the Commission open the public hearing, consider testimony, and find the proposed Comprehensive Development Code Update and New Zoning Map CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan and the 2011 Perris Valley Airport Land Use Compatibility Plan.
- IV. **PROJECT DESCRIPTION**
The City of Menifee proposes to adopt a Comprehensive Development Code, consisting of new Zoning, Subdivision, and Grading Ordinances, and a new Zoning Map to bring zoning of properties in the City into consistency with their General Plan designations.
- V. **MEETING SUMMARY**
The following staff presented the subject proposal:
Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org
- No one spoke in favor, neutral or opposition to the project.
- VI. **ALUC COMMISSION ACTION**
The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.
- VII. **VIDEO**
The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.

ITEM 3.5: TIME: 10:46 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER JULY 11, 2019
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.6:** ZAP1039RG19 – County of Riverside (Representatives: Robert Flores and Peter Hersh, Riverside County Planning Department) – County of Riverside Planning Case No. CZ 190012 (Ordinance Amendment). A County-initiated proposal to amend Ordinance No. 348 to comply with State law and implement the 2018 Eight Year Action Plan Update included in the Riverside County General Plan’s Housing Element. Certification of the Housing Element by the State of California Housing and Community Development was contingent in part upon adoption of these follow-up ordinance changes. This amendment would: (1) allow up to 12 units or spaces for use by a single family or household, or a group quarters with up to 36 beds, as a “by-right” permitted use on any lot zoned R-R, R-A, A-1, A-2, A-P, A-D, C-V, WC-W, WC-WE, WC-E or WC-R; (2) amend the permitted uses and development standards of the R-7 and MU zones; (3) revise Section 18.18 regarding accessory structures; (4) change references to “second units” to “accessory dwelling units,” amend the development standards for these units to comply with State law, and allow them as a “by-right” use, except in prohibited areas; (5) incorporate provisions and procedures to allow for density bonuses; (6) clarify that supportive and transitional housing is to be allowed on the same basis as any other housing units; (7) define single room occupancy units and allow them with a conditional use permit in the C-1/C-P and MU zones; and (8) add definitions of “accessory dwelling unit,” “employee housing,” “supportive housing,” and “transitional housing.” (Countywide).

II. **MAJOR ISSUES**

The ordinance amendment would provide for employee housing as a “by-right” permitted land use within agricultural zones to comply with State law. This presents a concern in that agricultural zoning exists in close proximity to airports, where Compatibility Plan criteria may prohibit housing or restrict densities.

III. **STAFF RECOMMENDATION**

Staff recommends that the Commission open the public hearing, consider testimony, and find the proposed ordinance amendment CONSISTENT with the 2004 Riverside County Airport Land Use Compatibility Plan and with all applicable individual Airport Land Use Compatibility Plans applicable to unincorporated areas, provided that proposals for employee housing in Airport Influence Areas are referred to ALUC staff for statements as to consistency or inconsistency with applicable Compatibility Plans prior to acceptance of building plans.

IV. **PROJECT DESCRIPTION**

The County of Riverside proposes to amend Ordinance No. 348 to comply with State law and implement the 2018 Eight-Year Action Plan Update included in the Riverside County General Plan’s Housing Element. Certification of the Housing Element by the State of California Department of Housing and Community Development was contingent in part upon adoption of these follow-up ordinance changes. This amendment would: (1) allow up to 12 units or spaces for use by a single family or household, or a group quarters with up to 36 beds, as a “by-right” permitted use on any lot zoned R-R, R-A, A-1, A-2, A-P, A-D, C-V, WC-W, WC-WE, WC-E, or WC-R; (2) amend the permitted uses and development standards of the R-7 and MU zones; (3) revise Section 18.18 regarding accessory structures; (4) change references to “second units” to “Accessory dwelling units,” amend the development standards for these units to comply with State law, and allow them as a “by-right” use, except in prohibited areas; (5) incorporate provisions and procedures to allow for density bonuses; (6) clarify that supportive and transitional housing is to be allowed on the same basis as any other housing units; (7) define single-room occupancy units and allow them with a conditional use

**AIRPORT LAND USE COMMISSION
MINUTE ORDER JULY 11, 2019
RIVERSIDE MEETING**

permit in the C-1/C-P and MU zones; and (8) add definitions of “accessory dwelling unit,” “employee housing,” “supportive housing,” and “transitional housing.”

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

The following spoke neither for or against the project, but added information to the decision making process:

Peter Hersh, Riverside County Planning Department, 4080 Lemon Street, Riverside, CA

No one spoke in favor or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a vote of 5-1 found the project **CONSISTENT**. Commissioner Betts dissenting;

Absent: Commissioner Youmans

VII. VIDEO

The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.

ITEM 3.6: TIME: 10:49 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER JULY 11, 2019
RIVERSIDE MEETING**

- I. **4.0 ADMINISTRATIVE ITEMS**
- 4.1 Director's Approvals – Information only
- 4.2 Election of Commission Officers
The ALUC by a vote of 6-0 reelected Chair Steve Manos and Vice Chair Russell Betts.
Absent: Youmans
- 4.3 Resolution No. 2019-03 (Document Retention Policy)
The ALUC by a vote of 6-0 approved Resolution No. 2019-03. Absent: Youmans
- II. **5.0 APPROVAL OF MINUTES**
The ALUC by a unanimous vote of 6-0 approved the June 13, 2019 minutes. Absent: Youmans
- III. **6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**
None
- IV. **7.0 COMMISSIONER'S COMMENTS**
None
- V. **8.0 ADJOURNMENT**
Steve Manos, Chairman adjourned the meeting at 11:44 a.m.
- VI. **VIDEO**
The entire discussion of this agenda item is on video and live streamed on the day of the meeting. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or e-mail at basantos@rivco.org.
- ITEM 4.0: TIME: 10:35 A.M.