

**RIVERSIDE COUNTY
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.1 ~~3-5~~

HEARING DATE: July 8, 2021 (continued from June 10, 2021)

CASE NUMBER: ZAP1469MA21 – Phelan Development Company
(Representative: EPD Solutions, Inc)

APPROVING JURISDICTION: City of Moreno Valley

JURISDICTION CASE NO: PEN21-0031 (Plot Plan)

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use
Compatibility Plan

Airport Influence Area: March Air Reserve Base

Land Use Policy: Zones B1-APZ-II, C1

Noise Levels: 60-70 CNEL from aircraft

MAJOR ISSUES: *The project was continued from the June 10, 2021, meeting, based on the Air Force email dated June 3, 2021, requesting additional time to review the project. The Commission continued the project to the July 8, 2021 meeting pending completion of the Air Force review of the project. As of the time this staff report was prepared, no comments from the Air Force has been received.*

A breakdown of use indicates that the proposed project's average and single acre intensities are consistent with the Compatibility Zone B1-APZ-II and Zone C1 intensity criteria. However, the resulting project intensity exceeds the Air Force's interpretation of Air Force Instruction 32-7063 dated December 18, 2015, which addresses Air Force policies on Land Use Compatibility in accordance with Department of Defense Instruction (DoDI) No. 4165.57, for APZ-I and APZ-II. The Air Force understands the DoDI as limiting intensity to a maximum of 25 people in any given acre in APZ-I, and a maximum of 50 people in any given acre in APZ-II. At the time this staff report was written, the Air Force has not completed its review of the project.

In order to address this issue, the applicant has agreed to a condition requiring the recording of a Covenant on the title of the property, restricting actual occupancy of the building to a maximum of 50 people in any given acre in APZ-II. Operation in compliance with this covenant will be necessary to satisfy Air Force concerns regarding project intensity.

RECOMMENDATION: Staff recommends that the Commission CONTINUE the matter to

the July 8 August 12, 2021 meeting, pending completion of the Air Force review of the project.

PROJECT DESCRIPTION: A proposal to construct six industrial warehouse buildings totaling 196,996 square feet on 11.46 acres.

PROJECT LOCATION: The site is located northerly of Alessandro Boulevard, easterly of Old 215 Frontage Road, southerly of Bay Avenue, and westerly of Day Street, within the City of Moreno Valley, approximately 8,518 feet northwesterly of the northerly end of Runway 14-32 at March Air Reserve Base.

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zones B1-APZ-II (10.42 acres) and C1 (0.80 acres). Zone B1-APZ-II limits average intensity to 50 people per acre, and Zone C1 limits average intensity to 100 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, the following rates were used to calculate potential occupancy for the proposed building:

- Warehouse – 1 person per 500 square feet, and
- Office – 1 person per 200 square feet.

The project proposes a total of 196,996 square feet of building area, including 178,996 square feet of warehouse area and 18,000 square feet of office area, accommodating an occupancy of 448 people, resulting in an average intensity of 39 people per acre, which is consistent with the Compatibility Zone B1-APZ-II average criterion of 50 people per acre, and Zone C1 average criterion of 100 people per acre.

A breakdown of use by Compatibility Zone indicates that Zone B1-APZ-II includes 163,725 square feet of warehouse area and 18,000 square feet of office area, accommodating 418 people, resulting in an average intensity of 40 people per acre for the portion of the site located in Zone B1-APZ-II, which is consistent with the Compatibility Zone B1-APZ-II average acre intensity criterion of 50 people per acre.

Compatibility Zone C1 includes 15,281 square feet of warehouse area, accommodating 31 people, resulting in an average intensity of 39 people per acre for the portion of the site located in Zone C1, which is consistent with the Compatibility Zone C1 average acre intensity criterion of 100 people per acre.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle in the absence of more precise data). Based on the number of parking spaces (234 spaces and 23 trailer spaces) provided, the total occupancy would be estimated at 374 people

for an average intensity of 33 people per acre, which is consistent with the Zone B1-APZ-II average acre intensity criterion of 50 people per acre, and Zone C1 average acre intensity criterion of 100 people per acre.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone B1-APZ-II limits maximum single-acre intensity to 100 people, and Zone C1 limits maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre intensity in Zone B1-APZ-II includes 35,927 square feet of warehouse area and 4,000 square feet of office area, for a total occupancy of 92 people, which is consistent with the Compatibility Zone B1-APZ-II single acre intensity criterion of 100.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre intensity in Zone C1 includes 15,281 square feet of warehouse area for a total occupancy of 31 people, which is consistent with the Compatibility Zone C1 single acre intensity criterion of 250.

Although the abovementioned single acre intensity in B1-APZ-II is consistent with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, it is inconsistent with the Air Force Department of Defense Instruction No. 4165.57 with regards to intensity, which is limited to a maximum of 25 people in any given acre in APZ-I, and 50 people in APZ-II. A more detailed analysis is provided below in the March Air Reserve Base section of the staff report.

March Air Reserve Base/United States Air Force Input: Given that a portion of project site is located in Zone B1-APZ-II of the primary runway at March Air Reserve Base, the March Air Reserve Base staff was notified of the project and sent a package of plans for their review. **On June 3, 2021, the Air Force requested additional time to review the project.** As of the time this staff report was prepared, we were still awaiting **new** comments from the Air Force regarding this project.

The 2018 Airport Installation Compatible Use Zones (AICUZ) study identifies the project site as located within Accident Potential Zone II (APZ-I). Appendix A of the AICUZ provides Land Use Compatibility Tables for the APZs, which cite “warehousing” as a permitted use in APZ-II (and prohibited use in the Clear Zone [CZ]).

The proposed project complies with the restrictions on permitted uses and lot coverage, but not with the intensity limits. The Air Force understands the DoDI criteria as limiting intensity to a maximum of 25 people in any given acre in APZ-I and to a maximum of 50 people in any given acre in APZ-II. As noted above, the project would be expected to result in a single acre occupancy of 92 people in B1-APZ-II.

The projected occupancy intensities would be inconsistent with the Air Force intensity understanding.

One method of bringing the project into consistency with the Air Force Instruction (AFI) is for the

applicant to agree to a condition including a Covenant, recorded on the title of the property, restricting the actual occupancy of the building to the limits of the AFI.

The applicant has agreed to this condition, which limits actual occupancy of the building to 25 persons in any given acre within APZ-I and to 50 people persons in any given acre within APZ-II. Specifically, the Covenant states:

E. Covenanter has agreed to comply with the Density Restrictions and a Density Cap (both terms are defined below), by limiting occupancy of the Project to (i) one hundred eighty eight (188) occupants (“Density Cap”) [**THE DENSITY CAP WILL DECREASE IF THE SQUARE FOOTAGE OF THE BUILDING DECREASES.**]; (ii) twenty-five (25) occupants in any square area measuring 208 feet by 208 feet (“Square Area”) for all Square Areas within portions of the building of the Project within APZ I, and (iii) fifty (50) occupants in any Square Area within portions of the building of the Project within APZ II. Requirement (ii) and (iii) are collectively the “Density Restrictions”, and are depicted in Exhibit B, attached hereto and incorporated herein by reference. Accordingly, any building expansion is prohibited, including an increase in building area, without further review by the City and MARB representatives, and consent and approval provided through an amendment to this covenant.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zones B1-APZ II or C1. Industrial warehouse buildings are compatible within Accident Potential Zones I and II pursuant to the 2018 Air Installation Compatible Use Zone (AICUZ) study disseminated by the United States Air Force. Use as an industrial warehouse is also compatible pursuant to Department of Defense Instruction (DoDI) No. 4165.57, but the intensity levels of this project in the absence of the Covenant would exceed DoDI allowances, as understood by the Air Force.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area between 60-70 CNEL range from aircraft noise. Warehouse and office uses are identified as marginally acceptable within this range; however, staff is recommending a condition to incorporate noise attenuation measures into the design of the office areas of the buildings to such extent as may be required to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (AMSL). At a distance of approximately 8,518 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,620 feet AMSL. The site elevation is approximately 1,548 feet AMSL, with a proposed maximum building height of 41 feet, resulting in a top point elevation of 1,589 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service is not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically. However, new development within Compatibility Zone B1-APZ-II is limited to a maximum lot coverage of 50%. The proposed 4.17 acres building area is located on 10.42 acres in B1-APZ-II, resulting in a 40% lot coverage, which is consistent with the allowable

maximum lot coverage of 50%.

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33B).

Although the nearest portion of the proposed project is located within 10,000 feet of the runway (approximately 8,518), the project utilized underground detention systems which will not contain surface water or attract wildlife and, therefore, would not constitute a hazard to flight.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, restaurants, places of assembly (including churches and theaters), buildings with more than 1 aboveground habitable floors, noise sensitive outdoor nonresidential uses, hazardous materials, critical community infrastructure facilities and hazards to flight.
 - (f) Any other uses not permitted in Accident Potential Zone II pursuant to DoDI 4165.57.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
 4. The attached notice shall be given to all prospective purchasers of the property and tenants of the buildings.
 5. The project has been conditioned to utilize underground detention systems, which shall not contain surface water or attract wildlife. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

6. All buildings shall be designed with zoned fire sprinkler systems.
7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access

gates, etc.

8. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
9. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.
10. This project has been evaluated as a proposal for six industrial warehouse buildings consisting of 178,996 square feet of warehouse area and 18,000 square feet of office area. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the lot lines and areas to a different configuration than what was reviewed will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
11. The applicant has agreed to accept a Covenant which will be recorded on the title of the property restricting the actual occupancy of the buildings to the limits of the Air Force Instruction. The project shall be in compliance with the recorded and executed Covenant, which limits building occupancy to a maximum of 25 people in any given acre in APZ-I, and 50 people in any given acre in APZ-II. The Covenant shall include the following language:

“Covenanter has agreed to comply with the Density Restrictions and a Density Cap (both terms are defined below), by limiting occupancy of the Project to (i) one hundred eighty eight (188) occupants (“Density Cap”) [THE DENSITY CAP WILL DECREASE IF THE SQUARE FOOTAGE OF THE BUILDING DECREASES.]; (ii) twenty-five (25) occupants in any square area measuring 208 feet by 208 feet (“Square Area”) for all Square Areas within portions of the building of the Project within APZ I, and (iii) fifty (50) occupants in any Square Area within portions of the building of the Project within APZ II. Requirement (ii) and (iii) are collectively the “Density Restrictions”, and are depicted in Exhibit B, attached hereto and incorporated herein by reference. Accordingly, any building expansion is prohibited, including an increase in building area, without further review by the City and MARB representatives, and consent and approval provided through an amendment to this covenant.”

Compliance shall be verified by City or third-party inspections and reports on a schedule agreed upon by the applicant/project operator, the City, and MARB representatives.

From: [Pacino, Brian](#)
To: [Zerda, Daniel](#)
Cc: [Rull, Paul](#); [SHAW, DAVID N Maj USAF AFRC 452 CF/CC](#); [MIRANDA, ISMAEL GS-12 USAF AFRC 452 CF/CECE](#)
Subject: RE: ZAP1469MA21 ALUC Review
Date: Thursday, June 3, 2021 10:20:14 AM
Attachments: [image002.png](#)
[AF Letter JPA Covenants DODI Concerns_040621.pdf](#)

Daniel,

That is correct. Doug has taken another position. I am copying the Base Civil Engineer, Major David Shaw, and the acting MARB Community Planner and Programmer, Mr. Ismael Miranda, as my POCs pending future staffing changes at Maj Shaw's direction.

We are tracking ZAP 1469 and 1471. However, given the staffing transitions plus some high priority taskers on the Air Force side for the month of June, may we request an extension to the July hearing on issuing comments back to ALUC? These proposed developments are both contained in Zone B1/APZ II, so we want to make sure we provide a detailed assessment and circulate internally for comments/concerns.

In the interim, I do believe the attached AF letter signed by the 452d MSG Commander on 6 April would also apply to both ZAP 1469 and 1471. Proposed total office SF are identified for each project, but we are not yet seeing any language on the application of a density/intensity covenant. Thus the assumption is that the tenant for each facility needs to be determined, followed by proposed occupancy which would then possibly trigger implementation of a covenant.

Please let me know if you have any questions.

Thanks,

Brian
CP, 452 MSG/CE
March ARB

Brian J. Pacino, AICP | **Jacobs** | **Strategic Consulting – People & Places Solutions** |
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From: Zerda, Daniel <DZerda@Rivco.org>
Sent: Thursday, June 03, 2021 9:50 AM
To: Pacino, Brian <Brian.Pacino@jacobs.com>
Cc: Rull, Paul <PRull@RIVCO.ORG>
Subject: [EXTERNAL] Re: ZAP1469MA21 ALUC Review



DEPARTMENT OF THE AIR FORCE
AIR FORCE RESERVE COMMAND

April 6, 2021

Colonel Rodney E. McCraine
Commander
452d Mission Support Group
1261 Graeber Street, Bldg. 2313, Suite 135
March ARB, CA 92518

Mr. Paul Rull
Director
Riverside County Airport Land Use Commission
4080 Lemon Street, 14th Floor
Riverside, CA 92501

Dear Mr. Paul Rull,

This is in response to three applications, listed below, being considered by the Riverside County Airport Land Use Commission (ALUC) and addresses the application of Department of Defense Instruction (DODI) 4165.57 and Office Density Restriction Covenants for Riverside County Airport Land Use Commission (ALUC) on these cases –

- ZAP1444MA20 (Amazon Parcel Delivery Hub at Freeway Business Center, March JPA),
- ZAP1452MA21 (OZI Warehouse, City of Riverside),
- ZAP1456MA21 (Penske Truck Facility, City of Moreno Valley)

With respect to the 3 projects, and for the any future projects and applications, March ARB encourages the ALUC to follow the DODI 4165.57 as a minimum guide to determining office density restrictions and appropriate covenants to be used in ensuring that the density restrictions are met. The Instruction encourages local governments to address labor intensity, which addresses the allowable number of persons within a building and even in portions of the buildings. The most recent F-16 aircraft accident in March 2019 near March ARB is an example of the risk to property and life that exists when developments encroach upon an Air Base. Luckily, the F-16 crashed in a portion of the building with very low labor intensity and no one was injured. However, the accident could have easily happened only a few feet to the west where the higher labor intensity of the office space in that building could have resulted in serious bodily injury or death.

The ALUC should always consider the risk of an aircraft accident when making a decision. The use of Accident Potential Zones (APZ) described in the DODI 4165.57 address the general risk, but the DODI is only minimal guidance for use by local authorities to reduce the risk to the general public. There are two equally important aspects to the risk: the potential for aircraft to have an accident, and the potential for the public to be impacted by an accident. The Air Force (AF) is ready to work with ALUC to address March ARB risks and approaches to reduce the potential for accidental injury or death to the public both in and outside of allowable developments within the APZs. It is the Air Forces desire that the ALUC would side with conservative limits on building and development occupations.

The ALUC and local governments can do much to reduce potential accidents by having strong codes to reduce the cumulative development impact on air-pollution, electronic interference with aircraft, height of structures, and potential glare to pilots. Likewise, ALUC and local governments can greatly reduce the potential risk to the public by strong codes to reduce occupation density of land uses within the APZs, not only within certain land uses, but also labor intensity within building uses in the APZs.

ALUC's use of deed covenants to restrict building occupation in developments, which are not located in a city with adequate land use controls, is encouraged by the AF. The specific wording must ensure that the entity having jurisdiction be able to enforce the covenant. The AF is not able to inspect or enforce any deed covenants. This is a local government responsibility and authority. Covenants are not easily enforced and strict land use controls by the City and County are the real solution to not only reduce the risk but to enforce the reduced risk in the future.

Finally the AF will work with the ALUC in its Compatibility Use Study to develop a Compatibility Use Plan to develop further guidance for local governments to address and enforce; occupation density in APZs, labor intensity within buildings and other factors, to include the cumulative impacts of multiple building solar glare, air emissions, bird and wildlife hazards, etc. We look forward to working with the ALUC and its member governments in this regard.

Should you have any questions or would like to discuss this further, please feel free to contact me directly at (951) 655-3700.

Sincerely

MCCRAINE.RO Digitally signed by
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DNEY.ERIC.10 C.1067944492
67944492 Date: 2021.04.05
15:55:27 -07'00'

RODNEY E. MCCRAINE, Colonel, USAF
Commander, 452d Mission Support Group

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

THERE IS AN AIRPORT NEARBY.

**THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

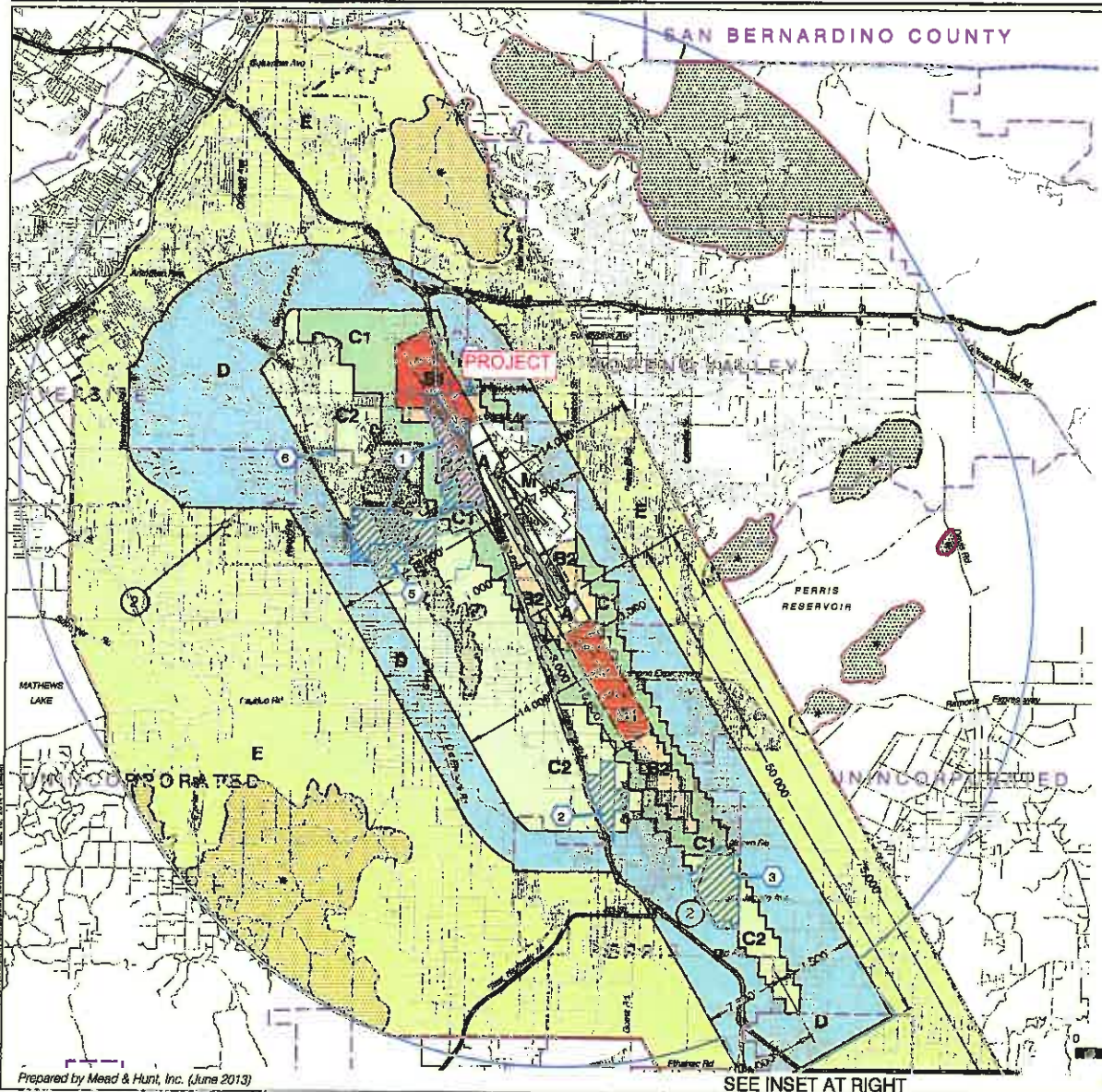
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



LEGEND

Compatibility Zones

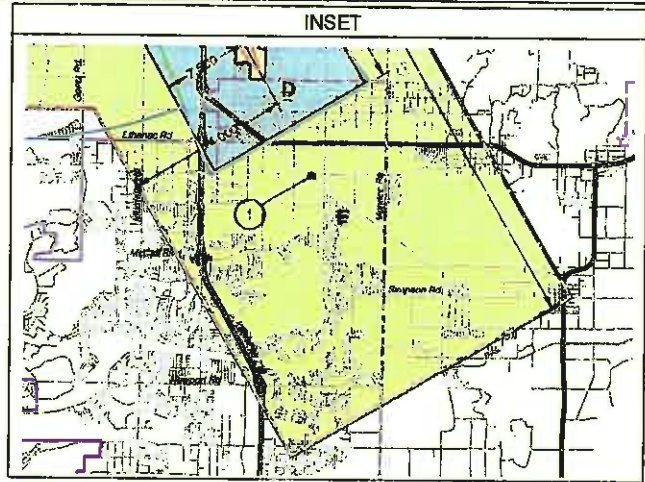
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notfloaton Area

Boundary Lines

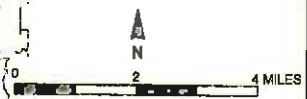
- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- 1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- 2 Point at which departing aircraft typically reach 3,000 feet above runway end.

- 1 March JPA: March Business Center/Meridian
- 2 Perris: Harvest Landing
- 3 Perris: Park West
- 4 Moreno Valley: Affordable Housing
- 5 March JPA: Ben Clark Training Center
- 6 Riverside: Ridge Crest Subdivision



Note:
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

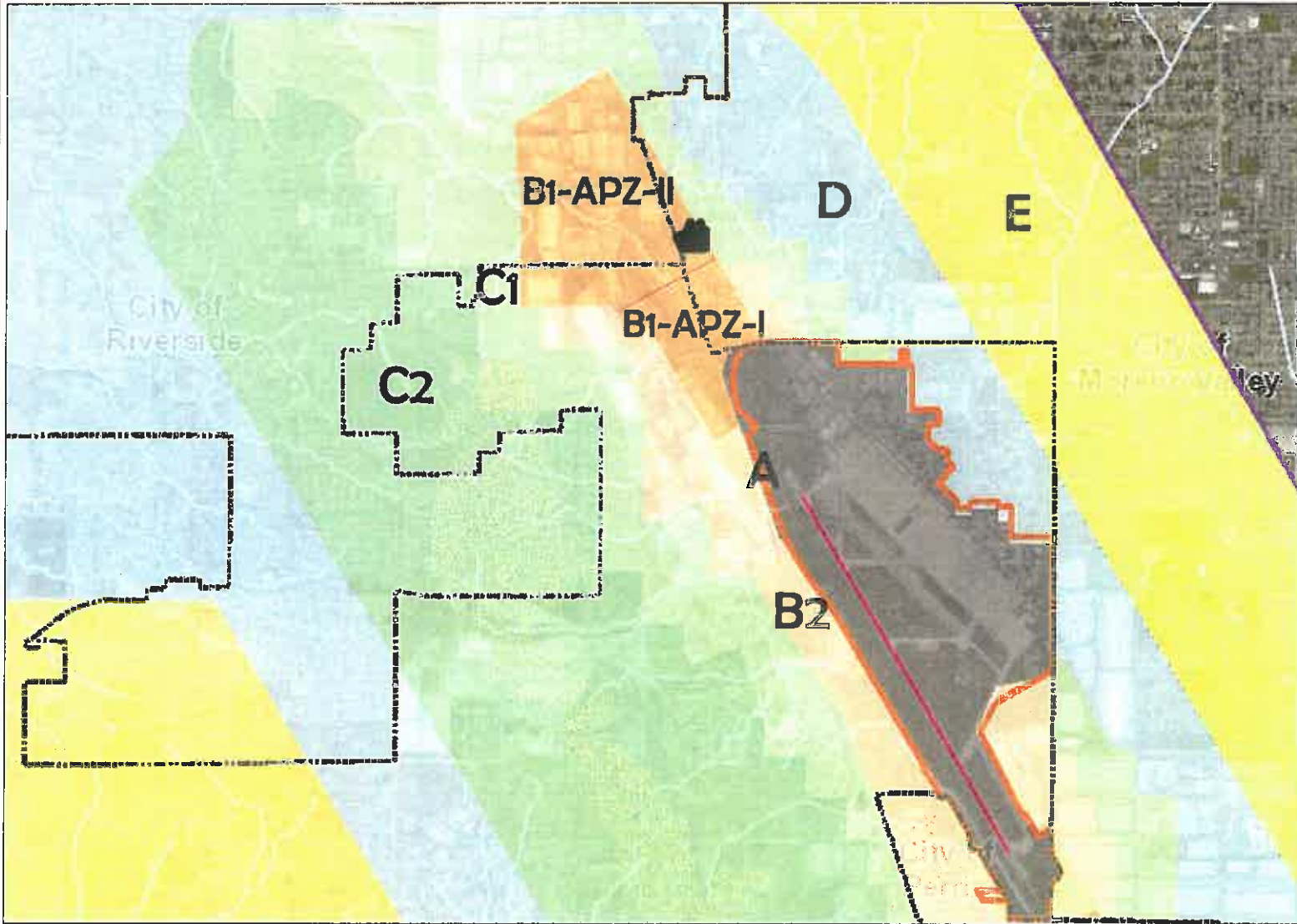
Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



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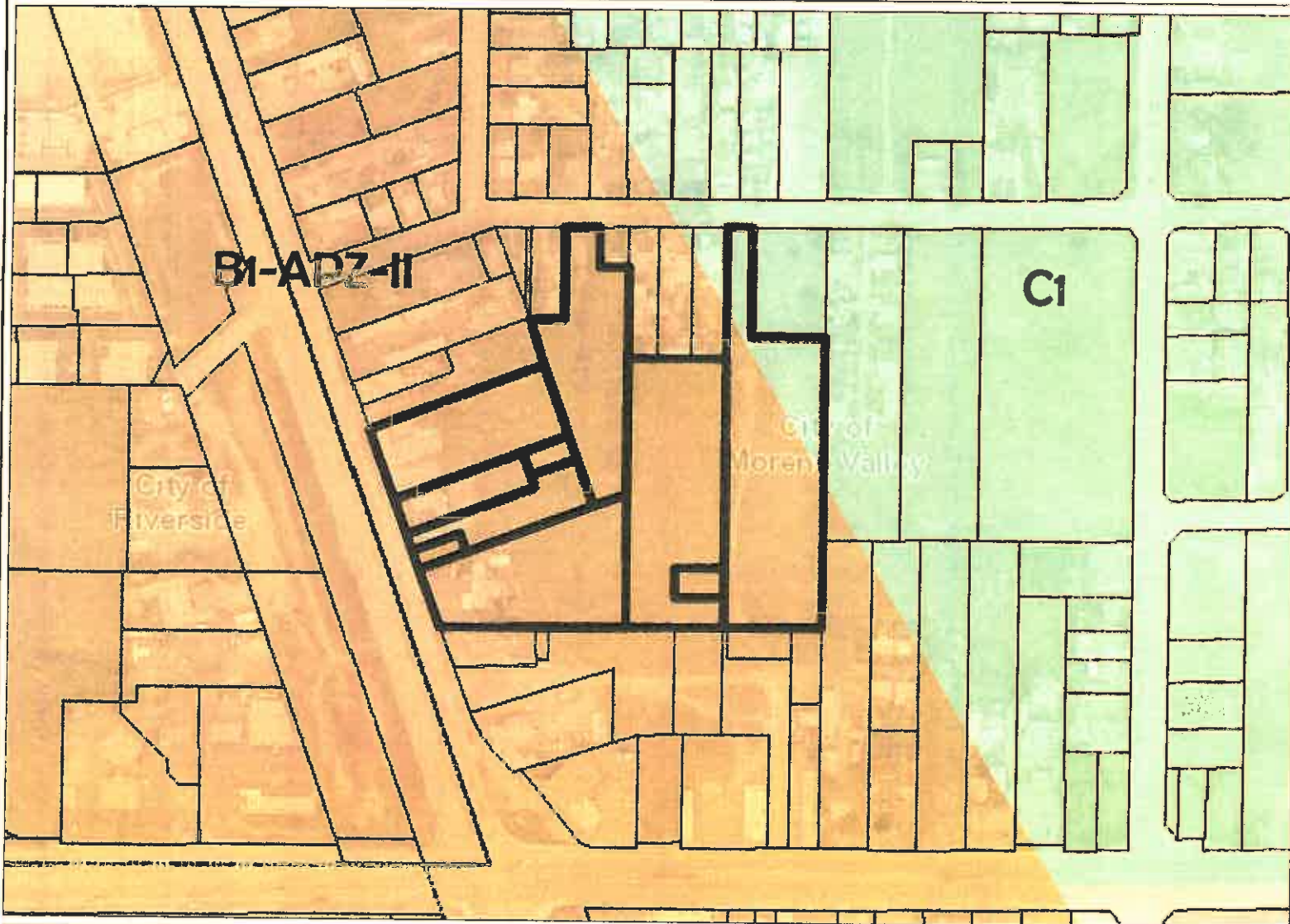


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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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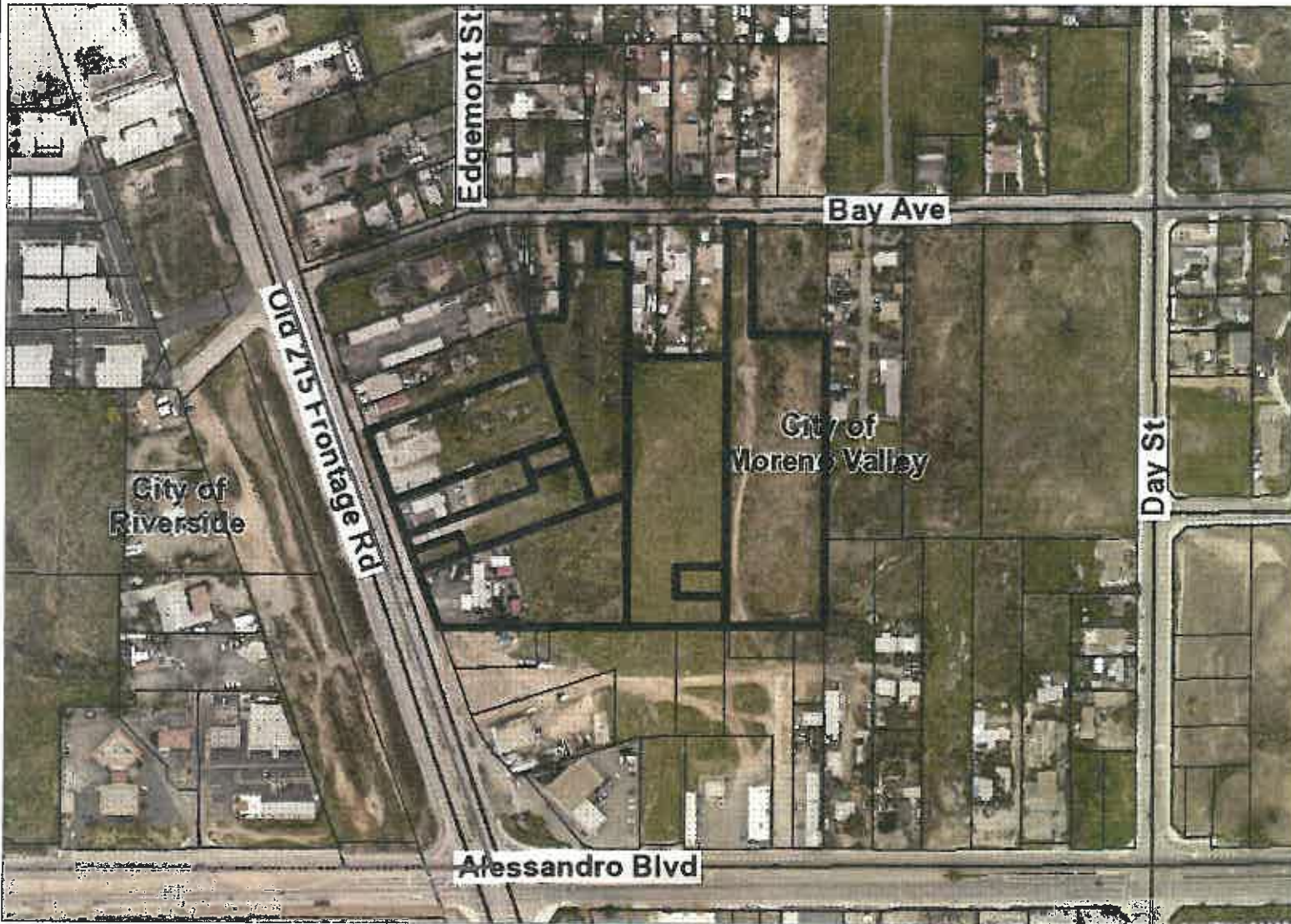


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Notes

Map My County Map



Legend

- Parcels
- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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Notes

0 376 752 Feet

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Map My County Map



- ### Legend
- County Centerlines
 - BlueLine Streams
 - City Areas
 - World Street Map



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Notes



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Map My County Map



Legend

- County Centerlines
- Blue Line Streams
- City Areas
- World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes




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Map My County Map



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 752 1,505 Feet



REPORT PRINTED ON... 5/5/2021 4:29:55 PM

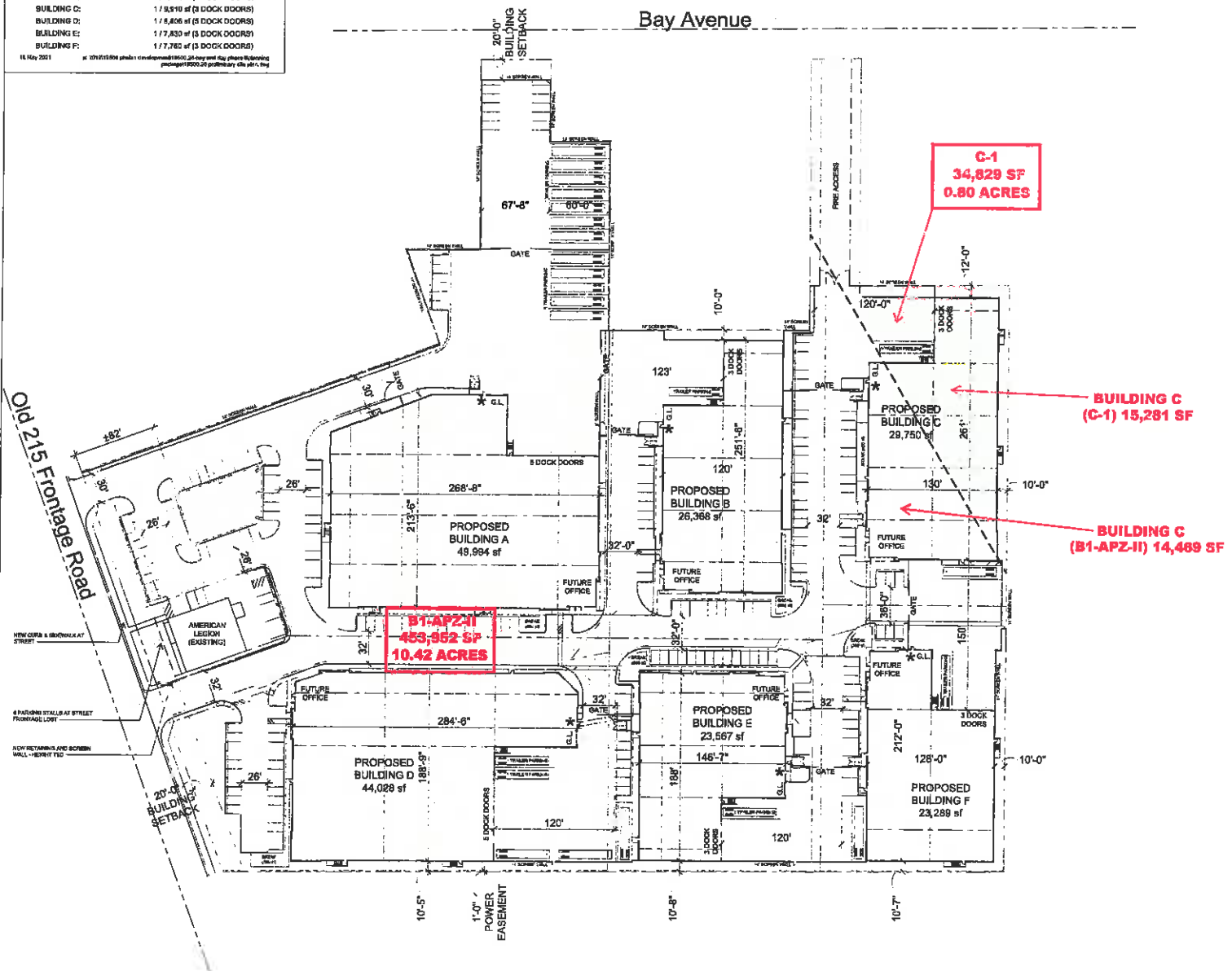
© Riverside County GIS

Notes

GROSS LOT AREA:	499,225 of ± 11.46 acres
NET LOT AREA:	465,781 of ± 11.22 acres
TOTAL BUILDING AREA:	198,996 sf
BUILDING A:	49,994 sf
WAREHOUSE:	45,994 sf
OFFICE:	4,000 sf
BUILDING B:	26,368 sf
WAREHOUSE:	23,864 sf
OFFICE:	2,500 sf
BUILDING C:	29,750 sf
WAREHOUSE:	27,250 sf
OFFICE:	2,500 sf
BUILDING D:	44,028 sf
WAREHOUSE:	40,028 sf
OFFICE:	4,000 sf
BUILDING E:	23,567 sf
WAREHOUSE:	21,067 sf
OFFICE:	2,500 sf
BUILDING F:	23,289 sf
WAREHOUSE:	20,789 sf
OFFICE:	2,500 sf
SITE COVERAGE (on net):	40.3 %
PARKING REQUIRED	224 spaces
OFFICES:	1/200 sf of gross floor area
WAREHOUSE:	1/1k sf 1st 20k; at 1/2k 2nd 20k; at 1/4k of over 40k sf
BUILDING A:	46 spaces
WAREHOUSE:	32 spaces
OFFICE:	14 spaces
BUILDING B:	32 spaces
WAREHOUSE:	22 spaces
OFFICE:	10 spaces
BUILDING C:	34 spaces
WAREHOUSE:	24 spaces
OFFICE:	10 spaces
BUILDING D:	47 spaces
WAREHOUSE:	31 spaces
OFFICE:	16 spaces
BUILDING E:	32 spaces
WAREHOUSE:	22 spaces
OFFICE:	10 spaces
BUILDING F:	32 spaces
WAREHOUSE:	21 spaces
OFFICE:	11 spaces
PARKING PROVIDED:	234 spaces
STANDARD:	225 spaces
ACCESSIBLE:	12 spaces
TRAILER PARKING REQUIRED:	23 spaces
(1 SPACE PER DOCK DOOR)	
TRAILER PARKING PROVIDED:	23 spaces
LANDSCAPE PROVIDED: (10.3% of Net Lot Area)	50,402 sf

DOCK DOOR RATIO:	1 / 8,585 sf (23 DOCK DOORS)
BUILDING A:	1 / 8,582 sf (8 DOCK DOORS)
BUILDING B:	1 / 8,778 sf (3 DOCK DOORS)
BUILDING C:	1 / 9,919 sf (3 DOCK DOORS)
BUILDING D:	1 / 8,406 sf (3 DOCK DOORS)
BUILDING E:	1 / 7,830 sf (3 DOCK DOORS)
BUILDING F:	1 / 7,760 sf (3 DOCK DOORS)

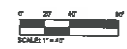
11 May 2021
 s: 2019101004 plan: cond: 0000018000_01-00 and day phase: Referring
 package: 0000_00 preliminary site plan.dwg



PRELIMINARY SITE PLAN

May 19, 2021

Old 215 Frontage Road and Bay Avenue
 Moreno Valley, California



Old Frontage Road Moreno Valley, California

01 MARCH, 2021

ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL STATE AND FEDERAL CODES REGULATIONS AND LAWS, INCLUDING, BUT NOT LIMITED TO:

- BUILDINGS 2019 CALIFORNIA BUILDING CODE
- MECHANICAL 2019 CALIFORNIA MECHANICAL CODE
- PLUMBING 2019 CALIFORNIA PLUMBING CODE
- ELECTRICAL 2019 CALIFORNIA ELECTRICAL CODE
- FIRE 2019 CALIFORNIA FIRE CODE
- ACCESSIBILITY 2018 CALIFORNIA BUILDING CODE, CHAPTER 11B
- ENERGY 2019 CALIFORNIA ENERGY CODE
- HEALTH 2018 GREEN BUILDING STANDARDS CODE

APPLICABLE CODES

ARCHITECTURAL

- A-1 COVER SHEET
- A-2 PRELIMINARY SITE PLAN
- A-3 BUILDING A FLOOR PLAN
- A-4 BUILDING B FLOOR PLAN
- A-5 BUILDING C FLOOR PLAN
- A-6 BUILDING D FLOOR PLAN
- A-7 BUILDING E FLOOR PLAN
- A-8 BUILDING F FLOOR PLAN
- A-9 BUILDING G ROOF PLAN
- A-10 BUILDING H ROOF PLAN
- A-11 BUILDING I ROOF PLAN
- A-12 BUILDING J ROOF PLAN
- A-13 BUILDING K ROOF PLAN
- A-14 BUILDING L ROOF PLAN
- A-15 BUILDING M ROOF PLAN
- A-16 BUILDING N ELEVATIONS
- A-17 BUILDING O ELEVATIONS
- A-18 BUILDING P ELEVATIONS
- A-19 BUILDING Q ELEVATIONS
- A-20 BUILDING R ELEVATIONS

LANDSCAPE

- L-1 CONCEPTUAL LANDSCAPE PLAN

CIVIL

- 1 OF 2 PRELIMINARY GRADING PLAN TITLE SHEET
- 2 OF 2 CONCEPTUAL GRADING PLAN

APN

283-220-006, 283-220-027, 283-220-028,
283-220-028, 283-220-080, 283-220-017,
283-220-016, 283-220-004, 283-220-023, &
283-220-027
REFER TO CONCEPTUAL GRADING PLAN TITLE
SHEET (SHEET 1 OF 2) FOR FULL LEGAL
DESCRIPTIONS

AGUCP

95 CNECL + ZONE B1 - APZ-II

LAND USE

SP (BUSINESS PARK)

OCCUPANCY GROUP

S-1, B

CONSTRUCTION TYPE

III-B (BUILDINGS A & D)
V-B (BUILDINGS B, C, E & F)

DESCRIPTION OF WORK

THIS DEVELOPMENT CONSISTS OF SIX TILT-UP CONCRETE WAREHOUSE BUILDINGS TOTALING 197,491 S.F., INCLUDING 18,000 S.F. OF FUTURE ACCESSORY OFFICE AREAL TRASH AND RECYCLING BINS WILL BE CONFINED WITH AN A TRASH ENCLOSURE CONSTRUCTED OF CONCRETE WITH STEEL GATES TO SCREEN BINS FROM VIEW.

AUTOMOBILE PARKING IS PROVIDED THROUGHOUT THE SITE.

A FIRE APPARATUS ACCESS LANE THROUGH THE SITE TO PROVIDE ACCESS AT EACH BUILDING WILL BE MAINTAINED AT ALL TIMES. GATES WILL INCLUDE KNOX PADLOCK TO PROVIDE FIRE DEPARTMENT ACCESS.

GROSS LOT AREA

489,225 sq. ft.
11.45 ACRES

NET LOT AREA

466,791 sq. ft.
10.52 ACRES

TOTAL BUILDING AREA

187,401 sq. ft.

BUILDING A

WAREHOUSE
18,000 sq. ft.

BUILDING B

WAREHOUSE
40,000 sq. ft.

BUILDING C

WAREHOUSE
27,500 sq. ft.

BUILDING D

WAREHOUSE
14,000 sq. ft.

BUILDING E

WAREHOUSE
1,000 sq. ft.

WAREHOUSE

OFFICE
21,901 sq. ft.

OFFICE

23,389 sq. ft.

WAREHOUSE

OFFICE
23,793 sq. ft.

OFFICE

48.29 %

OVERALL SITE COVERAGE (GVN NET)

PARKING REQUIRED:

OFFICES 1088 of spaces from area

WAREHOUSE 1/2% of lot 220 of 1200 total 220 of 1/2% of gross sq. ft.

WAREHOUSE OFFICE

WAREHOUSE OFFICE

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WAREHOUSE OFFICE

220 868286

OWNER / APPLICANT

PHELAN DEVELOPMENT
455 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660
PHONE: (949) 534-4927
info@phelandevelopment.com

ARCHITECT

CARLE COATS SWORTH ARCHITECTS, INC.
1820 MACARTHUR BOULEVARD
SUITE 300
IRVINE, CA 92612
PHONE: (949) 438-1850
jsworth@carlecoats.com

LANDSCAPE ARCHITECT

SCOTT PETERSON
LANDSCAPE ARCHITECT, INC.
2963 VIA RANCHEROS WAY
FALLBROOK, CA 92028
PHONE: (714) 842-2893
scott@spaiinc.com

CIVIL ENGINEER

BR & O, INC.
4188 ENTERPRISE CIRCLE NORTH
SUITE 156
TEMECULA, CA 92590
PHONE: (951) 666-6500
dennisc@brandos.com



SHEET INDEX

PROJECT SUMMARY

PROJECT TEAM

VICINITY MAP

SCALE: NOT TO SCALE

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California

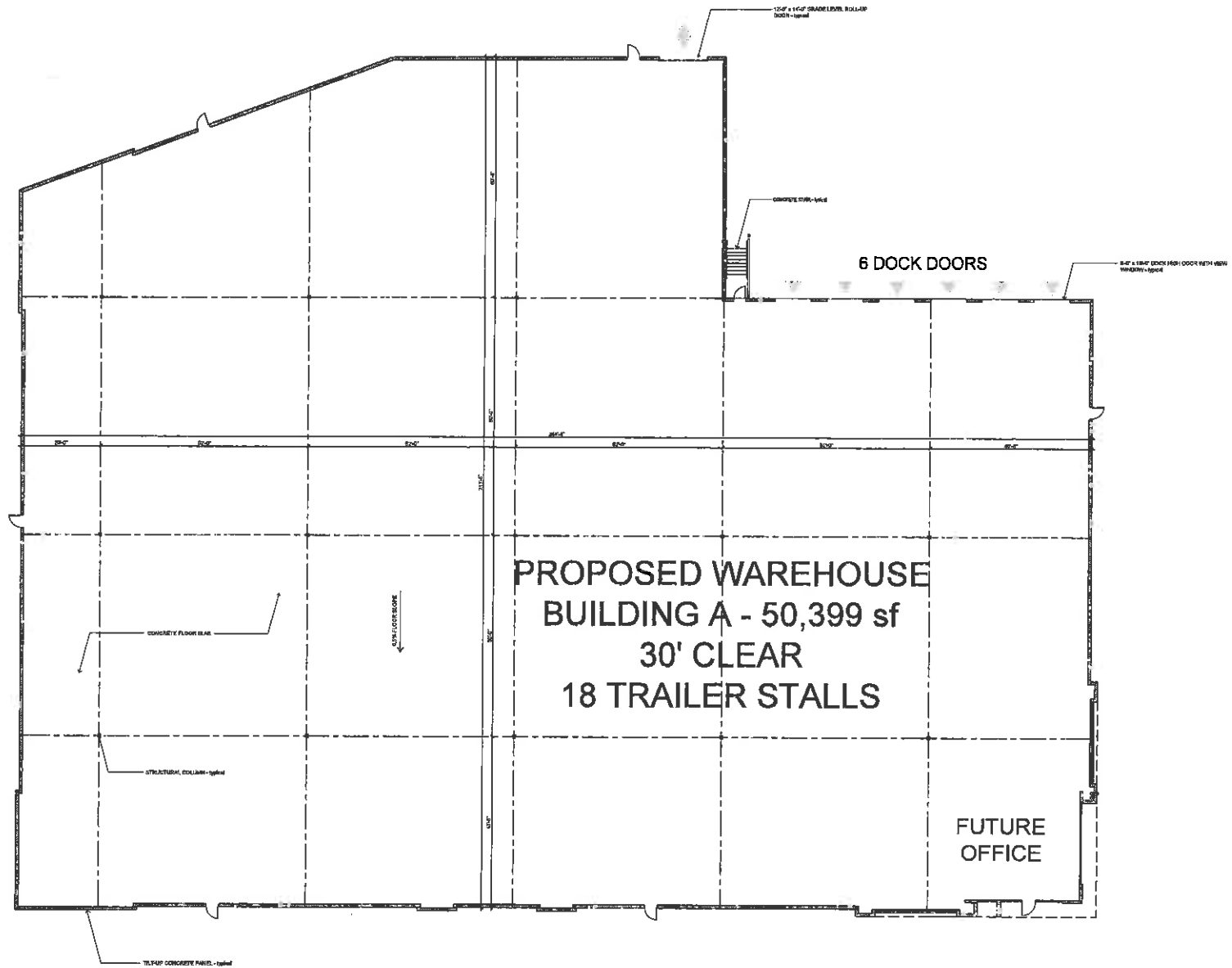
A-1



Carille Coatsworth Architects, Inc.
455 Newport Center Drive, Suite 405
Newport Beach, CA 92660



PHELAN
DEVELOPMENT
455 Newport Center Drive, Suite 405
Newport Beach, CA 92660



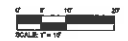
PROPOSED WAREHOUSE
 BUILDING A - 50,399 sf
 30' CLEAR
 18 TRAILER STALLS

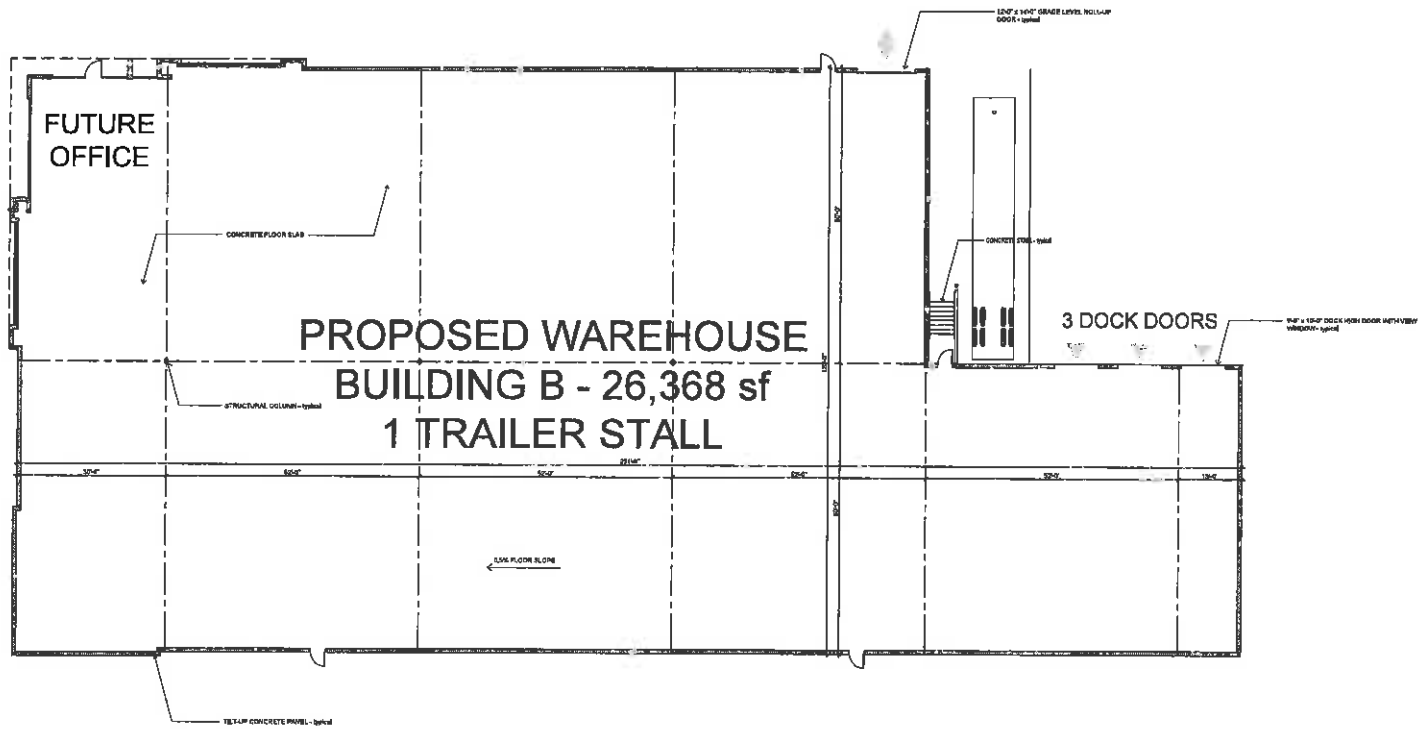
FUTURE
 OFFICE

BUILDING A FLOOR PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
 Moreno Valley, California



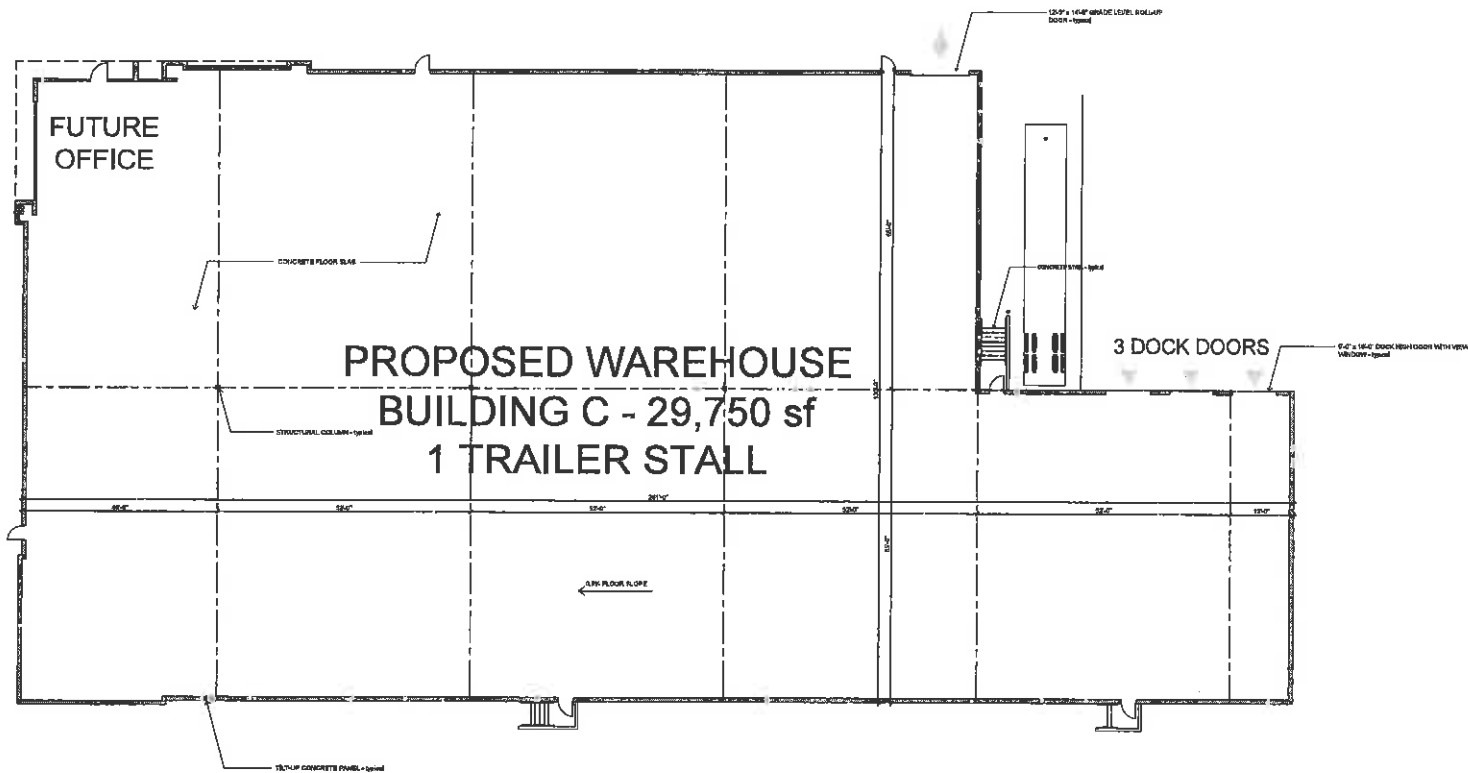


BUILDING B FLOOR PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California





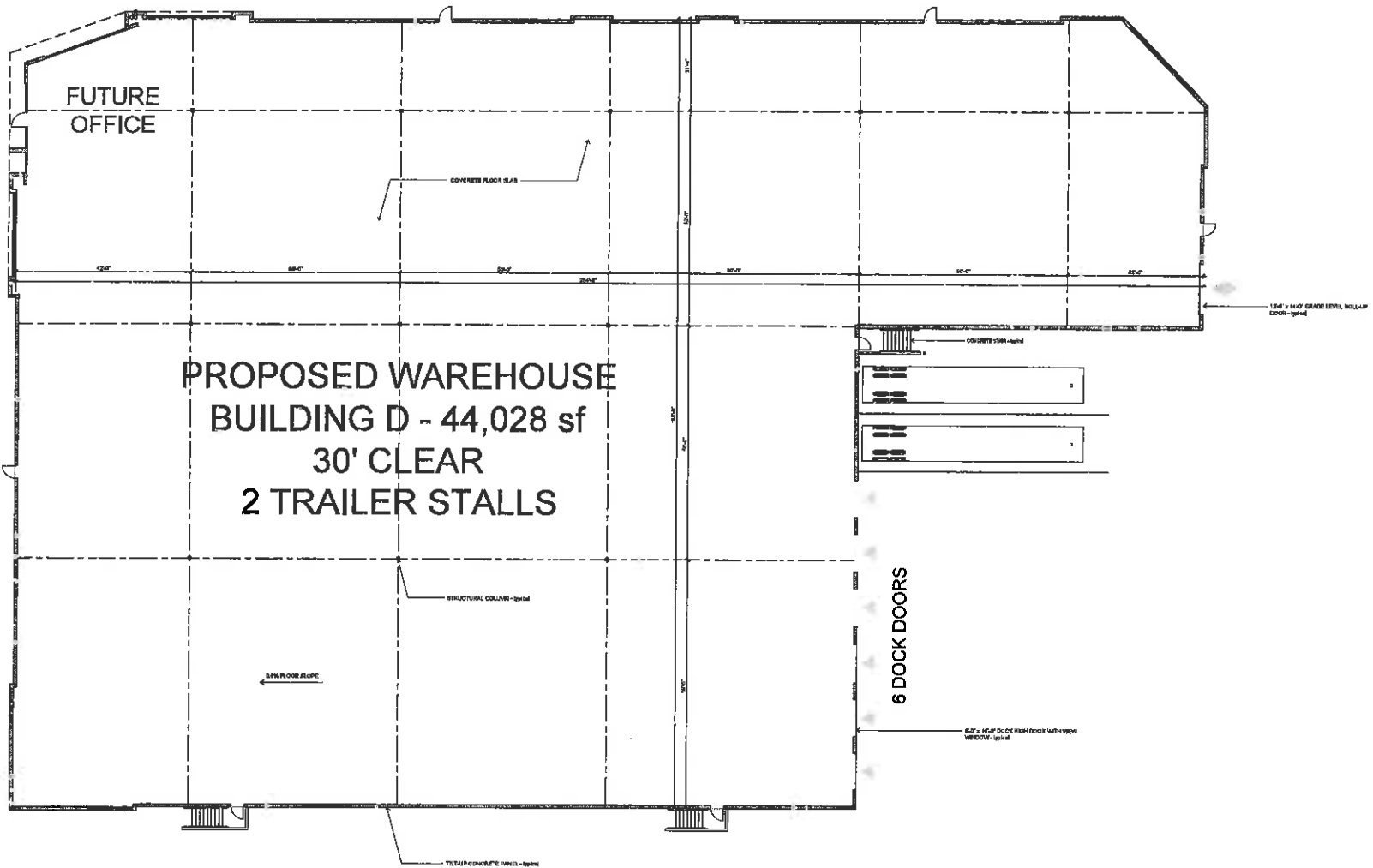
BUILDING C FLOOR PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California



12/20/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM 11/17/2020 10:58 AM

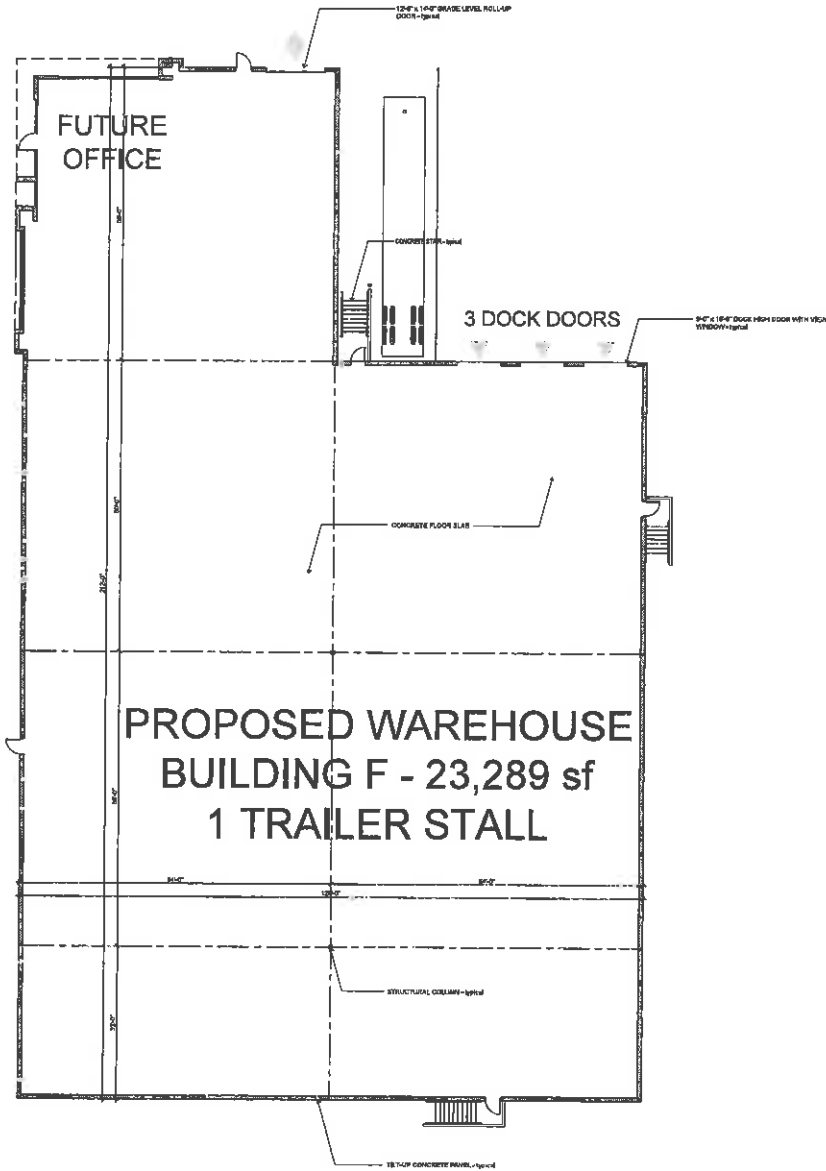


BUILDING D FLOOR PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California



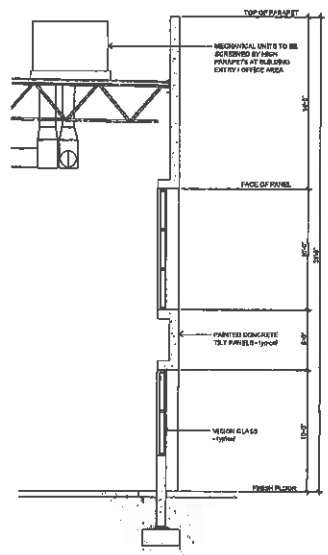
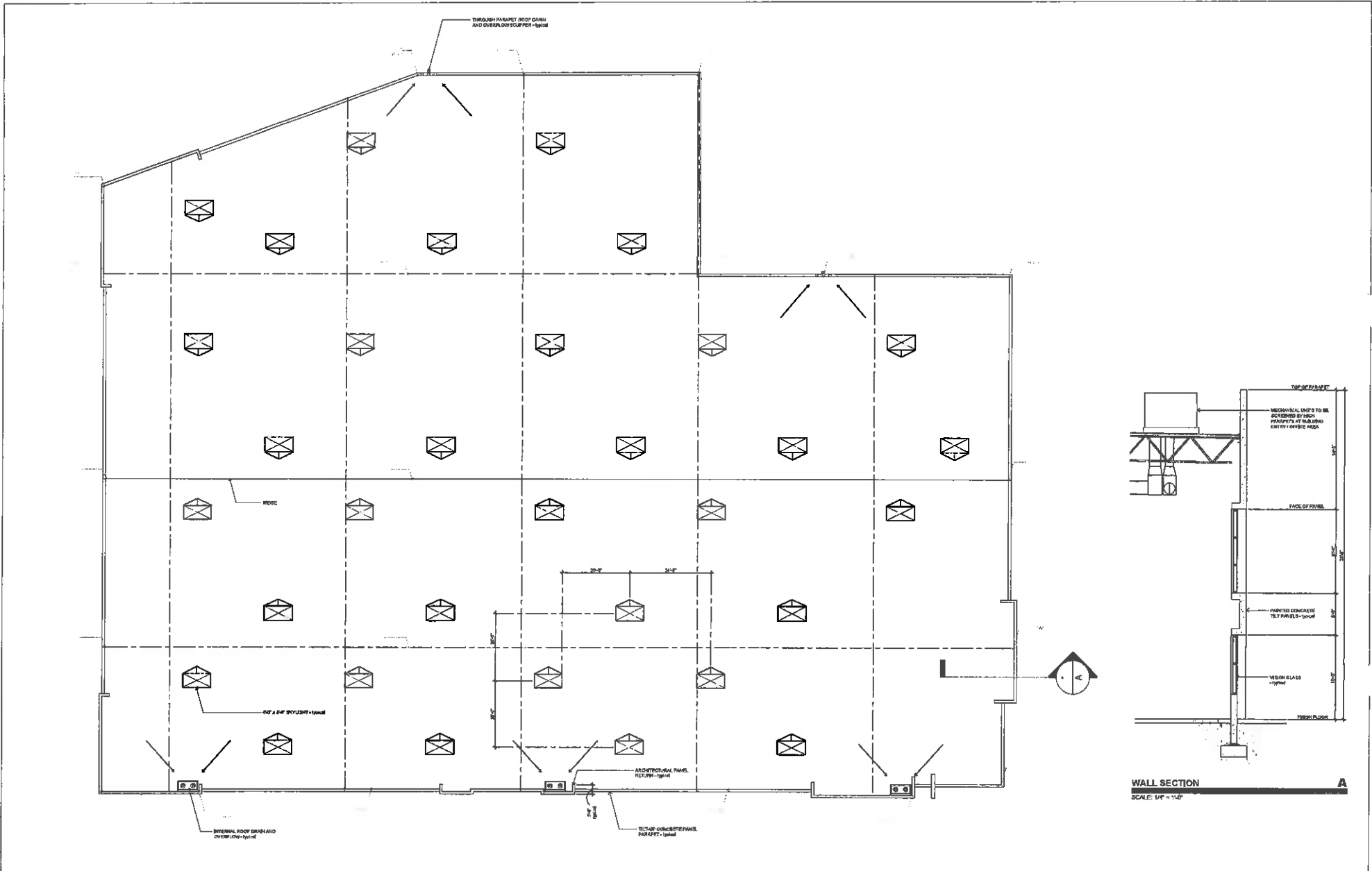


BUILDING F FLOOR PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California





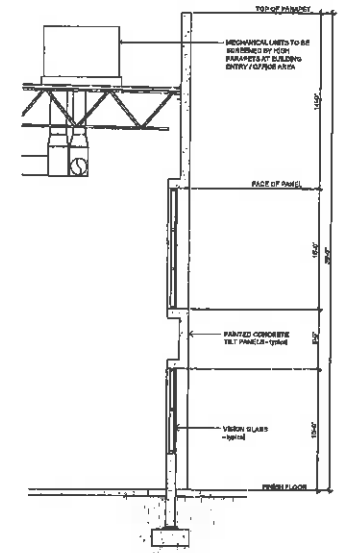
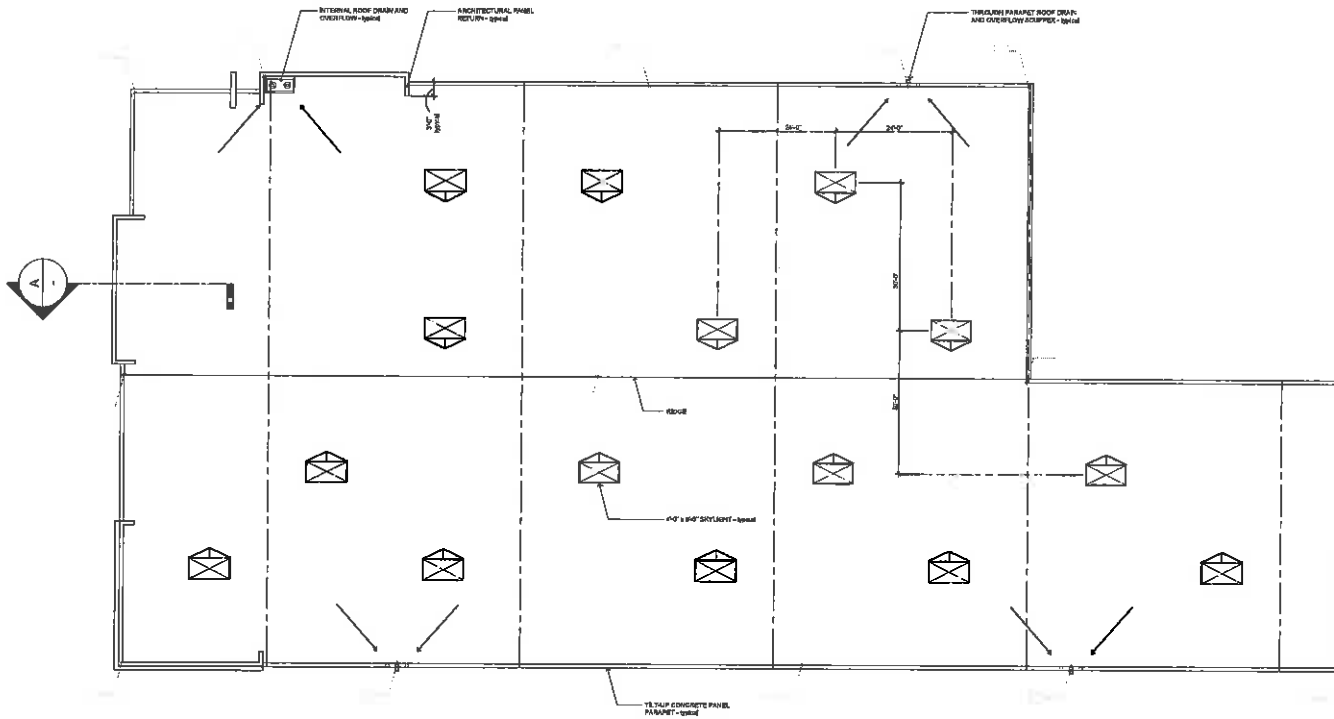
WALL SECTION
SCALE: 1/4" = 1'-0"

BUILDING A ROOF PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California





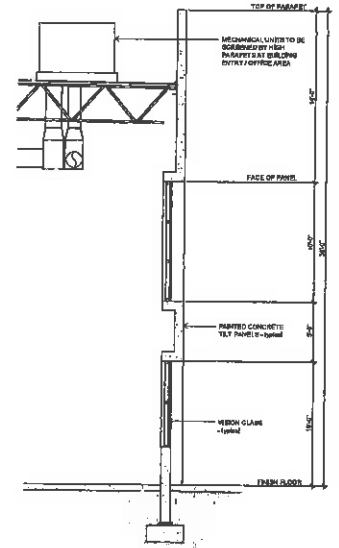
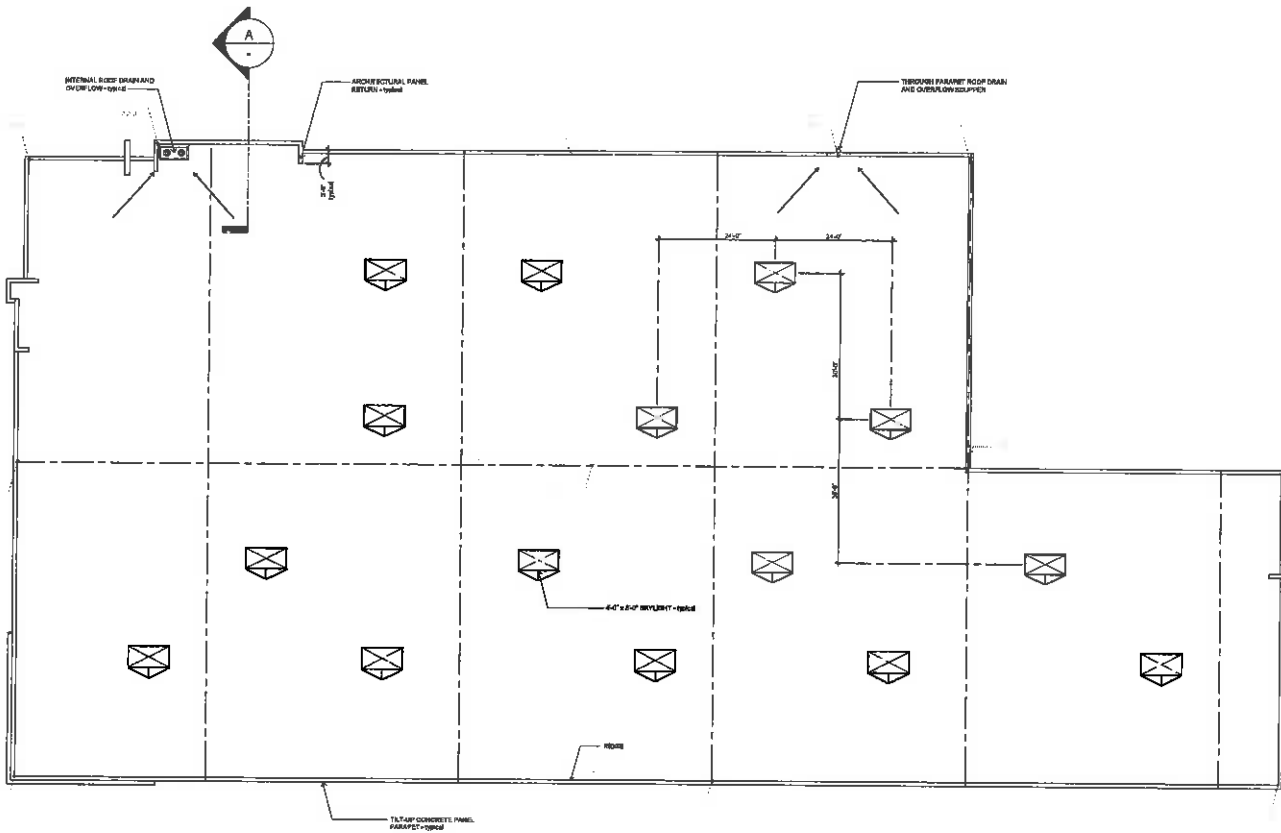
WALL SECTION
SCALE: 1/4" = 1'-0"

BUILDING B ROOF PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California





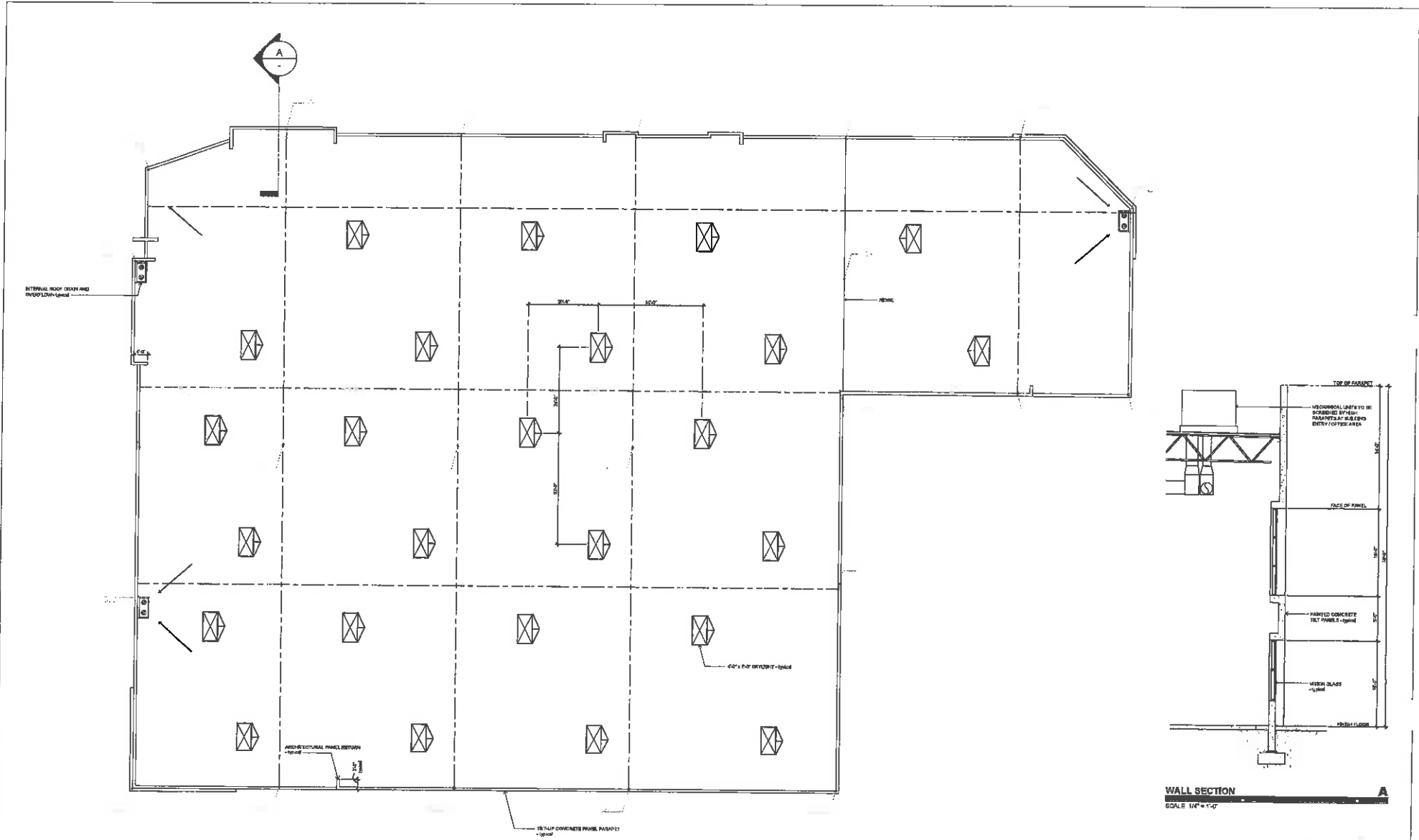
WALL SECTION
SCALE: 1/4" = 1'-0"

BUILDING C ROOF PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California



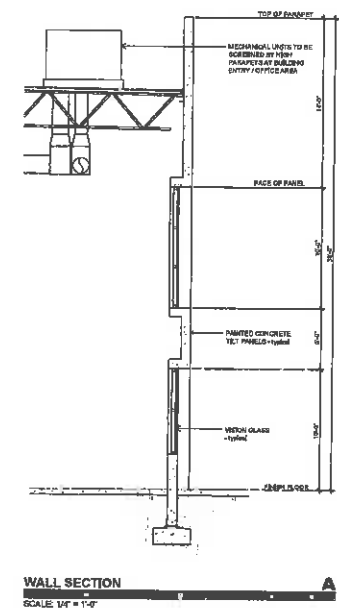
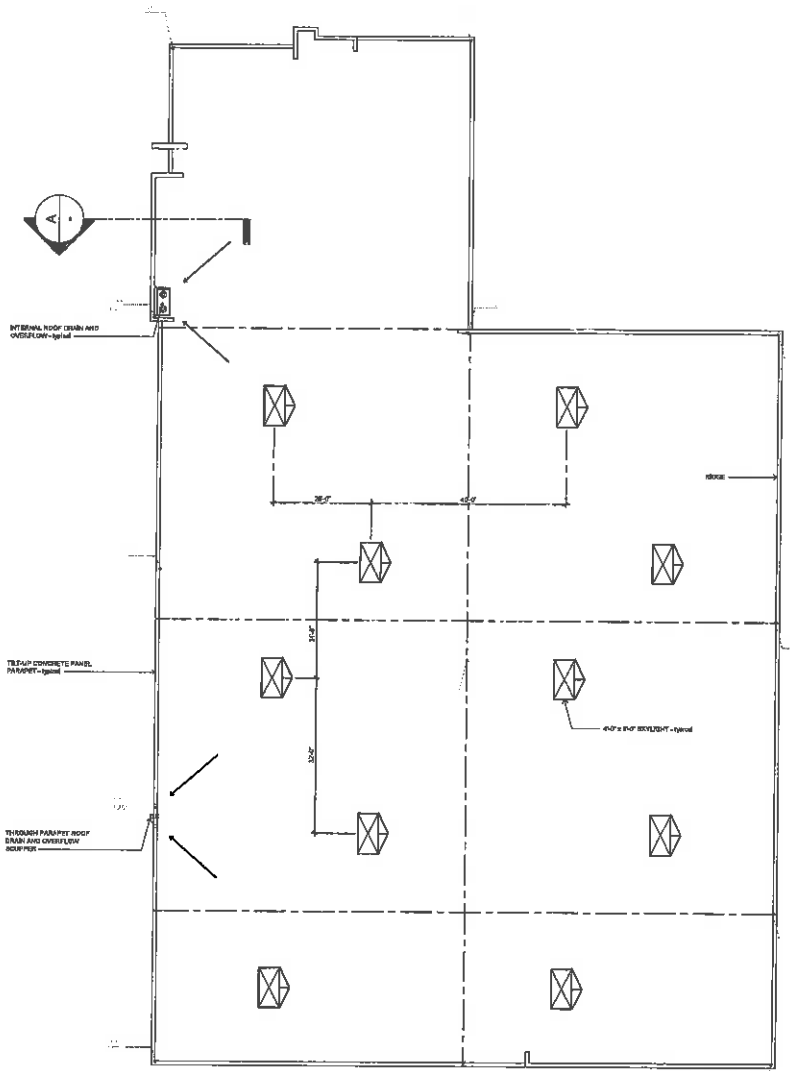


BUILDING D ROOF PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California



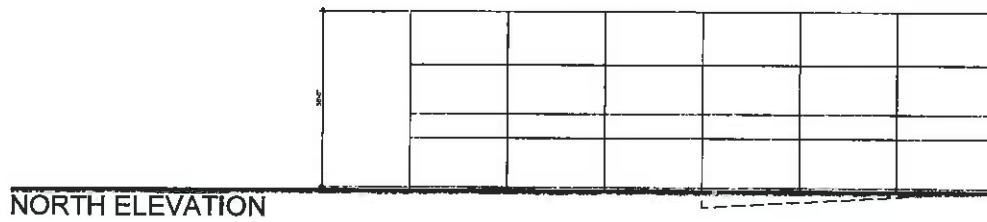


BUILDING F ROOF PLAN

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California

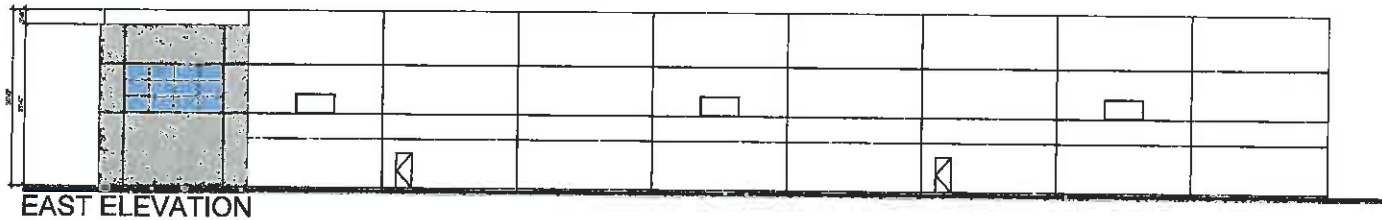




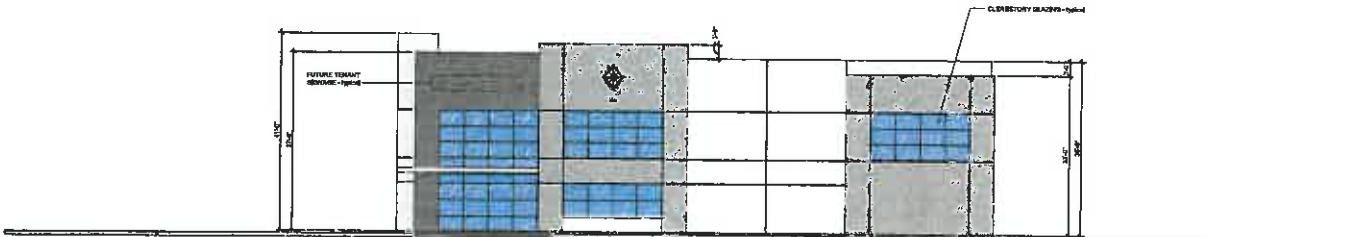
NORTH ELEVATION

LEGEND

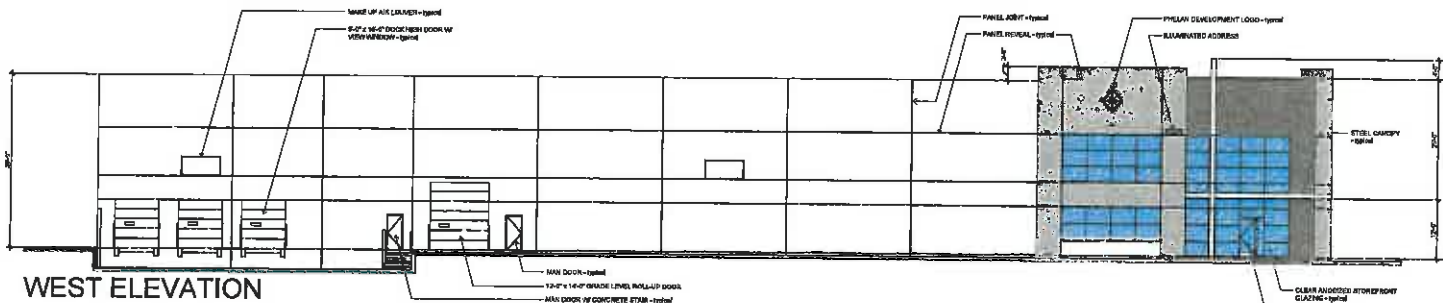
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[Symbol]	1 1/2" TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERMAN WALLPAPER - 8071 - BERRY ACRES
[Symbol]	1 1/2" TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERMAN WALLPAPER - 8073 - APACHE GRAY
[Symbol]	1 1/2" TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERMAN WALLPAPER - 8074 - HISS GRAY
[Symbol]	1" INSULATED GLAZED UNIT (IGU) MEDIAN PERFORMANCE PFG ULTRACON PAPER GLAZING CLEAR ANODIZED ALUMINUM FRAMING
[Symbol]	1/2" MEDIAN PERFORMANCE PFG ULTRACON PAPER GLAZING CLEAR ANODIZED ALUMINUM FRAMING



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

BUILDING B ELEVATIONS

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California

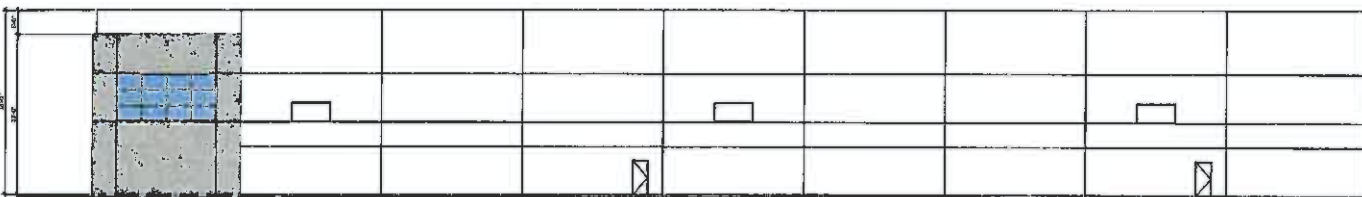




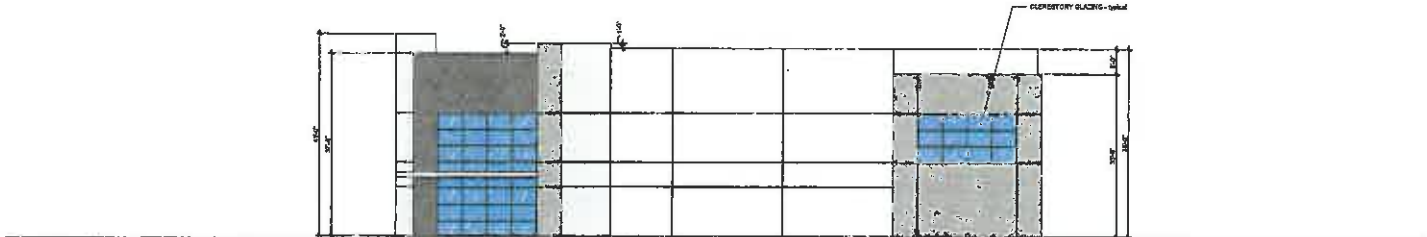
NORTH ELEVATION

	TELOP CONCRETE WALL PANEL
	WALL PANEL, PINK COLOR
	SHIMMY WALLPAPER - 9777 - HIGH REFLECTIVE WHITE
	TELOP CONCRETE WALL PANEL
	WALL PANEL, PINK COLOR
	SHIMMY WALLPAPER - 9771 - GRAY SCREEN
	TELOP CONCRETE WALL PANEL
	WALL PANEL, ACCENT COLOR
	SHIMMY WALLPAPER - 9852 - MEDIUM GRAY
	TELOP CONCRETE WALL PANEL
	WALL PANEL, ACCENT COLOR
	SHIMMY WALLPAPER - 9707 - LOW GRAY
	TERMINATED PANEL MEDIA PERFORMANCE
	PPS VENTILATION PANEL OR GLAZING
	CLERESTORY GLAZING - typical
	34" MEDIA PERFORMANCE
	PPS VENTILATION PANEL OR GLAZING
	CLERESTORY GLAZING - typical

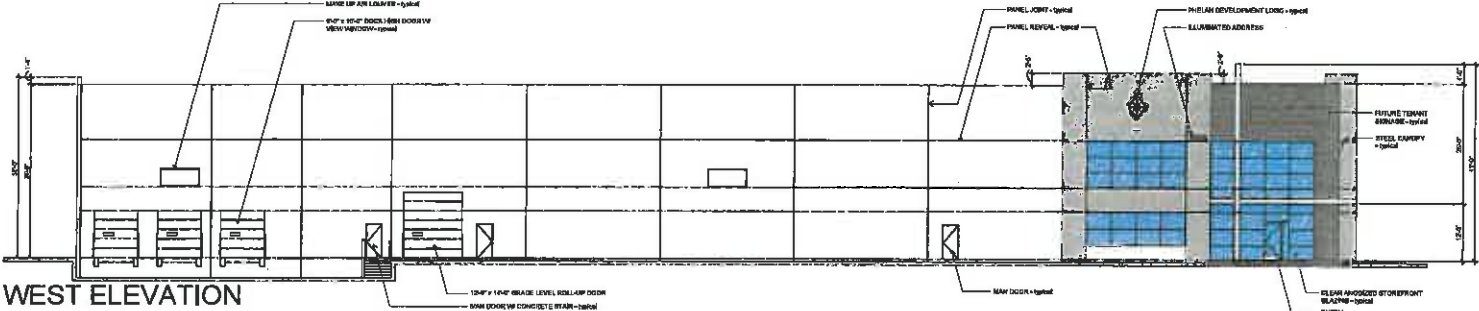
LEGEND



EAST ELEVATION



SOUTH ELEVATION

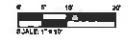


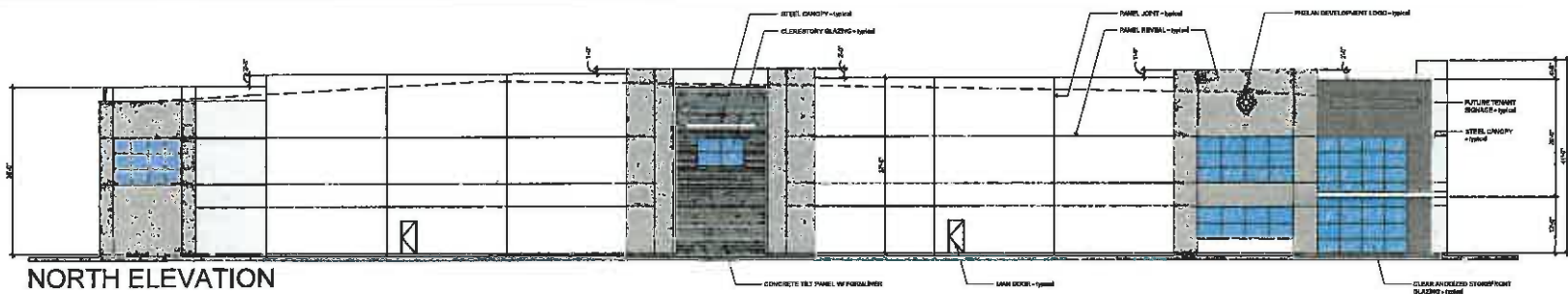
WEST ELEVATION

BUILDING C ELEVATIONS

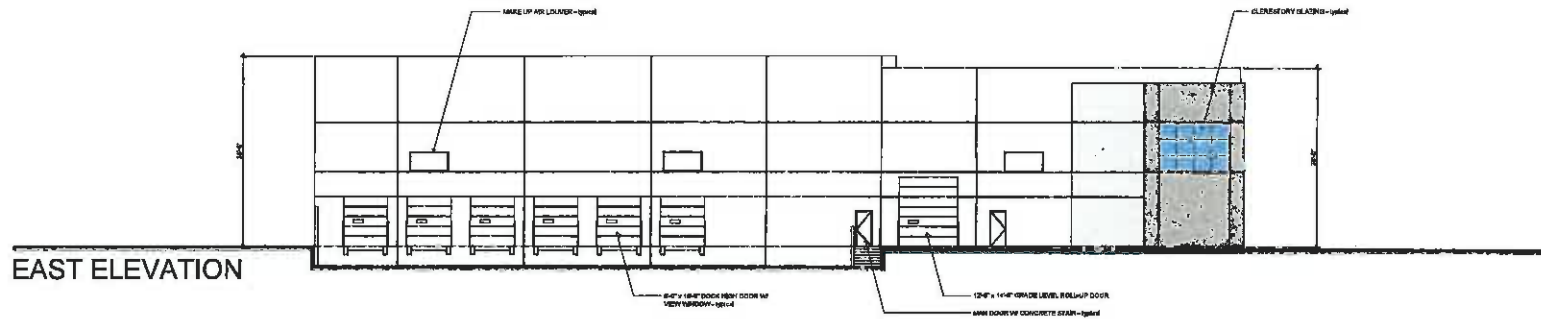
March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California

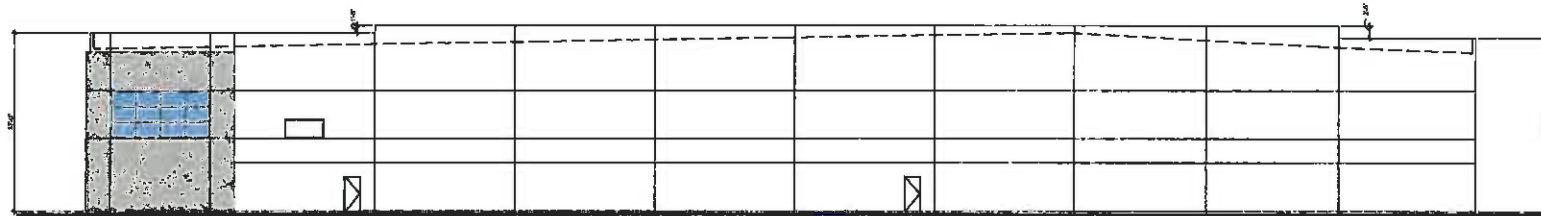




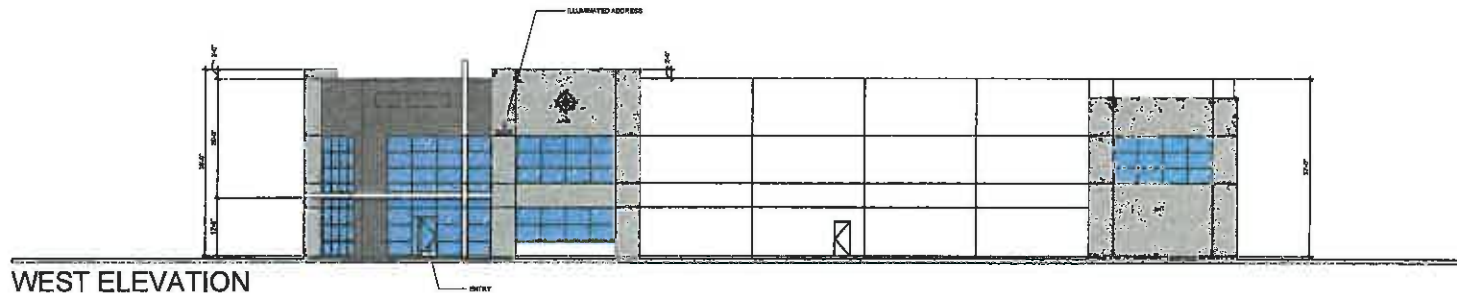
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

LEGEND

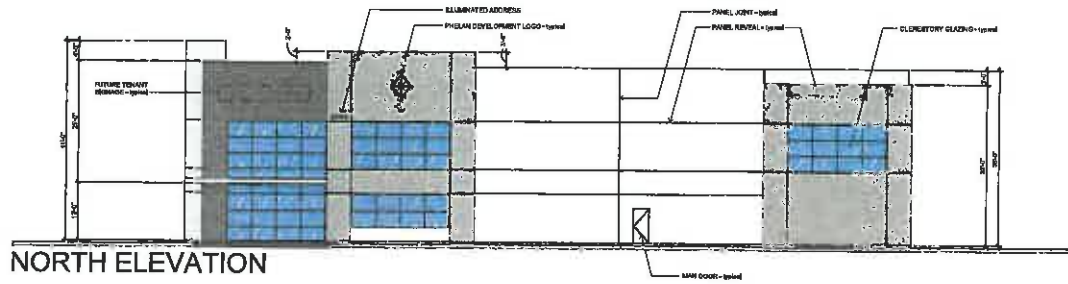
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[Pattern]	TEFLAP CONCRETE WALL PANEL
[Pattern]	WALL PANEL, FILL COLOR
[Pattern]	SHOWER WALLS - HYDRO - GRAY BROWN
[Pattern]	TEFLAP CONCRETE WALL PANEL
[Pattern]	WALL PANEL, ACCENT COLOR
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[Pattern]	SHOWER WALLS - HYDRO - HIGH GRAY
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[Pattern]	6" INSULATED GLAZED UNIT WITH IN PERFORMANCE
[Pattern]	6" INSULATED GLAZED UNIT WITH IN PERFORMANCE
[Pattern]	6" INSULATED GLAZED UNIT WITH IN PERFORMANCE
[Pattern]	6" INSULATED GLAZED UNIT WITH IN PERFORMANCE
[Pattern]	6" INSULATED GLAZED UNIT WITH IN PERFORMANCE
[Pattern]	6" INSULATED GLAZED UNIT WITH IN PERFORMANCE

BUILDING D ELEVATIONS

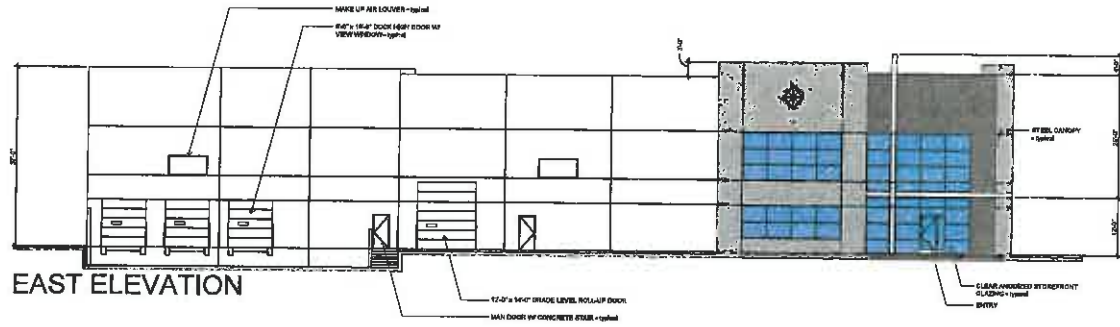
March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California

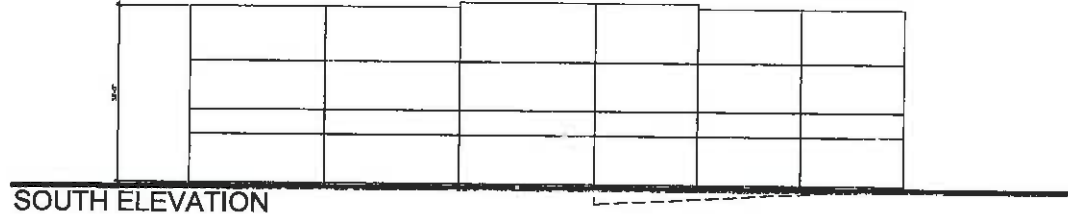




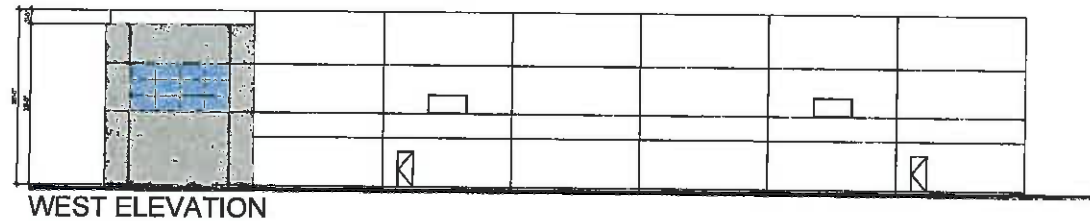
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

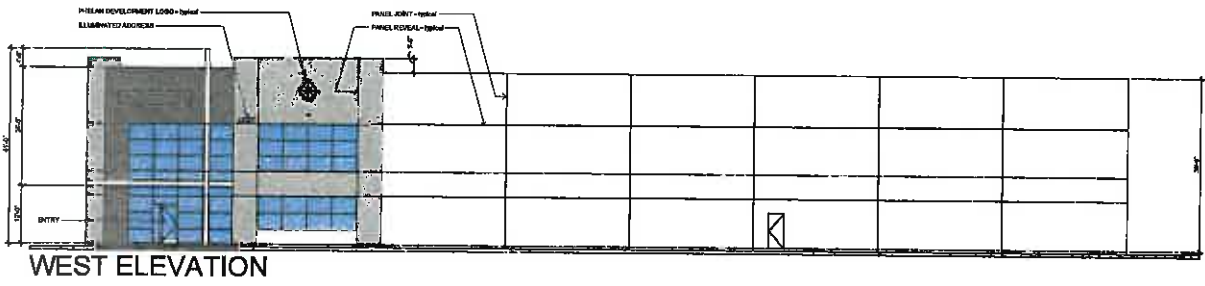
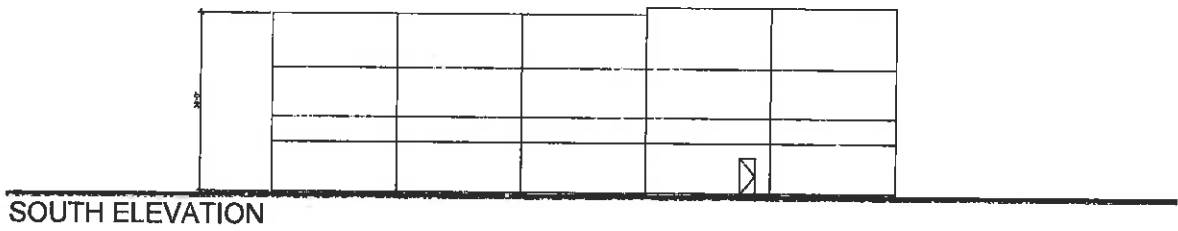
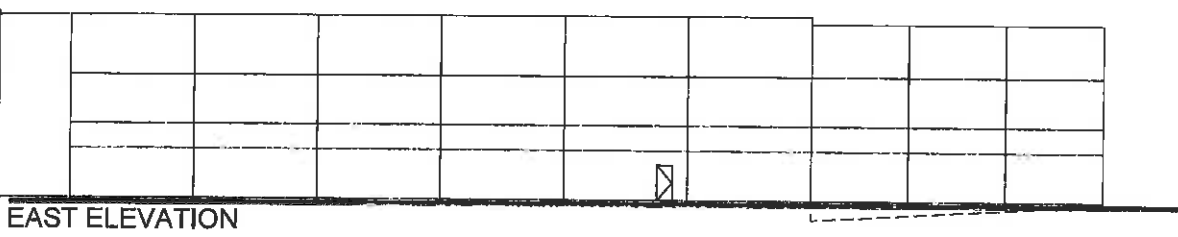
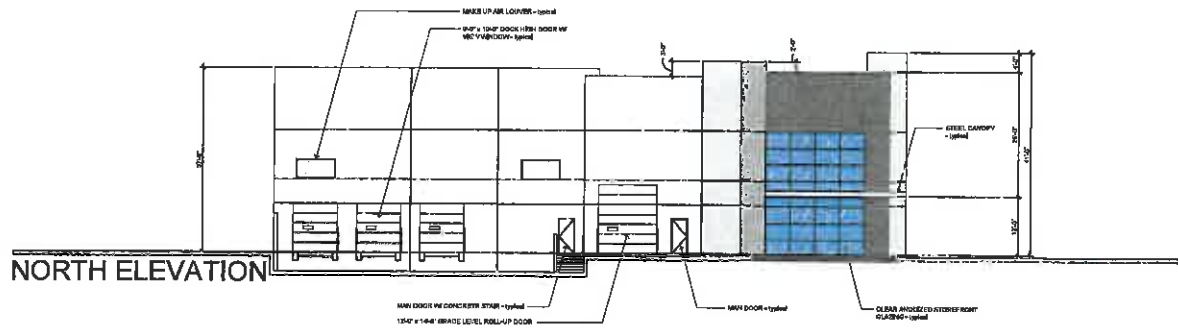
- LEGEND**
- 1. 12'-0" CONCRETE WALL PANEL
 - 2. 12'-0" CONCRETE WALL PANEL
 - 3. 12'-0" CONCRETE WALL PANEL
 - 4. 12'-0" CONCRETE WALL PANEL
 - 5. 12'-0" CONCRETE WALL PANEL
 - 6. 12'-0" CONCRETE WALL PANEL
 - 7. 12'-0" CONCRETE WALL PANEL
 - 8. 12'-0" CONCRETE WALL PANEL
 - 9. 12'-0" CONCRETE WALL PANEL
 - 10. 12'-0" CONCRETE WALL PANEL
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 - 99. 12'-0" CONCRETE WALL PANEL
 - 100. 12'-0" CONCRETE WALL PANEL

BUILDING E ELEVATIONS

March 1, 2021

Old 215 Frontage Road and Bay Avenue
Moreno Valley, California





LEGEND

[Symbol]	TILTUP CONCRETE WALL PANEL WALL PANEL TILED COLOR SERRINI WALLPAPER - #7702 - HIGH REFLECTIVE WHITE
[Symbol]	TILTUP CONCRETE WALL PANEL WALL PANEL TILED COLOR SERRINI WALLPAPER - #7701 - BRAY BROWN
[Symbol]	TILTUP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SERRINI WALLPAPER - #8126 - JEFFSON GRAY
[Symbol]	TILTUP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SERRINI WALLPAPER - #8008 - VICES GRAY
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BUILDING F ELEVATIONS

March 1, 2021

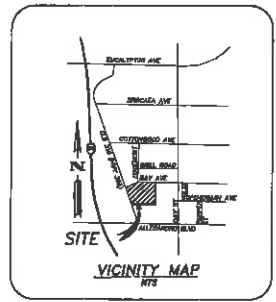
Old 215 Frontage Road and Bay Avenue
Moreno Valley, California



EXISTING EASEMENTS:

- AN EASEMENT FOR POLE LINES, CONDUITS AND INCIDENTAL PURPOSES, RECORDED DECEMBER 21, 1958 IN BOOK 1818 OF OFFICIAL RECORDS, IN FAVOR OF: SOUTHERN SERRAS POWER COMPANY. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (AFFECTS TRACTS 2, 3 AND 4.) BLANKET IN NATURE.
- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 8, 1957 IN BOOK 703 OF OFFICIAL RECORDS, IN FAVOR OF: EDGEMONT RANCH COMPANY, A CALIFORNIA CORPORATION FOR CONSTRUCTION, MAINTENANCE, OPERATION OF PIPES, CONDUITS, POLES, WIRES, BLANKET IN NATURE.
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AUGUST 16, 1927 IN BOOK 728 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT OPERATE OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, MARITAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C) OF THE UNITED STATES CODES OR SECTION 18053 OF THE CALIFORNIA GOVERNMENT CODE, LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. FOR CONSTRUCTION, MAINTENANCE, OPERATION OF PIPES, CONDUITS, POLES, WIRES, BLANKET IN NATURE.
- AN EASEMENT FOR DRAINAGE PIPES, CONDUITS, PIPES, POLES, WIRES AND INCIDENTAL PURPOSES, RECORDED JULY 20, 1959 IN BOOK 771 OF OFFICIAL RECORDS, IN FAVOR OF: EDGEMONT RANCH COMPANY, A CORPORATION FOR CONSTRUCTION, MAINTENANCE, OPERATION OF PIPES, CONDUITS, POLES, WIRES, BLANKET IN NATURE.
- AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 4, 1931 AS BOOK 89 OF OFFICIAL RECORDS, IN FAVOR OF: SOUTHERN SERRAS POWER COMPANY. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (BLANKET IN NATURE. DOCUMENT RETEVESSES THE RIGHT OF WAY OF UNDEVELOPED LOTS WITHIN OTHER ALL EXISTING ELECTRICAL DISTRIBUTION LINES AND APPURTENANCES INSTALLED UNDER U.S. 12119 (EDGEMONT NO. 2) AS GRANTED BY PREVIOUS DOCUMENTS NOT PLOTTED).
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED OCTOBER 10, 1938 AS BOOK 386, PAGE 435 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT OPERATE OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, MARITAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C) OF THE UNITED STATES CODES OR SECTION 18053 OF THE CALIFORNIA GOVERNMENT CODE, LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. FOR CONSTRUCTION, MAINTENANCE, OPERATION OF PIPES, CONDUITS, POLES, WIRES, BLANKET IN NATURE.
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED OCTOBER 30, 1940 AS BOOK 482, PAGE 23 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT OPERATE OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, MARITAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C) OF THE UNITED STATES CODES OR SECTION 18053 OF THE CALIFORNIA GOVERNMENT CODE, LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. FOR CONSTRUCTION, MAINTENANCE, OPERATION OF PIPES, CONDUITS, POLES, WIRES, BLANKET IN NATURE.
- AN EASEMENT FOR RIGHT TO CONSTRUCT, USE, MAINTAIN, ALTER, ADD TO, REPAIR, REPLACE AND/OR REMOVE, A TELEPHONE AND ELECTRIC LINE CONSISTING OF PIPES, NECESSARY CUTS AND ANCHORS, CROSS-ARMS, WIRES, CABLE AND OTHER FITTINGS AND APPURTENANCES FOR CONVEYING ELECTRIC ENERGY TO BE USED FOR COMMUNICATION, TELEPHONE, TELEGRAPH, LIGHT, HEAT, POWER AND/OR OTHER PURPOSES AND INCIDENTAL PURPOSES, RECORDED MARCH 07, 1947 AS BOOK 817 PAGE 880 OF OFFICIAL RECORDS. IN FAVOR OF: CALIFORNIA ELECTRIC POWER COMPANY AND CALIFORNIA WATER AND TELEPHONE COMPANY. APPROXIMATE POSITION PLOTTED HEREON.
- AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED JULY 13, 1940 AS BOOK 983 PAGE 485 OF OFFICIAL RECORDS. IN FAVOR OF: CALIFORNIA ELECTRIC POWER COMPANY. [1" WIDE STRIP EASEMENT, THE NORTHERLY LINE OF WHICH IS COINCIDENT WITH THE SOUTH LINE OF SUBJECT PROPERTY - PLOTTED HEREON].
- AN EASEMENT FOR DRAINAGE PIPES OR CONDUITS AND OTHER MEANS OF CONVEYING WATER AND SEWAGE AND INCIDENTAL PURPOSES, RECORDED APRIL 20, 1945 AS BOOK 1118 PAGE 486 OF OFFICIAL RECORDS. IN FAVOR OF: BOX SPRINGS MUTUAL WATER COMPANY. BLANKET IN NATURE.

OLD 215 INDUSTRIAL CONCEPTUAL GRADING PLAN CITY OF MORENO VALLEY



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

APR: 263-220-008

SHALY PORTION OF LOT 23, EDGEMONT NO. 2, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 16, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT, 72 FEET NORTHEASTERLY FROM THE MOST SOUTHERLY CORNER OF SAID LOT;

THENCE NORTHEASTERLY PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT, 40 FEET;

THENCE NORTHEASTERLY PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT, 103 FEET;

THENCE SOUTHEASTERLY PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT, 40 FEET, TO A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT;

THENCE SOUTHWESTERLY ON THE SOUTHWESTERLY LINE OF SAID LOT, 103 FEET, TO THE POINT OF BEGINNING.

APR: 263-220-027 & 263-220-029

THE SOUTHWESTERLY RECTANGULAR 50 FEET OF LOT 20 AND THE NORTHEASTERLY RECTANGULAR 25 FEET OF LOT 21 OF EDGEMONT NO. 2, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 16, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY.

EXCEPTING THEREFROM THE SOUTHWESTERLY RECTANGULAR 350 FEET THEREOF.

ALSO, ALL THAT PORTION OF LOT 21 OF SAID EDGEMONT NO. 2 LINGING SOUTHEASTERLY OF A LINE DRAWN PARALLEL WITH AND 25 FEET SOUTHWESTERLY OF THE NORTHWESTERLY LINE THEREOF.

EXCEPTING THEREFROM THE SOUTHWESTERLY 72 FEET THEREOF AS CONVEYED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES.

ALSO EXCEPTING THEREFROM THE PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT 21, 178 FEET NORTHEASTERLY FROM THE MOST SOUTHERLY CORNER THEREOF;

THENCE NORTHEASTERLY AND PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 21, 40 FEET;

THENCE SOUTHWESTERLY AND PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 21, 103 FEET;

THENCE SOUTHEASTERLY AND PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 21, 40 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 21;

THENCE NORTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 21, 103 FEET TO THE POINT OF BEGINNING.

APR: 263-220-028

THE SOUTHEASTERLY 80 FEET OF THE SOUTHWESTERLY 300 FEET OF LOT 20 AND THE NORTHEASTERLY 25 FEET OF THE SOUTHWESTERLY 300 FEET OF LOT 21 OF EDGEMONT NO. 2, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 16, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY.

EXCEPTING THEREFROM THE WESTERLY 72 FEET AS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FROM H. E. ERICSON AND WIFE RECORDED IN BOOK 836, PAGE 443, OFFICIAL RECORDS.

APR: 263-220-009

LOT 22 OF EDGEMONT NO. 2, AS SHOWN BY MAP ON FILE IN BOOK 12, PAGE 16 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THE WESTERLY 72 FEET THEREOF, AS CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED APRIL 9, 1942 IN BOOK 532, PAGE 443 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

APR: 263-220-017 & 263-220-018

LOT 24 OF EDGEMONT NO. 2, AS SHOWN BY MAP ON FILE IN BOOK 12, PAGE 16 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPT THEREFROM THE NORTHERLY 260 FEET THEREOF.

APR: 263-220-004

LOT 18 AND THE NORTHEASTERLY RECTANGULAR 65 FEET OF LOT 20 OF EDGEMONT NO. 2, AS SHOWN BY MAP ON FILE IN BOOK 12, PAGE 16 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THE WESTERLY RECTANGULAR 72 FEET THEREOF AS CONVEYED TO STATE OF CALIFORNIA FOR STATE HIGHWAY BY DEED RECORDED MARCH 30, 1942 IN BOOK 534, PAGE 336 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

APR: 263-220-033

LOT 23 OF EDGEMONT NO. 2, AS SHOWN BY MAP ON FILE IN BOOK 12, PAGE 16 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION THEREOF PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHEAST CORNER OF SAID LOT 23, THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT, 60 FEET; THENCE SOUTHWESTERLY AND PARALLEL WITH THE EASTERLY LINE OF SAID LOT, 85 FEET; THENCE EASTERLY AND PARALLEL WITH THE NORTHERLY LINE OF SAID LOT, 60 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 23; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT 23, 82 FEET TO THE POINT OF BEGINNING.

APR: 263-230-002

LOT 25 OF EDGEMONT NO. 2 AS SHOWN BY MAP ON FILE IN BOOK 12, PAGE 16 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THE NORTH 305 FEET OF THE EAST 100 FEET OF SAID LOT 25.

OWNER/APPLICANT

PHILAN DEVELOPMENT COMPANY
420 NEWPORT CENTER DRIVE, STE 403
NEWPORT BEACH, CA 92660
PHONE (949) 537-6859
CONTACT: TARA CHATEL

CIVIL ENGINEER

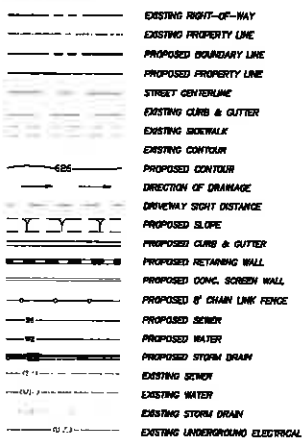
SHAG, INC.
4188 ENTERPRISE CIRCLE NORTH, SUITE 126
TOMBALL, TX 77480
PHONE: (817) 895-8899
CONTACT: DEAN BROOKS

EARTHWORK QUANTITIES

RAW VOLUMES:	EXCAVATION	EMBANKMENT
RAW BORROWAGE (100%):	23,300	2,300
UNDERTERMINATION BORROWAGE (100%):		2,300
SUBSIDENCE (0.1%):		2,300
TOTALS	33,300	24,000

THE ESTIMATE OF EARTHWORK QUANTITIES IS PROVIDED BY THE ENGINEER ONLY FOR THE CONFORMANCE OF THE CONTRACTOR AND DETERMINATION OF PLAN CHECK FEES. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE CONSTRUCTED QUANTITIES BEFORE SUBMITTING A BID.

LEGEND



PROJECT DESCRIPTION

THE PROJECT SITE IS LOCATED ON THE EAST SIDE OF OLD 215 ROAD APPROXIMATELY 500 FEET NORTH OF ALEXSSANDRO BOULEVARD ON 11.48 ACRES OF LAND IN THE CITY OF MORENO VALLEY. THE PROJECT PROPOSES TO CONSTRUCT 8 CONCRETE RT-T-UP INDUSTRIAL BUILDINGS RANGING IN SIZE FROM 23,280 SF TO 50,380 SF.

GENERAL NOTES

- PROPERTY ADDRESS: EAST SIDE OF OLD 215 ROAD APPROXIMATELY 500 FEET NORTH OF ALEXSSANDRO BOULEVARD.
- APR: 263-220-004, 263-220-007, 263-220-008, 263-220-009, 263-220-010, 263-220-006, 263-220-017, 263-220-018, 263-220-004, 263-220-002 & 263-220-003.
- LEGAL DESCRIPTION: SEE LEFT HEREON.
- EXISTING AREAS:**

 - BUILDING A: 50,380 SF
 - BUILDING B: 24,388 SF
 - BUILDING C: 24,750 SF
 - BUILDING D: 44,052 SF
 - BUILDING E: 23,280 SF
 - BUILDING F: 24,280 SF

PROPOSED USE: INDUSTRIAL WAREHOUSE ZONING: THE SUBJECT PROPERTY IS ZONED IP - BUSINESS PARK AND IS LOCATED ON THE AIR INSTALLATION COMPATIBLE USE ZONE (AICUZ), THE FOLLOWING ZONING INFORMATION WAS DETERMINED FROM THE MORENO VALLEY MUNICIPAL CODE - TABLE 8.05.040 - B INDUSTRIAL SITE DEVELOPMENT MINIMUM STANDARDS.

BUILDING SETBACKS: STREET SIDE - 20 FEET

THE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES SHOWN ON FEMA FLOOD INSURANCE RATE MAP 080300749A, WITH AN EFFECTIVE DATE OF JANUARY 28, 2008.

ZONE 1 - FLOOD AREAS - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AERIAL PHOTOGRAPHY PROVIDED BY BALAND AERIAL SURVEYS, INC. PROJECT NO. 20-11992, COMPILED FROM AERIAL PHOTOGRAPHY DATED 05/28/20.

ACCURACY OF AERIAL PHOTOGRAPHY:
HORIZONTAL: 1" = 400'
VERTICAL: 1" = 100' CONTOUR INTERVAL

AND SUPPLEMENT WITH FIELD SURVEY ON 8/12/2020

UTILITY PURVEYORS:

 - CHARTER SPECTRUM (972) 905-8121
 - EASTON MUNICIPAL WATER DIST (951) 835-3777
 - CITY OF MORENO VALLEY (951) 415-3100
 - SC EDISON COMPANY (909) 855-4555
 - SD GAS COMPANY (909) 427-2200
 - RIVERSIDE TRANSIT AGENCY (951) 265-5194
 - UNDERGROUND SERVICE ALERT (800) 227-2600
 - MORENO VALLEY UTILITY ADMINISTRATION (951) 415-3300
 - CROWN CASTLE (909) 632-0831

7. SEE AROUND-RENDERING SITE PLAN FOR LOCATION AND TYPES OF SIGNS.

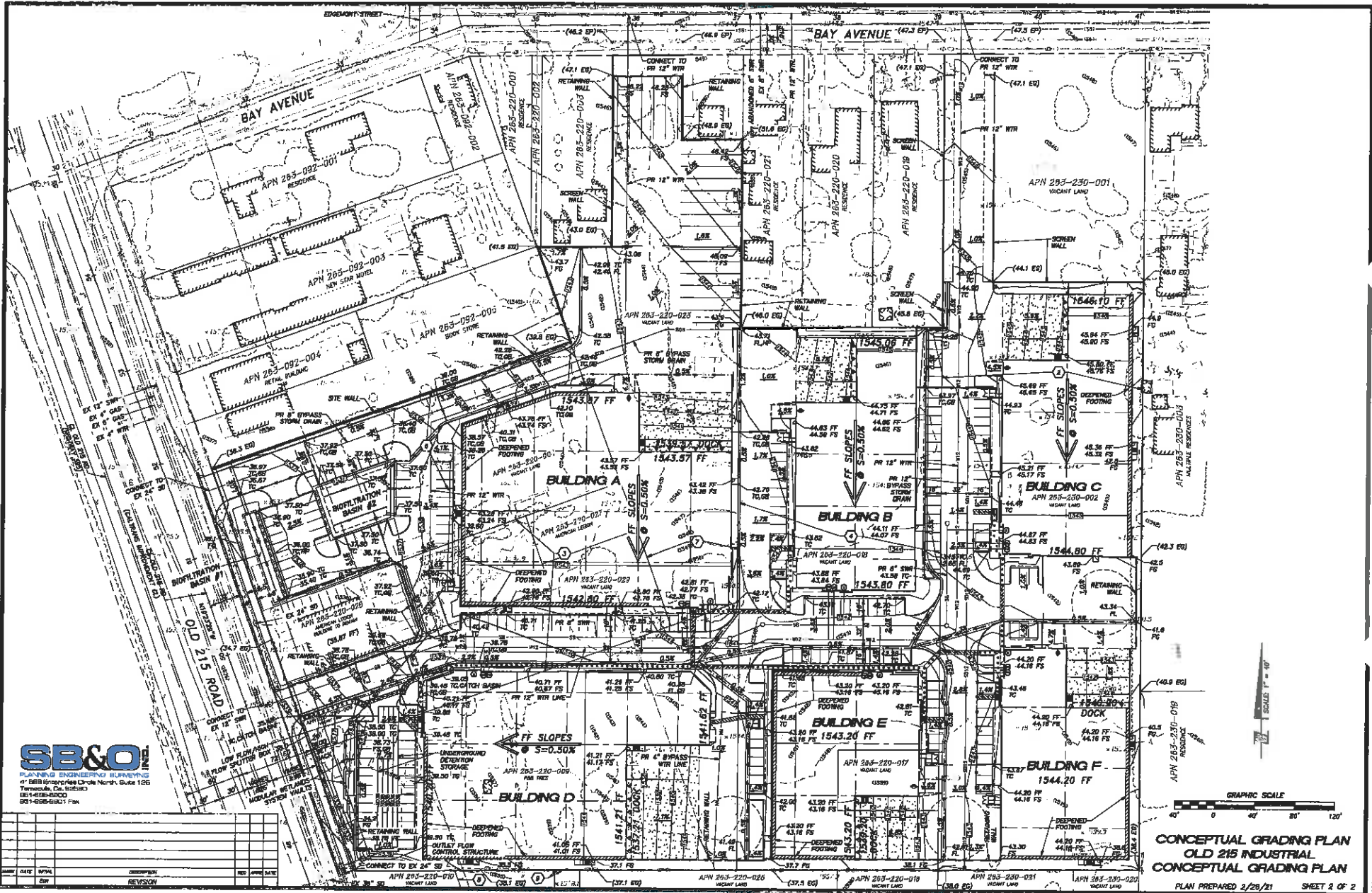
BASIS OF BEARING

BEARING SPOKE HEREON WAS EXCISED UPON THE NORTHEASTERLY LINE OF OLD HIGHWAY 215, SHOWN AS FRONTAGE ROAD ON CALTRANS MONUMENTATION MAP NO. 43671-8 & 9 BEING N273°17'E.

**CONCEPTUAL GRADING PLAN
OLD 215 INDUSTRIAL
TITLE SHEET**

PLAN PREPARED 2/26/21 SHEET 1 OF 2

NO.	DATE	INITIALS	DESCRIPTION	APP'D.	DATE



SB&O
 PLANNING ENGINEERING SURVEYING
 4888 Emmerdale Circle North, Suite 126
 Torrance, CA 90503
 (310) 555-8000
 801-658-8001 Fax

NO.	DATE	BY	DESCRIPTION
1	2/26/21	SB&O	REVISION

**CONCEPTUAL GRADING PLAN
 OLD 215 INDUSTRIAL
 CONCEPTUAL GRADING PLAN**
 PLAN PREPARED 2/26/21 SHEET 2 OF 2

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION
www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Moreno Valley Planning Department should be contacted on non-ALUC issues. For more information please contact City of Moreno Valley Planner Mr. Kirt Coury at (951) 413-3206.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website www.rcaluc.org. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to prull@rivco.org. Individuals with disabilities requiring reasonable modifications or accommodations, please telephone Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: June 10, 2021

TIME OF HEARING: 9:30 A.M.

Pursuant to Executive Order N-25-20, this meeting will be conducted by teleconference and at the Place of Hearing, as listed above. Public access to the meeting location will be allowed, but limited to comply with the Executive Order. Information on how to participate in the hearing will be available on the ALUC website at www.rcaluc.org

CASE DESCRIPTION:

ZAP1469MA21 – Phelan Development Company (Representative: EPD Solutions) – City of Moreno Valley Case No. PEN21-0031 (Plot Plan). A proposal to construct six industrial warehouse buildings totaling 197,401 square feet on 11.46 acres, located northerly of Alessandro Boulevard, easterly of Old 215 Frontage Road, southerly of Bay Avenue, and westerly of Day Street (Airport Compatibility Zones B1-APZ-II and C1 of the March Air Reserve Base/Inland Port Airport Influence Area).



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1469 MAZI DATE SUBMITTED: 4/27/2021

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Phelan Development Company - Alessandro & Old 215 Frontage	Phone Number	949-720-8050
Mailing Address	450 Newport Center Drive, Suite 405	Email	amckinley@phelandevco.com
	Newport Beach, CA 92660		

Representative	EPD Solutions, Inc - Dane Palanjjan	Phone Number	949-794-1188
Mailing Address	2 Park Plaza, Suite 1120	Email	dane@epdsolutions.com
	Irvine, CA 92614		

Property Owner	See attached word document with current owner information.	Phone Number	
Mailing Address		Email	

LOCAL JURISDICTION AGENCY

Local Agency Name	City of Moreno Valley	Phone Number	951-413-3215
Staff Contact	Sean P. Kelleher	Email	seanke@moval.org
Mailing Address	14177 Frederick Street	Case Type	
	Moreno Valley, CA 92553	<input type="checkbox"/> General Plan / Specific Plan Amendment	
		<input type="checkbox"/> Zoning Ordinance Amendment	
Local Agency Project No	PEN21-0031	<input checked="" type="checkbox"/> Subdivision Parcel Map / Tentative Tract	
		<input type="checkbox"/> Use Permit	
		<input checked="" type="checkbox"/> Site Plan Review/Plot Plan	
		<input type="checkbox"/> Other	

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	Along the eastern portion of Old 215 Frontage Road between Bay Avenue and Alessandro Boulevard		
Assessor's Parcel No.	263-220-018, 017, 009, 008, 027, 028, 029, 004, 023, 263-230-002	Gross Parcel Size	11.46 acres
Subdivision Name		Nearest Airport and distance from Airport	Zone B1 - APZ-II
Lot Number			

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	The existing project site primarily consists of vacant/undeveloped land with one structure at the southwest corner of the site. There is minimal vegetation and a few trees scattered throughout the site. No bodies of water are present.
------------------------------	--

ALUC
01-APZ-II
C1 +

Proposed Land Use (describe)	Please see the attached project description.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)		
For Other Land Uses (See Appendix C)	Hours of Operation	TBD	
	Number of People on Site	TBD	Maximum Number TBD
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)		ft.
	Height of buildings or structures (from the ground)		ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	If yes, describe		

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. REVIEW TIME: Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.

C. SUBMISSION PACKAGE:

- 1. Completed ALUC Application Form
- 1. ALUC fee payment
- 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
- 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
- 1. CD with digital files of the plans (pdf)
- 1. Vicinity Map (8.5x11)
- 1. Detailed project description
- 1. Local jurisdiction project transmittal
- 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
- 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. (Only required if the project is scheduled for a public hearing Commission meeting)

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 3.1

HEARING DATE: July 8, 2021

CASE NUMBER: ZAP1041BA21 – City of Banning/Grandave Studios
(Representative: Fernando Huerta)

APPROVING JURISDICTION: City of Banning

JURISDICTION CASE NO: GPA21-2502 (General Plan Amendment), ZC21-3502 (Zone Change), DR21-7001 (Design Review).

LAND USE PLAN: 2004 Banning Airport Land Use Compatibility Plan as amended in 2016

Airport Influence Area: Banning Municipal Airport

Land Use Policy: Airport Compatibility Zones A, B1, B2, C, D

Noise Levels: A portion of the site is located within the 55-65 CNEL contour range, with the rest of the site located outside the 55 CNEL contour

MAJOR ISSUES: The project's average and single acre intensities are inconsistent with all of the underlying Compatibility Zones intensity criteria (except Zone B1 average acre intensity) when the occupancy is calculated using a Type A-1 Assembly occupancy from the State's Building Code which results in 1 person per 15 square feet of movie studio production area. However, if the Commission were to accept the applicant's recommendation of the Type F-1 Factory occupancy for movie studio production areas (1 person per 100 square feet), then the project's average and single acre intensity would be consistent with all underlying Compatibility Zones intensity criteria. The Riverside County Building Official was contacted to provide some insight into the project's occupancy classification and concurs with ALUC staff's usage of Type A-1 occupancy for the movie studio production areas. He believes that the project's intention of "no live audience" is irrelevant when determining occupancy, because there is no way to monitor and enforce audience participation in the future. Lastly, he believes that Type F-1 occupancy for the project is incorrect, as Type F occupancies are for the designation of "assembling, disassembling, fabricating, packaging, and/or processing uses in a building", none of which applies to a movie studio production area.

In addition, the applicant has not yet submitted a complete and successful application to the Federal Aviation Administration Obstruction Evaluation Service (FAA OES) for review of the

proposed building heights. The application that is currently submitted appears to be incomplete by the FAAOES, and not yet in a status of “currently work in progress” (which is the normal standard for ALUC to schedule a project to a public hearing). Therefore, it is staff’s recommendation that the project be continued to the August 12, 2021, meeting, pending a complete and successful application submittal to the FAAOES so they can start reviewing the project.

RECOMMENDATION: Staff recommends that the Commission CONTINUE the matter to the August 12, 2021, meeting, pending a complete application submittal to the Federal Aviation Administration Obstruction Evaluation Service for project review.

PROJECT DESCRIPTION: The applicant proposes to establish a Grandave Movie Studio including 51 buildings (some with mezzanines)-structures totaling 963,465 square feet, to be used as production stages, sound stages, water sound stages, warehouse storage facilities, offices, café, security stations, aircraft hangars, and two outdoor filming areas with building facades on 207.55 net acres (217.84 gross parcel acreage). The applicant also proposes to amend the sites General Plan land use designation and zoning from Public Facilities Airport, Airport Industrial, and Industrial, to Public Facilities, Airport Industrial and Industrial Specific Plan overlay.

PROJECT LOCATION: The site is located southerly of Interstate 10, easterly of Hargrave Avenue, and northerly of Westward Avenue/Charles, northerly, westerly, and southerly of Banning Municipal Airport, in the City of Banning, approximately 190 feet from Runway 8-26 at Banning Municipal Airport.

BACKGROUND:

Non-Residential Average Intensity: Pursuant to the Banning Municipal Airport Land Use Compatibility Plan, the project site is located within Compatibility Zones A (75.34 acres), B1 (13.69 acres), B2 (63.49 acres), C (3.86 acres) and D (51.18 acres). (Approximately 10.29 acres are located within the road right-of-way). Average acre intensity is restricted to 25 people per acre in Zone B1, 100 people per acre in Zone B2, 75 people per acre in Zone C, and 200 people per acre in Zone D (through Banning Special Policy #2.1). No development is proposed in Compatibility Zone A (Runway Protection Zone) or in Zone C. The applicant has indicated that the project’s parcels shall be merged into one parcel. Therefore, the project development footprint acreage used to calculate intensity is based on 132.22 acres.

The “Building Code Method” for calculating intensity utilizes “minimum floor area per occupant” criteria from the Building Code as a factor in projecting intensity. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the following intensities were utilized for the project:

- (Movie studio) Production area – 1 person per 15 square feet,
- Restaurant area – 1 person per 15 square feet,
- Office - 1 person per 200 square feet,

- Manufacturing area – 1 person per 200 square feet,
- Warehouse area – 1 person per 500 square feet,
- Aircraft hangar – 1 person per 500 square feet,

The project proposes 51 buildings-structures totaling 963,465 square feet of building area on a developable footprint of 132.22 acres. This includes 380,000 square feet of movie studio production area (both indoors and outdoors), 296,351 square feet of warehouse area, 249,614 square feet of office area (including two security stations), 35,000 square feet of manufacturing area, and 2,500 square feet of café area, accommodating a total occupancy of 27,521 people, resulting in an average intensity of 208 people per acre for the entire site, which would be inconsistent with all of the underlying Compatibility Zones average acre intensity criteria.

A breakdown of building use by Compatibility Zones indicates the following average acre intensities:

- Zone B1 includes 4,773 square feet of production area, accommodating 318 people, resulting in an average intensity of 23 people per acre, which is consistent with Zone B1 average acre intensity criterion of 25.
- Zone B2 includes 164,947 square feet of production area, 179,055 square feet of warehouse area, and 93,488 square feet of office area, accommodating 11,823 people, resulting in an average intensity of 186 people per acre, which is inconsistent with Zone B2 average acre intensity criterion of 100.
- Zone D includes 210,280 square feet of production area, 117,296 square feet of warehouse area, 156,126 square feet of office area, 35,000 square feet of manufacturing area, and 2,500 square feet of restaurant area, accommodating 15,380 people, resulting in an average intensity of 301 people per acre, which is inconsistent with the Zone D average acre intensity criterion 200.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of standard parking spaces required of 2,217, the total occupancy would be estimated at 3,326 people, resulting in an average intensity of 25 people per acre, which is consistent with all of the underlying Compatibility Zones average acre intensity criteria.

Non-Residential Single-Acre Intensity: Pursuant to the Banning Municipal Airport Land Use Compatibility Plan, the project site is located within Compatibility Zones A, B1, B2, C, and D. Single acre intensity is restricted to 50 people in Zone B1, 200 people in Zone B2, 150 people in Zone C, and 800 people in Zone D (through Banning Special Policy #2.1). No development is proposed in Compatibility Zone A (Runway Protection Zone) or in Zone C.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area by Compatibility Zones are as follows.

- Zone B1 includes 4,773 square feet of production area, accommodating a single-acre occupancy of 318 people, which is inconsistent with the Compatibility Zone B1 criterion of 50.
- Zone B2 includes 20,000 square feet of production area, accommodating a single-acre occupancy of 1,333 people, which is inconsistent with the Compatibility Zone B2 criterion of 200.
- Zone D includes 43,560 square feet of production area, accommodating a single-acre occupancy of 2,904 people, which is inconsistent with the Compatibility Zone D criterion of 800.

Movie Studio Production Area Occupancy Classification: As described above, the project's average and single acre intensities are (mostly) inconsistent with the underlying intensity criteria, largely due to the usage of an assembly type occupancy for the movie studio production areas. Appendix C, Table C1, in the Countywide Plan identifies Assembly Areas (less concentrated uses) as conference rooms, dining rooms, drinking establishments, exhibit rooms, gymnasiums, lounges, and stages, with an occupancy ratio of 1 person per 15 square feet. Although movie studio production is not specifically called out, stages are identified as an assembly type use, and it is staff's position that stages are a similar use to the proposed movie studio production.

ALUC staff has utilized a Type A-1 Assembly occupancy in its intensity calculation, as defined in Section 303 of the California Building Code as:

"Assembly Group A occupancy includes, among others, the use of a building or structure, or a portion thereof, for the gathering of persons for purposes such as civic, social or religious functions; recreation, food or drink consumption or awaiting transportation; motion picture and television production studio sound stages, approved production facilities and production locations; or for the showing of motion pictures when an admission fee is charged and when such building or structure is open to the public and has a capacity of 10 or more persons".

This use is further categorized in Section 303.2:

"Assembly uses, usually with fixed seating, intended for the production and viewing of the performing arts or motion pictures including, but not limited to: Motion picture and television production studio sound stages, approved production facilities and production locations (with live audiences); Motion picture theaters; Symphony and concert halls; Television and radio studios admitting an audience theaters".

The applicant/City of Banning contends that the occupancy for the movie studio production areas should be classified as a Type F-1 Factory occupancy as defined in Section 306 of the California

Building Code as:

“Factory Industrial Group F occupancy includes, among others, the use of a building or structure, or a portion thereof, for assembling, disassembling, finishing, manufacturing, packaging, repair or processing operations that are not classified as a Group H hazardous or Group S storage occupancy”.

This use is further categorized in Section 306.2:

“Factory industrial uses which are not classified as Factory Industrial F-2 Low Hazard shall be classified as F-1 Moderate Hazard and shall include, but not be limited to, the following: Motion picture and television production studio Sound Stages, Approved Production Facilities and production locations (without live audiences)”.

The applicant/City believes that the Type F-1 occupancy is a more accurate representation of the project’s scope, as they are not proposing any live audiences. A Type F-1 occupancy would result in 1 person per 100 square feet of movie studio production area.

The Riverside County Building Official was contacted to provide some insight into the project’s occupancy classification and concurs with ALUC staff’s usage of Type A-1 occupancy for the movie studio production areas. He believes that the project’s intention of “no live audience” is irrelevant when determining occupancy, because there is no way to monitor and enforce audience participation in the future. Lastly, he believes that Type F-1 occupancy for the project is incorrect, as Type F occupancies are for the designation of “assembling, disassembling, fabricating, packaging, and/or processing uses in a building”, none of which applies to a movie studio production area.

ALUC staff has prepared a second set of average acre and single intensity calculations for the project, replacing the original Type A-1 occupancy with the new Type F-1 occupancy (with no other changes to building square footage or use classification) with the following results.

- The total site would accommodate an occupancy of 5,988 people, resulting in an average intensity of 45 people per acre for the entire site, which would be inconsistent with Zone B1 average acre criterion of 25, but consistent with all other Compatibility Zones average acre intensity criteria.

A breakdown of building use by Compatibility Zones indicates the following average acre intensities:

- Zone B1 includes 4,773 square feet of production area, accommodating 48 people, resulting in an average intensity of 4 people per acre, which is consistent with Zone B1 average acre intensity criterion of 25.
- Zone B2 includes 164,947 square feet of production area, 179,055 square feet of warehouse area, and 93,488 square feet of office area, accommodating 2,477 people, resulting in an

average intensity of 39 people per acre, which is consistent with Zone B2 average acre intensity criterion of 100.

- Zone D includes 210,280 square feet of production area, 117,296 square feet of warehouse area, 156,126 square feet of office area, 35,000 square feet of manufacturing area, and 2,500 square feet of restaurant area, accommodating 3,463 people, resulting in an average intensity of 68 people per acre, which is consistent with the Zone D average acre intensity criterion 200.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area by Compatibility Zones are as follows.

- Zone B1 includes 4,773 square feet of production area, accommodating a single-acre occupancy of 48 people, which is consistent with the Compatibility Zone B1 criterion of 50.
- Zone B2 includes 20,000 square feet of production area, accommodating a single-acre occupancy of 200 people, which is consistent with the Compatibility Zone B2 criterion of 200.
- Zone D includes 43,560 square feet of production area, accommodating a single-acre occupancy of 436 people, which is consistent with the Compatibility Zone D criterion of 800.

If the Commission were to accept the applicant's recommendation of the Type F-1 occupancy for movie studio production areas, then the project's intensity would be consistent with all underlying Compatibility Zones average and single acre intensity criteria.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zones A, B1, B2, C or D (children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, highly noise-sensitive outdoor non-residential uses, hazardous materials and hazards to flight), other than the proposed prohibited nonresidential intensity. The project does not propose any development within Compatibility Zone A.

Noise: The Banning Airport Land Use Compatibility Plan depicts the majority of the site as being located within the 55-65 dB CNEL contour range from aircraft, with the rest of the site located outside the 55 dB CNEL contour. (As a note, the proposed outdoor movie studio production sets located in the southeast corner of the site is located outside the 55 dB CNEL contour, and therefore would not be significantly impacted by aircraft noise.) Within the 55-65 dB CNEL contour range, the commercial buildings (office areas, café, security stations) would be marginally acceptable and normally acceptable, and the industrial building (indoor movie production area, warehouse storage buildings, aircraft hangars) would be normally acceptable and clearly acceptable. Staff is recommending a condition to incorporate noise attenuation measures into the design of the proposed indoor buildings to such extent as may be required to ensure that interior noise levels from aircraft operations are at or below 45 dB CNEL.

Part 77: The elevation of Runway 8-26 is approximately 2,110 feet above mean sea level (AMSL) at the easterly end of the runway, and 2,219 feet AMSL at the westerly end of the runway. At a distance of approximately 190 feet from the runway, FAA review would be required for any buildings/structures with peak elevations exceeding 2,111 feet AMSL (at the low end) and 2,220 feet AMSL (at the high end). The project finished floor elevations ranges from 2,086 feet AMSL (at the lowest point) to 2,192 feet AMSL (at the highest point), and the project's maximum building/structure heights ranges from 18 feet to 55 feet. This would result in the project's top point elevation of 2,141 feet AMSL (at the low end) and 2,247 feet AMSL (at the high end) using the maximum building height of 55 feet. (A more detailed analysis of the building heights is provided in the staff report package.) Therefore, review of buildings by the FAA Obstruction Evaluation Service (FAAOES) is required. Submittal to the FAAOES was made and Aeronautical Study Numbers 2021-AWP-9420-OE (off airport buildings) and 2021-AWP-2670-NRA (on airport buildings) were assigned to the project. However, the status of these applications on the FAAOES website is not yet in a "work in progress" status, meaning the application was incomplete. The applicant is aware of this issue and is currently trying to resolve the situation. Therefore, it is staff's recommendation that the project be continued to the August 12, 2021, meeting, pending a complete and successful application submittal to the FAAOES so they can start reviewing the project.

Open Area: Pursuant to the Banning Municipal Airport Land Use Compatibility Plan, the project site is located within Compatibility Zones A (75.34 acres), B1 (13.69 acres), B2 (63.49 acres), C (3.86 acres) and D (51.18 acres). The Compatibility Plan requires projects 10 acres or larger to designate 30% in Zone B1, 20% in Zone C, and 10% in Zone D of project area as ALUC qualifying open area that could potentially serve as emergency landing areas. (Zone A and B2 does not require any open area. The portion of the project located within Zone C is less than 10 acres, and therefore does not require any open area).

Based on the project size located within these Compatibility Zones, the project is required to provide a minimum 9.21 acres of open area consistent with ALUC open area criteria. The applicant has provided a total of 11.5 acres of open area within the drive aisles and parking areas. These areas are conditioned to maintain a minimum shape of 75 feet in width and 300 feet in length, and shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C). The nearest portion of the project is located 190 feet from the runway, and therefore would be subject to the above requirement.

Although the nearest portion of the proposed project is located within 10,000 feet of the runway

(approximately 190 feet), the project utilizes underground infiltration basins which will not contain surface water or attract wildlife and, therefore, would not constitute a hazard to flight.

General Plan Amendment/Change of Zone: The applicant proposes to amend the site's General Plan land use designation and zoning from Public Facilities Airport, Airport Industrial, and Industrial, to Public Facilities, Airport Industrial and Industrial Specific Plan overlay. The proposed amendments would be consistent with the Compatibility Plan as long as the underlying development's intensity is consistent with the compatibility criteria.

It is important to note that the proposed project does not include a review of the specific plan document because it is not yet prepared. Any determination rendered to the proposed project would be in absence of the specific plan document. Any future proposed specific plans would be required to be submitted to ALUC for review.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, buildings with more than two aboveground habitable floors, critical

community infrastructure facilities, and aboveground bulk storage of 6,000 gallons or more of flammable or hazardous materials.

- (f) Highly noise-sensitive outdoor nonresidential uses.
 - (g) Any use which results in a hazard to flight, including physical (e.g. tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. Prior to issuance of building permits, the property owner shall convey an avigation easement to Banning Municipal Airport. Copies of the recorded avigation easement shall be forwarded to the Airport Land Use Commission and to the City of Banning.
 4. The attached "Notice of Airport Vicinity" shall be provided to all prospective purchasers and occupants of the property.
 5. The project has been conditioned to utilize underground detention systems, which shall not contain surface water or attract wildlife. Any other proposed basin would require review and approval by the ALUC. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

6. This project has been evaluated as consisting of 51 buildings-structures totaling 963,465 square feet of building area on a developable footprint of 132.22 acres, including 380,000 square feet of movie studio production area (both indoors and outdoors), 296,351 square feet of warehouse area, 249,614 square feet of office area (including two security stations), 35,000 square feet of manufacturing area, and 2,500 square feet of café area. Any increase in building area, change in use to any higher intensity use, change in building location, or

modification of the project's proposed single parcel area will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.

7. Noise attenuation measures shall be incorporated into the design of the buildings to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 dB CNEL.
8. At least 9.21 acres of ALUC-eligible open areas (at least 75 feet in width and 300 feet in length), as depicted on the Open Space exhibit, a copy of which is attached, shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).
9. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and Banning Airport Manager

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

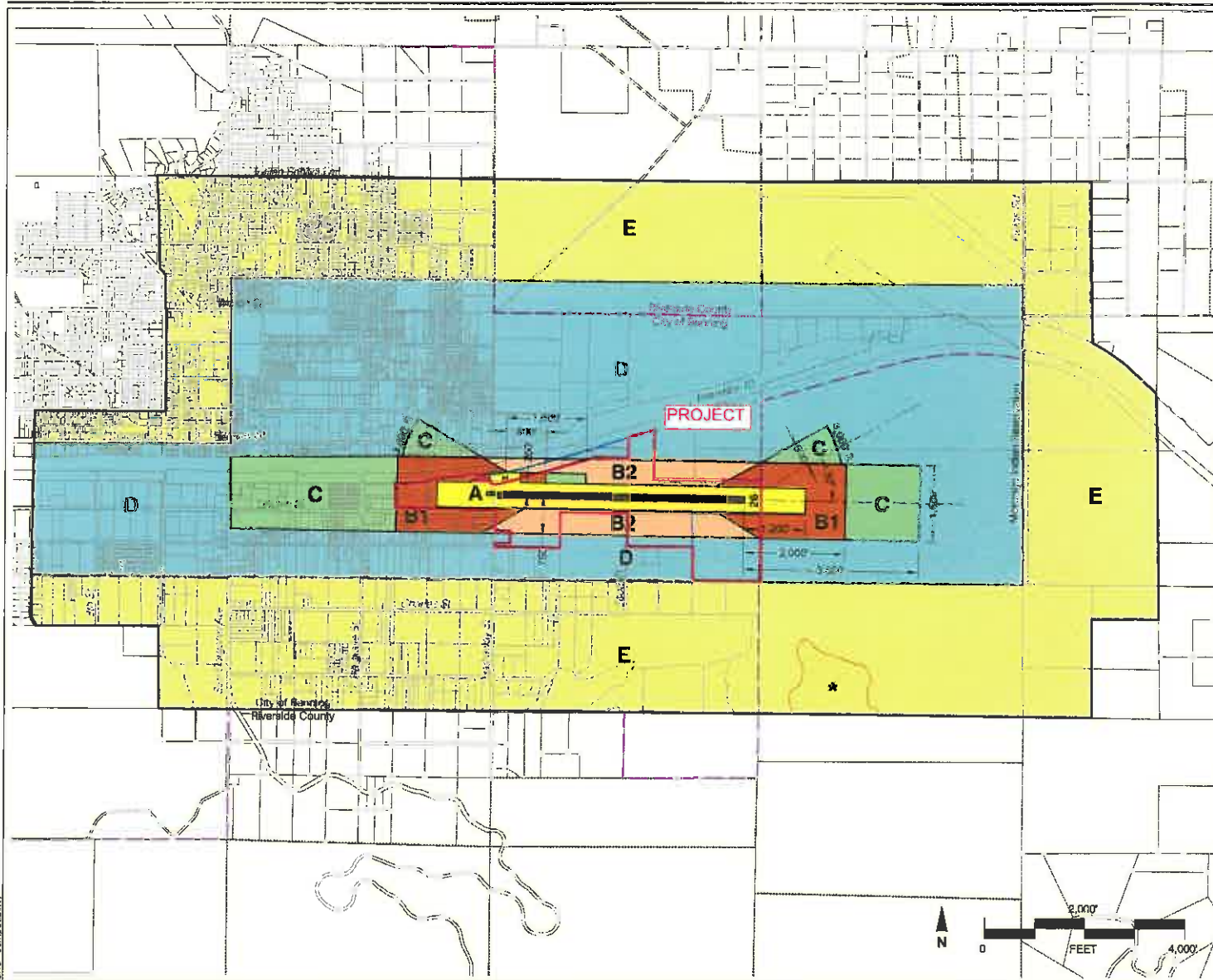
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits
 - Morongo Indian Reservation

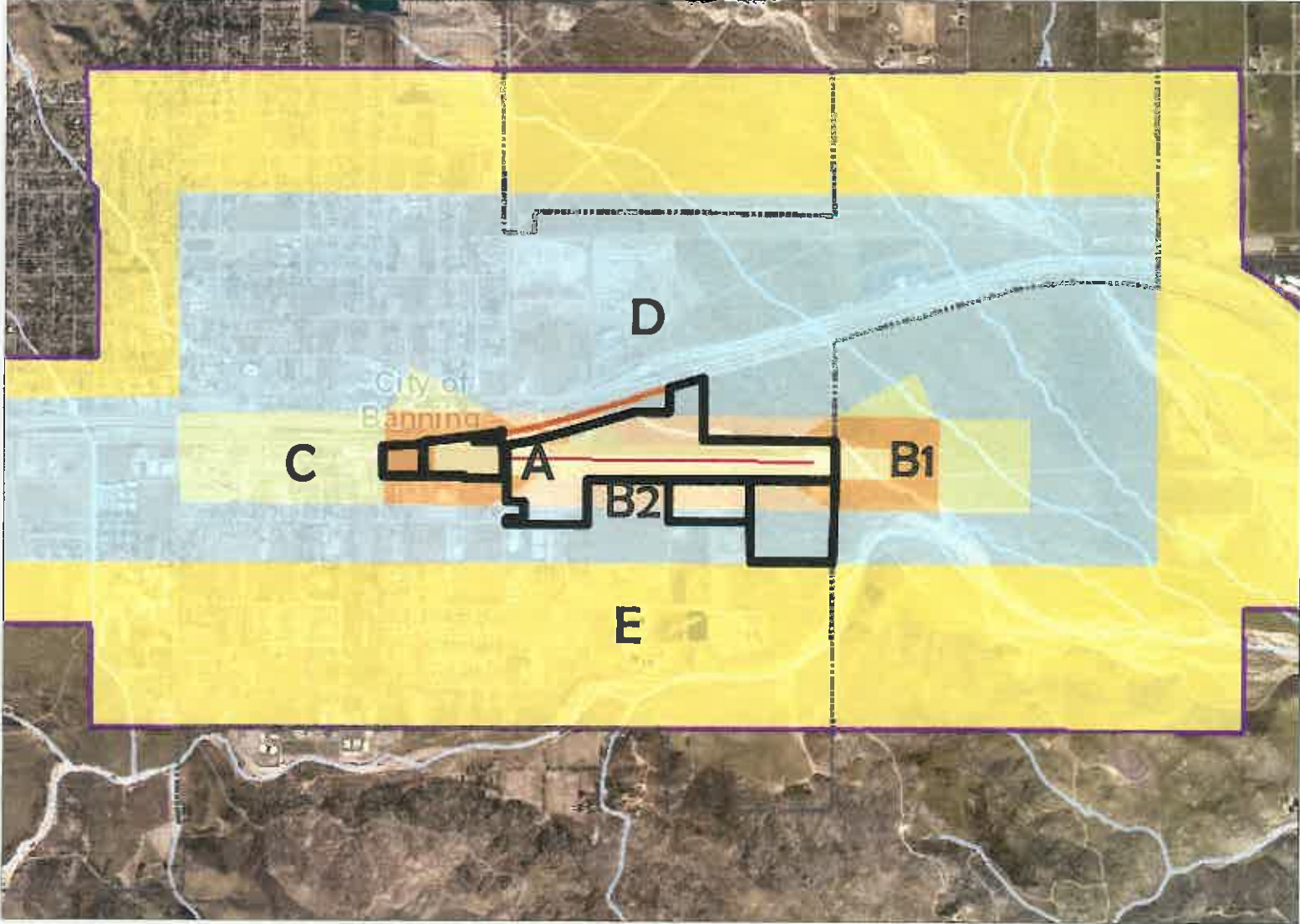
Note
 Dimensions measured from runway ends and centerlines.
 See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
 Airport Land Use Commission
**Riverside County
 Airport Land Use Compatibility Plan
 Policy Document**
 (Adopted October 2004)

Map BN-1

Compatibility Map
 Banning Municipal Airport

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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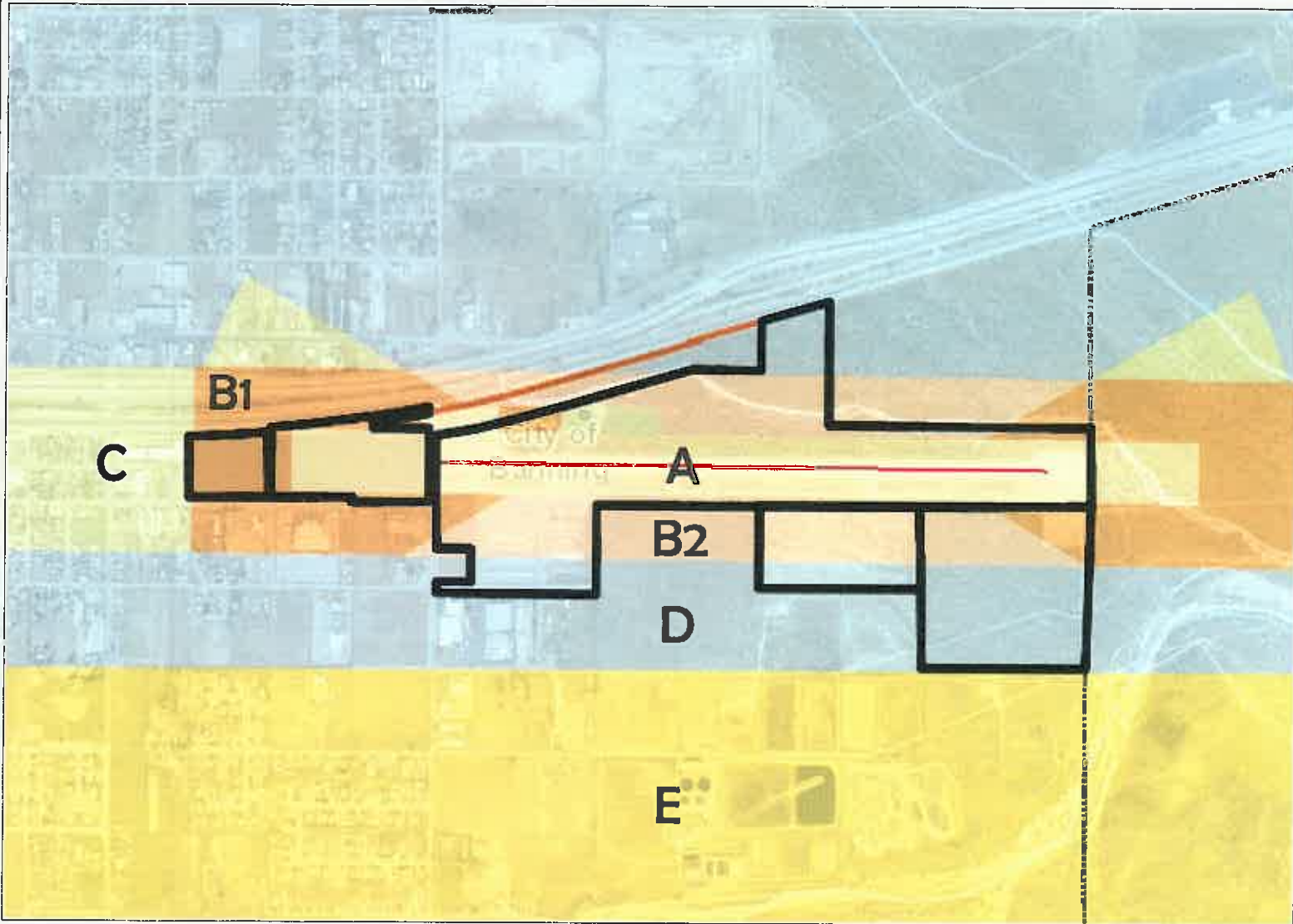


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Notes

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas

Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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Notes

Map My County Map



- Legend**
- Blueline Streams
 - ▣ City Areas
 - World Street Map



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Notes

Map My County Map



Legend

- Blue line icon: Blueline Streams
- Grey rectangle icon: City Areas
- Black outline icon: World Street Map

Notes



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Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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Notes

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Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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Notes

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From: [Klaarenbeek, Rendell](#)
To: [Ruli, Paul](#); [Zerda, Daniel](#)
Subject: RE: Movie Studio Occupancy Calculations (ALUC)
Date: Friday, June 11, 2021 8:30:52 AM
Attachments: [image001.png](#)

Hello Pau,

The promise of no live audiences is not relevant when determining occupant loads as there is no way to monitor that in the future; this is why occupant load factors have been created in the code based on the use, and area square footage. I would *not* support the "F" occupancy classification. Group "F" occupancies are for the designation of assembling, disassembling, fabricating, packaging, and/or processing, uses in a building, none of which applies to a movie/TV studio use. It would be like calling a dog a cat, does not work from what I see.

Movie/television studios, sound stages, production studios, production locations (which may include live audiences) are specifically called out as an A-1 occupancy.

My thoughts,

Rendell Klaarenbeek
Deputy Director of TLMA
Building Official
Riverside County
Building & Safety Department
(951) 955-1833

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From: Ruli, Paul <PRuli@RIVCO.ORG>
Sent: Friday, June 11, 2021 7:25 AM
To: Zerda, Daniel <DZerda@Rivco.org>; Klaarenbeek, Rendell <RKLAAREN@RIVCO.ORG>
Subject: RE: Movie Studio Occupancy Calculations (ALUC)
Importance: High

Good Morning Rendell,

We are just following up with you regarding your take on the applicant's new designation of an 'F1 moderate-hazard factory industrial occupancy', movie studio production without live audience, for their movie studio production area (both indoors and outdoors) at an industrial occupancy rate of 1 person per 100 sq.ft.

1 PERSON PER 15 SQ.FT.

RIVERSIDE COUNTY
OCCUPANCY

Proposed New Building	Occupancy Type	Area (sqft)	Secure Location	Max Occupancy in All Zone
Production 12 (20K sf)	Factory Industrial F-1 - 1/15sf gross	B1	4,773	308
Production 12 (10K sf)	Factory Industrial F-1 - 1/15sf gross	B2	5,227	349
Flex/Warehouse (50K)	Warehouse 1/500 s.f.	B2	46696.41	33
Production Dome 17	Other/Factory Industrial F-1 - 1/15sf gross	B2	20,000	1,333
Security Station (John St. Entrance)	Office 1/200 s.f.	B2	2000	10
Facility Ops (maintenance and facility management)	Office 1/200 s.f.	B2	16,000	80
New Hangar	Aircraft Hangar 1/500 s.f.	B2	15,500	31
2 Story Office 2 (Barbour St. Entrance)	Office 1/200 s.f.	B2	20,000	100
Security Station (Barbour St. Entrance)	Office 1/200 s.f.	B2	2,000	10
Existing Terminal Bldg. (To remain)	Office 1/200 s.f.	B2	1,714	9
Existing Hangar (To remain)	Aircraft Hangar 1/500 s.f.	B2	12,857	26
Existing AVGAS Storage	N/A	B2	0	0
Production 1	Other/Factory Industrial F-1 - 1/15sf gross	B2	20,000	1,333
Flex Warehouse 1	Warehouse 1/500 s.f.	B2	10,000	20
2 Story Office 1	Office 1/200 s.f.	B2	12,000	60
Production 3	Other/Factory Industrial F-1 - 1/15sf gross	B2	20,000	1,333
Flex Warehouse 3	Warehouse 1/500 s.f.	B2	10,000	20
2 Story Office 3	Office 1/200 s.f.	B2	12,000	60
Production 5	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	1,333
Flex Warehouse 5	Warehouse 1/500 s.f.	B2	10,000	20
2 Story Office 5	Office 1/200 s.f.	B3	12,000	60
Production 7	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	1,333
Production 2 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	B2	6,857	457
Flex/Warehouse 2	Warehouse 1/500 s.f.	B2	2,663	18
3 Story Office 2	Office 1/200 s.f.	B2	3,591	18
*3rd story in Zone D only				
Production 4	Other/Factory Industrial F-1 - 1/15sf gross	B2	7,204	480
Flex Warehouse 4	Warehouse 1/500 s.f.	B2	2,774	19
3 Story Office 4	Office 1/200 s.f.	B2	3,657	18
*3rd story in Zone D only				
Production 6	Other/Factory Industrial F-1 - 1/15 s.f.	B2	7,656	510
Flex Warehouse 6	Warehouse 1/500 s.f.	B2	3,143	21
3 Story Office 6	Office 1/200 s.f.	B2	4,230	21
*3rd story only in Zone D				
Production 8	Other/Factory Industrial F-1 - 1/15 s.f.	B2	8,003	534
Flex Warehouse 8	Warehouse 1/500 s.f.	B2	3,253	22
3 Story Office 8	Office 1/200 s.f.	B2	4,296	22
*3rd story only in Zone D				
Mill Warehouse (95k sf)	Warehouse 1/500 s.f.	B2	62,226	125
Production 9	Other/Factory Industrial F-1 - 1/15sf gross	B2	10,000	667
Production 10	Other/Factory Industrial F-1 - 1/15sf gross	B2	10,000	667
Production 13	Other/Factory Industrial F-1 - 1/15sf gross	B2	10,000	667
2 Story Office	Office 1/200 s.f.	D	80,000	533
Production Dome 15	Other/Factory Industrial F-1 - 1/15sf gross	D	30,000	2,000
Production Dome 16	Other/Factory Industrial F-1 - 1/15sf gross	D	20,000	1,333
2 Story Office 1 (Barbour St. Entrance)	Office 1/200 s.f.	D	17,500	88
Water Production 30K sf	Café 1/15 s.f.	D	2,500	167
Other/Factory Industrial F-1 - 1/15sf gross		D	30,000	2,000
Existing Hangar (To remain)	Aircraft Hangar 1/500 s.f.	D	19,826	40
Existing Hangar (To remain)	Aircraft Hangar 1/500 s.f.	D	16,168	32
Production 14	Other/Factory Industrial F-1 - 1/15sf gross (1/15)	D	10,000	667
Residence Set No. 1 through 8 (based on max production footprint)	Other/Factory Industrial F-1 - 1/15sf gross	D	10,000	667
Urban Backlot Sets (based on max production footprint)	Other/Factory Industrial F-1 - 1/15sf gross (1/15)	D	50,000	3,333
Mill/ Warehouse (50K sf)	Warehouse 1/500 s.f.	D	35,000	70
Manufacturing 1/200s.f.		D	15,000	75
Flex Warehouse (50k)	Warehouse 1/500 s.f.	D	3,360.59	7
Production 2 (20K sf)	Other/Factory Industrial F-1 - 1/15sf gross	D	13,143	876
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	D	7,837	16
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	15,009	75
*3rd story in Zone D only				
Production 4 (20K sf)	Other/Factory Industrial F-1 - 1/15sf gross	D	12,796	853
Flex Warehouse/Manufacturing (10.5K sf)	Warehouse 1/500 s.f.	D	7,726	16
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	14,943	75
Production 6 (20K sf)	Other/Factory Industrial F-1 - 1/15sf gross	D	12,344	823
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	D	7,857	15
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	14,370	72
Production 8 (20K sf)	Other/Factory Industrial F-1 - 1/15sf gross	D	11,997	800
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	D	7,247	15
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	14,304	72
*3rd story in Zone D only				
Mill/ Warehouse (95K sf)	Warehouse 1/500 s.f.	D	12,774	26
Manufacturing 1/200s.f.		D	20,000	100
Production 11	Other/Factory Industrial F-1 - 1/15sf	D	10,000	667
				15,380

963,465

27,521

Zone B1 Average Acre Intensity:
318 people/ 13.69 acres = 23 people per acre

Zone B1 Single Acre Intensity:
4,773 sq.ft of Production Area/15 = 318 people

Zone B2 Average Acre Intensity:
11,823 people/ 63.49 acres = 186 people per acre

Zone B2 Single Acre Intensity: 20,000 sq.ft of
production area/15 = 1,333 people

Zone D Average Acre Intensity:
15,380 people/ 51.18 acres = 301 people per acre

Zone D Single Acre Intensity: 43,560 sq ft of production
area (urban backlot)/ 15 = 2,904 people

Whole Site Average Acre Intensity:
24,783 people/ 132 acres = 187 people per acre

1 PERSON PER 100 SQ.FT.
CITY OF BANNING
OCCUPANCY

Proposed Use/Building	Occupancy Type	Fire Code	Area (sq. ft.)	Person Capacity
Production 12 (10K sf)	Factory Industrial F-1 - 1/100sf gross	B1	4,773	47
Production 12 (10K sf)	Factory Industrial F-1 - 1/100sf gross	B2	5,227	52
Flex/Warehouse (50k)	Warehouse 1/500 s.f.	B2	46639.41	93
Production Dome 17	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	200
Security Station (John St. Entrance)	Office 1/200 s.f.	B2	2000	10
Facility Ops (Maintenance and facility management)	Office 1/200 s.f.	B2	16,000	80
New Hangar	Aircraft Hangar 1/500 s.f.	B2	15,500	31
2 Story Office 2 (Barbour St. Entrance)	Office 1/200 s.f.	B2	20,000	100
Security Station (Barbour St. Entrance)	Office 1/200 s.f.	B2	2,000	10
Existing Terminal Bldg. (To remain)	Office 1/200 s.f.	B2	1,714	9
Existing Hangar (To remain)	Aircraft Hangar 1/500 s.f.	B2	12,857	26
Existing AVGAS Storage	N/A	B2	0	0
Production 1	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	200
Flex Warehouse 1	Warehouse 1/500 s.f.	B2	10,000	20
2 Story Office 1	Office 1/200 s.f.	B2	12,000	60
Production 3	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	200
Flex Warehouse 3	Warehouse 1/500 s.f.	B2	10,000	20
2 Story Office 3	Office 1/200 s.f.	B2	12,000	60
Production 5	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	200
Flex Warehouse 5	Warehouse 1/500 s.f.	B2	10,000	20
2 Story Office 5	Office 1/200 s.f.	B2	12,000	60
Production 7	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	200
Production 2 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	B2	6,857	69
Flex/Warehouse 2	Warehouse 1/500 s.f.	B2	2,663	5
3 Story Office 2	Office 1/200 s.f.	B2	3,591	18
*3rd story in Zone D only				
Production 4	Other/Factory Industrial F-1 - 1/100sf gross	B2	7,204	72
Flex Warehouse 4	Warehouse 1/500 s.f.	B2	2,774	6
3 Story Office 4	Office 1/200 s.f.	B2	3,657	18
*3rd story in Zone D only				
Production 6	Other/Factory Industrial F-1 - 1/100 s.f.	B2	7,656	77
Flex Warehouse 6	Warehouse 1/500 s.f.	B2	3,143	6
3 Story Office 6		B2	4,230	21
*3rd story only in Zone D				
Production 8	Other/Factory Industrial F-1 - 1/100 s.f.	B2	8,003	80
Flex Warehouse 8	Warehouse 1/500 s.f.	B2	3,253	7
3 Story Office 8	Office 1/200 s.f.	B2	4,296	22
*3rd story only in Zone D				
Mill Warehouse (95k sf)	Warehouse 1/500 s.f.	B2	62,226	125
Production 9	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	100
Production 10	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	100
Production 13	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	100
2 Story Office	Office 1/200 s.f.	B2	18,000	400
Production Dome 15	Other/Factory Industrial F-1 - 1/100sf gross	D	30,000	300
Production Dome 16	Other/Factory Industrial F-1 - 1/100sf gross	D	20,000	200
2 Story Office 1 (Barbour St. Entrance)	Office 1/200 s.f.	D	17,500	88
Café 1/15 s.f.		D	2,500	167
Water Production 30K sf	Other/Factory Industrial F-1 - 1/100sf gross	B2	30,000	300
Existing Hangar (To remain)	Aircraft Hangar 1/500 s.f.	D	19,826	40
Existing Hangar (To remain)	Aircraft Hangar 1/500 s.f.	D	16,168	32
Production 14	Other/Factory Industrial F-1 - 1/100sf gross (1/15)	D	10,000	100
Residence Set No. 1 through 8 (based on max production footprint)	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	100
Urban Backlot Sets (based on max production footprint)	Other/Factory Industrial F-1 - 1/100sf gross (1/15)	B2	50,000	500
Mill/Warehouse (50K sf)	Warehouse 1/500 s.f.	D	35,000	70
Flex Warehouse (50k)	Manufacturing 1/200s.f.	D	15,000	75
Production 2 (20K sf)	Warehouse 1/500 s.f.	D	3,360.59	7
Production 2 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	D	13,143	131
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	D	7,837	16
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	15,009	75
*3rd story in Zone D only				
Production 4 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	D	12,796	128
Flex Warehouse/Manufacturing (10.5K sf)	Warehouse 1/500 s.f.	D	7,726	16
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	14,943	75
Production 6 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	D	12,344	123
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	D	7,357	15
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	14,370	72
Production 8 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	D	11,997	120
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	D	7,247	15
3 Story Office (18,600K sf)	Office 1/200 s.f.	D	14,304	72
*3rd story in Zone D only				
Mill/Warehouse (95K sf)	Warehouse 1/500 s.f.	D	12,774	26
Production 11	Manufacturing 1/200s.f.	D	20,000	100
Production 11	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	100

963,465

5,988

Zone B1 Average Acre Intensity:
48 people/ 13.69 acres = 4 people per acre

Zone B1 Single Acre Intensity:
4,773 sq ft of Production Area = 48 people

Zone B2 Average Acre Intensity:
2,477 people/ 63.49 acres = 39 people per acre

Zone B2 Single Acre Intensity: 20,000 sq.ft of
production area/100 = 200 people

Zone D Average Acre Intensity:
3,463 people/ 51.18 acres = 68 people per acre

Zone D Single Acre Intensity: 43,560 sq ft of production
area (urban backlot)/ 100 = 436 people

Whole Site Average Acre Intensity:
5,988 people/ 132 acres = 45 people per acre

BREAKDOWN BY USE
BUILDING SQUARE FOOTAGE

Proposed Use/Building	Occupancy Type	ALUC Zone(s)	Square Footage by ALUC ZONE	Use Type Square Footages
2 Story Office 1 (Barbour St. Entrance)	Cafe 1/15 s.f.	D	2,500	
Mill/Warehouse (50K sf)	Manufacturing 1/200s.f.	D	15,000	
Mill/Warehouse (95K sf)	Manufacturing 1/200s.f.	D	20,000	
Existing AVGAS Storage	N/A	B2	0	
Security Station (John St. Entrance)	Office 1/100 s.f.	B2	16,000	
Facility Ops (maintenance and facility management)	Office 1/100 s.f.	B2	16,000	
2 Story Office 2 (Barbour St. Entrance)	Office 1/100 s.f.	B1	2,000	Café Area: 2,500 sq.ft
Security Station (Barbour St. Entrance)	Office 1/100 s.f.	B2	2,000	
Existing Terminal Bldg. (To remain)	Office 1/100 s.f.	B1	4,334	
2 Story Office 1	Office 1/100 s.f.	B2	12,000	Manufacturing Area: 35,000 sq.ft
2 Story Office 3	Office 1/100 s.f.	B2	12,000	
2 Story Office 5	Office 1/100 s.f.	B3	12,000	
3 Story Office 2	Office 1/100 s.f.	B1	3,581	Office Area: 249,614 sq.ft
3 Story Office 4	Office 1/100 s.f.	B2	3,657	
*3rd story in Zone D only	Office 1/100 s.f.	B1	4,334	
3 Story Office 6	Office 1/100 s.f.	B2	4,296	Production Area: 380,000 sq.ft
*3rd story only in Zone D	Office 1/100 s.f.	B2	4,296	
3 Story Office 8	Office 1/100 s.f.	D	80,000	
*3rd story only in Zone D	Office 1/100 s.f.	D	80,000	
2 Story Office	Office 1/100 s.f.	D	17,500	Warehouse Area: 296,351
2 Story Office 1 (Barbour St. Entrance)	Office 1/100 s.f.	D	17,500	
3 Story Office (18,600K sf)	Office 1/100 s.f.	D	15,009	
*3rd story in Zone D only	Office 1/100 s.f.	D	14,943	
3 Story Office (18,600K sf)	Office 1/100 s.f.	D	14,943	
3 Story Office (18,600K sf)	Office 1/100 s.f.	D	14,570	
*3rd story in Zone D only	Office 1/100 s.f.	D	14,304	
3 Story Office (18,600K sf)	Office 1/100 s.f.	D	14,304	
*3rd story in Zone D only	Office 1/100 s.f.	D	14,304	
Production 12 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	B1	4,773	
Production 12 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	B1	4,773	
Production Dome 17	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	
Production 1	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	
Production 3	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	
Production 5	Other/Factory Industrial F-1 - 1/100sf gross	B2	20,000	
Production 7	Other/Factory Industrial F-1 - 1/100sf gross	B2	6,857	
Production 2 (20K sf)	Other/Factory Industrial F-1 - 1/100sf gross	B2	6,857	
Production 4	Other/Factory Industrial F-1 - 1/100sf gross	B2	7,000	
Production 9	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	
Production 10	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	
Production 13	Other/Factory Industrial F-1 - 1/100sf gross	B2	10,000	
Production Dome 15	Other/Factory Industrial F-1 - 1/100sf gross	D	30,000	
Production Dome 16	Other/Factory Industrial F-1 - 1/100sf gross	D	20,000	
Water Production 30K sf	Other/Factory Industrial F-1 - 1/100sf gross	D	30,000	
Residence Set No. 1 through 8 (leased)	Other/Factory Industrial F-1 - 1/100sf	D	10,000	
Production 2 (20K sf)	Other/Factory Industrial F-1 - 1/100sf	D	13,143	
Production 4 (20K sf)	Other/Factory Industrial F-1 - 1/100sf	D	12,796	
Production 6 (20K sf)	Other/Factory Industrial F-1 - 1/100sf	D	12,344	
Production 8 (20K sf)	Other/Factory Industrial F-1 - 1/100sf	D	11,997	
Production 11	Other/Factory Industrial F-1 - 1/100sf	D	10,000	
Production 14	Other/Factory Industrial F-1 - 1/100sf	D	10,000	
Urban Backlots (based on max production footprint)	Other/Factory Industrial F-1 - 1/100sf gross (1/15)	D	50,000	
Production 8	Other/Factory Industrial F-1 - 1/100 s.f.	B2	8,003	
Production 6	Other/Factory Industrial F-1 - 1/100 s.f.	B1	7,656	
Flex/Warehouse (50k)	Warehouse 1/500 s.f.	B2	48639.41	
Flex Warehouse 1	Warehouse 1/500 s.f.	B2	10,000	
Flex Warehouse 3	Warehouse 1/500 s.f.	B2	10,000	
Flex Warehouse 5	Warehouse 1/500 s.f.	B2	10,000	
Flex/Warehouse 2	Warehouse 1/500 s.f.	B2	2,663	
Mill/Warehouse (50K sf)	Warehouse 1/500 s.f.	B2	11,181	
Flex Warehouse (50k)	Warehouse 1/500 s.f.	B2	3,360.59	
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	B2	7,837	
Flex Warehouse/Manufacturing (10.5K sf)	Warehouse 1/500 s.f.	D	7,726	
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	B2	7,357	
Flex Warehouse (10.5K sf)	Warehouse 1/500 s.f.	D	7,247	
Mill/Warehouse (95K sf)	Warehouse 1/500 s.f.	D	12,774	
Flex Warehouse 4	Warehouse 1/500 s.f.	B2	1,796	
Flex Warehouse 6	Warehouse 1/500 s.f.	B2	1,155	
Flex Warehouse B	Warehouse 1/500 s.f.	B2	3,253	
Mill Warehouse (95k sf)	Warehouse 1/500 s.f.	B2	15,500	
New Hangar	Warehouse Aircraft Hangar 1/500 s.f.	B2	15,500	
Existing Hangar (To remain)	Warehouse Aircraft Hangar 1/500 s.f.	B2	15,500	
Existing Hangar (To remain)	Warehouse Aircraft Hangar 1/500 s.f.	B2	19,826	
Existing Hangar (To remain)	Warehouse Aircraft Hangar 1/500 s.f.	B2	16,168	

Section 303 Assembly Group A

303.1 Assembly Group A

Assembly Group A occupancy includes, among others, the use of a building or structure, or a portion thereof, for the gathering of persons for purposes such as civic, social or religious functions; recreation, food or drink consumption or awaiting transportation; *motion picture and television production studio sound stages, approved production facilities and production locations; or for the showing of motion pictures when an admission fee is charged and when such building or structure is open to the public and has a capacity of 10 or more persons.*

303.1.1 Small Buildings and Tenant Spaces

A building or tenant space used for assembly purposes with an occupant load of less than 50 persons shall be classified as a Group B occupancy.

303.1.2 Small Assembly Spaces

The following rooms and spaces shall not be classified as Assembly occupancies:

1. A room or space used for assembly purposes with an occupant load of less than 50 persons and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy.
2. A room or space used for assembly purposes that is less than 750 square feet (70 m²) in area and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy.

303.1.3 Associated With Group E Occupancies

A room or space used for assembly purposes that is associated with a Group E occupancy is not considered a separate occupancy.

303.1.4 Accessory to Places of Religious Worship

Accessory religious educational rooms and religious auditoriums with occupant loads of less than 100 per room or space are not considered separate occupancies.

303.2 Assembly Group A-1

Assembly uses, usually with fixed seating, intended for the production and viewing of the performing arts or motion pictures including, but not limited to:

Motion picture and television production studio sound stages, approved production facilities and production locations.
(with live audiences).

Motion picture theaters

Symphony and concert halls

Television and radio studios admitting an audience Theaters

303.3 Assembly Group A-2

Assembly uses intended for food and/or drink consumption including, but not limited to:

Banquet halls

Casinos (gaming areas)

Nightclubs

Restaurants, cafeterias and similar dining facilities (including associated commercial kitchens)

Taverns and bars

303.4 Assembly Group A-3

Assembly uses intended for worship, recreation or amusement and other assembly uses not classified elsewhere in Group A including, but not limited to:

- Amusement arcades
- Art galleries
- Bowling alleys
- Community halls
- Courtrooms
- Dance halls (not including food or drink consumption)
- Exhibition halls
- Funeral parlors
- Gymnasiums (without spectator seating)
- Indoor swimming pools (without spectator seating)
- Indoor tennis courts (without spectator seating)
- Lecture halls
- Libraries
- Museums
- Places of religious worship
- Pool and billiard parlors
- Waiting areas in transportation terminals

303.5 Assembly Group A-4

Assembly uses intended for viewing of indoor sporting events and activities with spectator seating including, but not limited to:

- Arenas
- Skating rinks
- Swimming pools
- Tennis courts

303.6 Assembly Group A-5

Assembly uses intended for participation in or viewing outdoor activities including, but not limited to:

- Amusement park structures
- Bleachers
- Grandstands
- Stadiums

303.7 Fixed Guideway Transit Systems

[SFM] *Fixed guideway transit system buildings shall conform to the requirements of this code for their occupancy classification in addition to the provisions set forth in Section 443.*

303.8 Subterranean Spaces for Winery Facilities in Natural or Manmade Caves

[SFM] *For fire and life safety requirements, see Section 446.*

Section 306 Factory Group F

306.1 Factory Industrial Group F

Factory Industrial Group F occupancy includes, among others, the use of a building or structure, or a portion thereof, for assembling, disassembling, fabricating, finishing, manufacturing, packaging, repair or processing operations that are not classified as a Group H hazardous or Group S storage occupancy.

306.2 Moderate-Hazard Factory Industrial, Group F-1

Factory industrial uses which are not classified as Factory Industrial F-2 Low Hazard shall be classified as F-1 Moderate Hazard and shall include, but not be limited to, the following:

Aircraft (manufacturing, not to include repair)

Appliances

Athletic equipment

Automobiles and other motor vehicles

Bakeries

Beverages: over 16-percent alcohol content

Bicycles

Boats

Brooms or brushes

Business machines

Cameras and photo equipment

Canvas or similar fabric

Carpets and rugs (includes cleaning)

Clothing

Construction and agricultural machinery

Disinfectants

Dry cleaning and dyeing

Electric generation plants

Electronics

Engines (including rebuilding)

Food processing establishments and commercial kitchens not associated with restaurants, cafeterias and similar dining facilities not more than 2,500 square feet (232 m²) in area.

Furniture

Hemp products

Jute products

Laundries

Leather products

Machinery

Metals

Millwork (sash and door)

[SFM] Motion picture and television production studio Sound Stages, Approved Production Facilities and production locations (without live audiences)

Musical instruments

Optical goods

Paper mills or products

Photographic film

Plastic products

Printing or publishing

Recreational vehicles

Refuse incineration

Shoes

Soaps and detergents

Textiles

Tobacco

Trailers

Upholstering

Wood; distillation

Woodworking (cabinet)

306.3 Low-Hazard Factory Industrial, Group F-2

Factory industrial uses that involve the fabrication or manufacturing of noncombustible materials which during finishing, packing or processing do not involve a significant fire hazard shall be classified as F-2 occupancies and shall include, but not be limited to, the following:

Beverages: up to and including 16-percent alcohol content

Brick and masonry

Ceramic products

Foundries

Glass products

Gypsum

Ice

Metal products (fabrication and assembly)

<u>Use</u>	<u>Minimum Square Feet per Occupant</u>
1. Aircraft Hangars (no repair)	500
2. Auction Rooms	7
3. Assembly Areas, Concentrated Use (without fixed seats)	7
Auditoriums	
Churches and Chapels	
Dance Floors	
Lobby Accessory to Assembly Occupancy	
Lodge Rooms	
Reviewing Stands	
Stadiums	
Waiting Areas	3
4. Assembly Areas, Less Concentrated Use	15
Conference Rooms	
Dining Rooms	
Drinking Establishments	
Exhibit Rooms	
Gymnasiums	
Lounges	
Stages	
Gaming	11
5. Bowling Alley (assume no occupant load for bowling lanes)	4
6. Children's Homes and Homes for the Aged	80
7. Classrooms	20
8. Congregate Residences	200
9. Courtrooms	40
10. Dormitories	50
11. Dwellings	300
12. Exercising Rooms	50
13. Garage, Parking	200
14. Health-Care Facilities	80
Sleeping Rooms	120
Treatment Rooms	240
15. Hotels and Apartments	200
16. Kitchen – Commercial	200
17. Library Reading Room	50
Stack Areas	100
18. Locker Rooms	50
19. Malls	Varies
20. Manufacturing Areas	200
21. Mechanical Equipment Room	300
22. Nurseries for Children (Daycare)	35
23. Offices	100
24. School Shops and Vocational Rooms	50
25. Skating Rinks	50 on the skating area; 15 on the deck
26. Storage and Stock Rooms	300
27. Stores — Retail Sales Rooms	
Basements and Ground Floors	30
Upper Floors	60
28. Swimming Pools	50 for the pool area; 15 on the deck
29. Warehouses	500
30. All Others	100

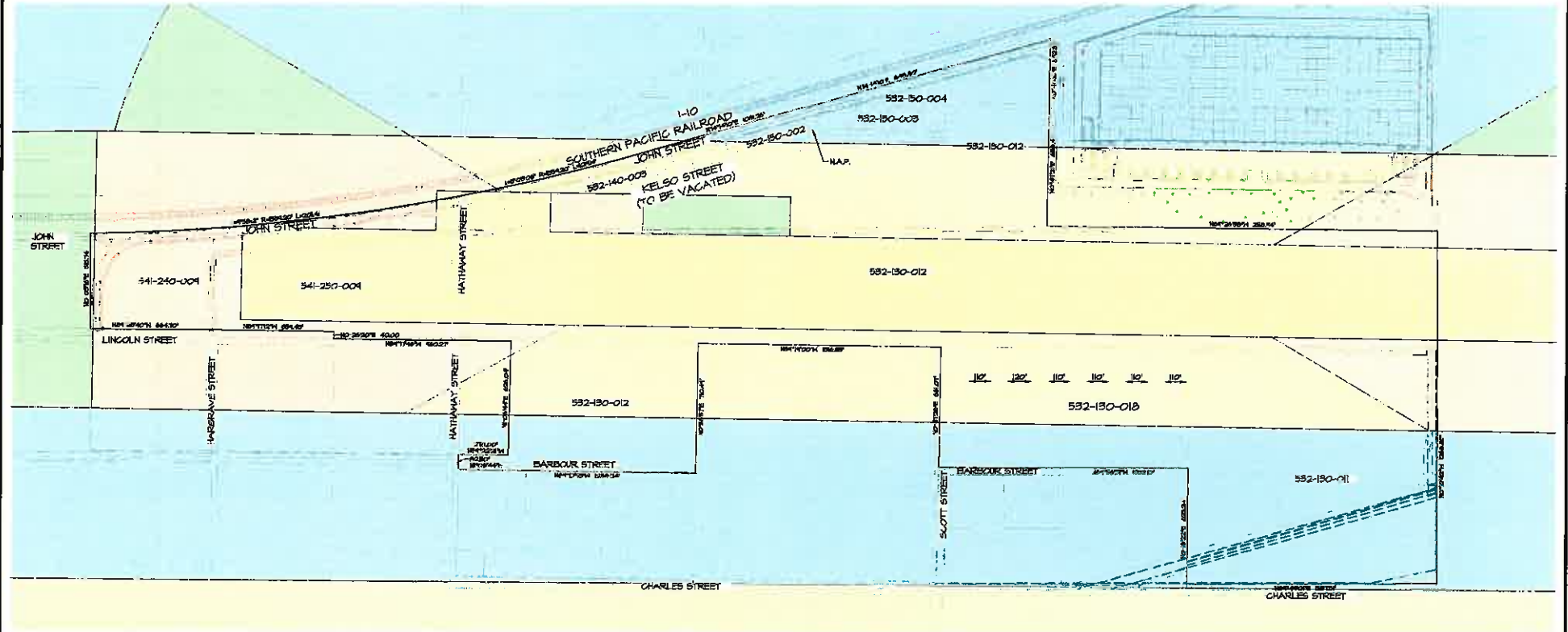
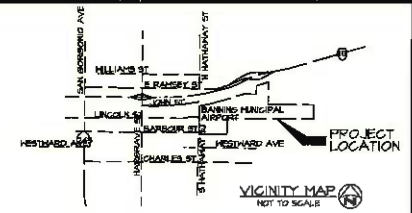
Source: California Building Code (1998), Table 10-A

Table C1

Occupancy Levels—California Building Code

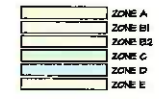
Proposed Use/Building	Finished Floor Elevation	Height	Distance to Runway	FAA REVIEW REQUIRED Y/N
2 Story Office	2178	35	746	Y
Production Dome 15	2178	55	913	Y
Production Dome 16	2170	55	668	Y
Flex Warehouse	2172	35	397	Y
Production Dome 17	2165	55	419	Y
Water Production	2178	55	751	Y
Security Station (John St. Entrance)	2186	18	409	Y
Facility Ops	2190	30	531	N
New Hangar	2192	30	137	Y
2 Story Office 2 (Barbour St. Entrance)	2190	35	303	N
2 Story Office 1 (Barbour St. Entrance)	2184	35	545	N
Security Station (Barbour St. Entrance)	2186	18	449	Y
Existing Terminal Bldg. (1,714 sf)	N/A -Existing	N/A	N/A	N/A
Existing Hangar (12,857 sf)	N/A -Existing	N/A	N/A	N/A
Existing Hangar (19,826 sf)	N/A -Existing	N/A	N/A	N/A
Existing Hangar (16,168 sf)	N/A -Existing	N/A	N/A	N/A
Production 1	2146	55	193	Y
Flex Warehouse 1	2142	50	192	Y
Office 1	2142	50	216	Y
Production 2	2144	55	456	Y
Flex Warehouse 2	2143	50	476	Y
Office 2	2143	50	476	Y
Production 3	2142	55	190	Y
Flex Warehouse 3	2140	50	191	Y
Office 3	2140	50	215	Y
Production 4	2138	55	452	Y
Flex Warehouse 4	2139	50	476	Y
Office 4	2139	50	476	Y
Production 5	2125	55	188	Y
Flex Warehouse 5	2120	50	187	Y
Office 5	2120	50	211	Y
Production 6	2123	55	449	Y
Flex Warehouse 6	2122	50	478	Y
Office 6	2122	50	478	Y
Production 7	2118	55	185	Y
Production 8	2116	50	447	Y
Flex Warehouse 8	2117	50	478	Y
Office 8	2117	50	478	Y
Mill/ Warehouse (95K sf)	2108	30	183	Y
Mill/ Warehouse (50K sf)	2095	30	1,277	Y
Production 9	2100	55	275	Y
Production 10	2096	55	423	Y
Production 11	2092	55	423	Y
Production 12	2094	55	273	Y
Production 13	2090	55	576	Y
Production 14	2086	55	576	Y
Residence Set No. 1 through 8 (based on max production footprint)	2100	35	954	Y
Dense Urban Backlot Sets (based on max production footprint)	2087	45	883	Y

IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
SITE PLAN
 LOCATED IN SECTION 12, T. 3 S., R. 1 E., S.B.M.



ROW	COMPATIBILITY ZONES						AGREAGE	
	A	BI	B2	C	D	E	NET	GROSS
10.24	19.84	19.64	69.41	9.96	91.8	-	207.58	217.84
Open Space		4.10			5.11		9.21 acres	

COMPATIBILITY ZONES



OWNER / APPLICANT

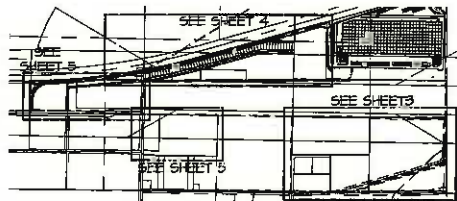
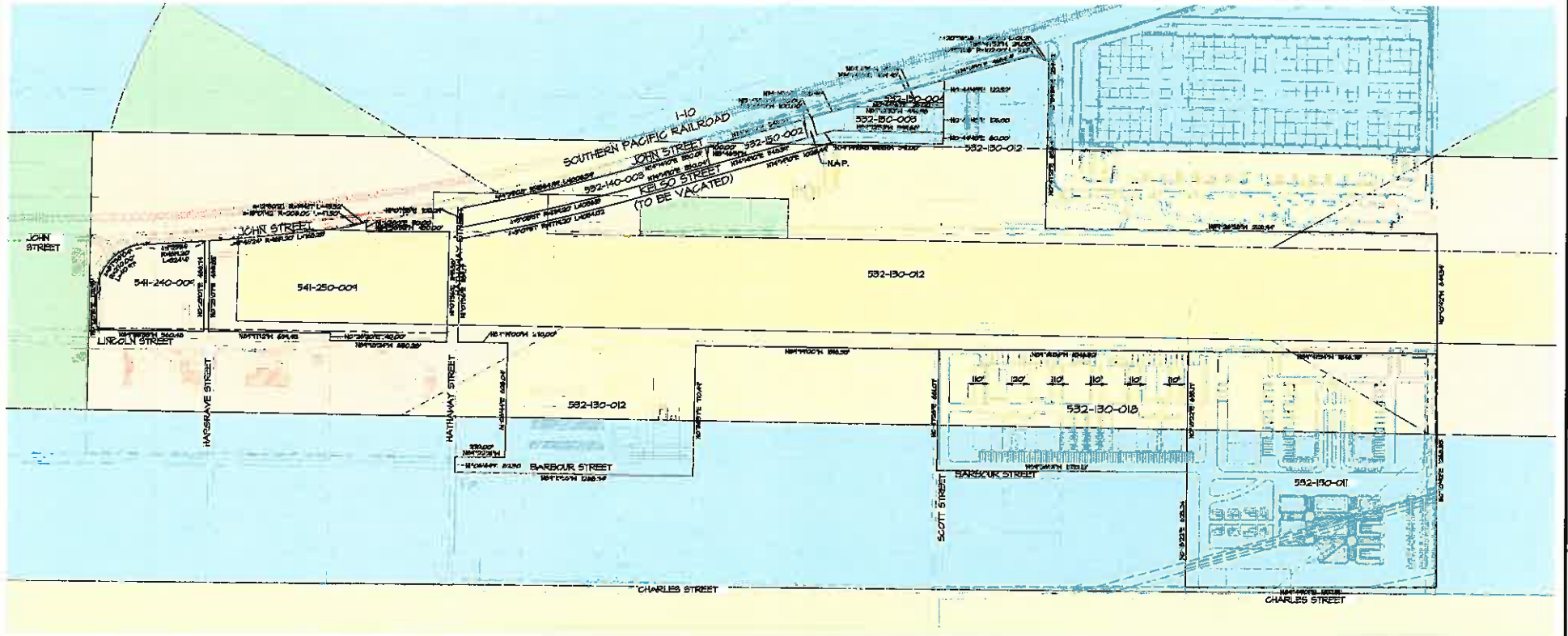
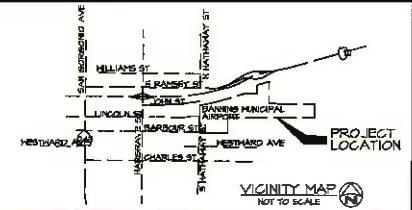
CITY OF BANNING
 14 RANNEY STREET
 BANNING, CA 92220
 CONTACT: ADAM RUSH
 PHONE: 780-219-0791
 FAX: 780-412-3520
ARCHITECT
 GSB ARCHITECTS & INTERIORS, INC.
 2000 LENOX ROAD, SUITE 1500
 ATLANTA, GA 30326
 CONTACT: WILLIAM BARKER
 PHONE: 404-252-6490 X 102
ENGINEER
 ALBERT A. HESS ASSOCIATES
 3180 MCGRAY STREET
 RIVERSIDE, CA 92506
 CONTACT: SARAH KOHALSKI
 PHONE: 951-522-8008
 FAX: 951-780-1290



SHEET NO. 1 DATE: 11-04-21 PLAT DATE: 11-04-21		AIRPORT LAND USE COMMISSION SITE PLAN GRANDVAVE STUDIOS	NO. 21-2108 SHEET 1 OF 8 SHEETS DWG. NO.
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PRELIMINARY
 10/20/21 - 10/20/21 10:00 AM 10/20/21 10:00 AM 10/20/21 10:00 AM

IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
SITE PLAN
 LOCATED IN SECTION 12, T. 5 S., R. 1 E., S.B.M.



KEY MAP
 NOT TO SCALE

COMPATIBILITY ZONES

- ZONE A
- ZONE B1
- ZONE B2
- ZONE C
- ZONE D
- ZONE E



SCALE:	1"=250'	DATE:	2021-05-14	DESIGNED:		DESIGNED:		DATE:	11-08-21
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DESIGNED:		DESIGNED:		DATE:	11-08-21	DATE:	11-08-21	DATE:	11-08-21
DATE:	11-08-21	DATE:	11-08-21	DATE:	11-08-21	DATE:	11-08-21	DATE:	11-08-21

ENGINEERING CONSULTANT
 3700 HUNTERS STREET
 BANNING, CA 92408
 PH: (951) 948-1970
 FAX: (951) 761-1260

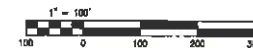
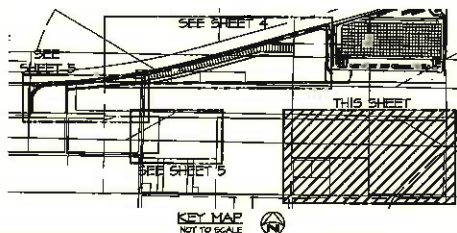
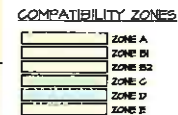
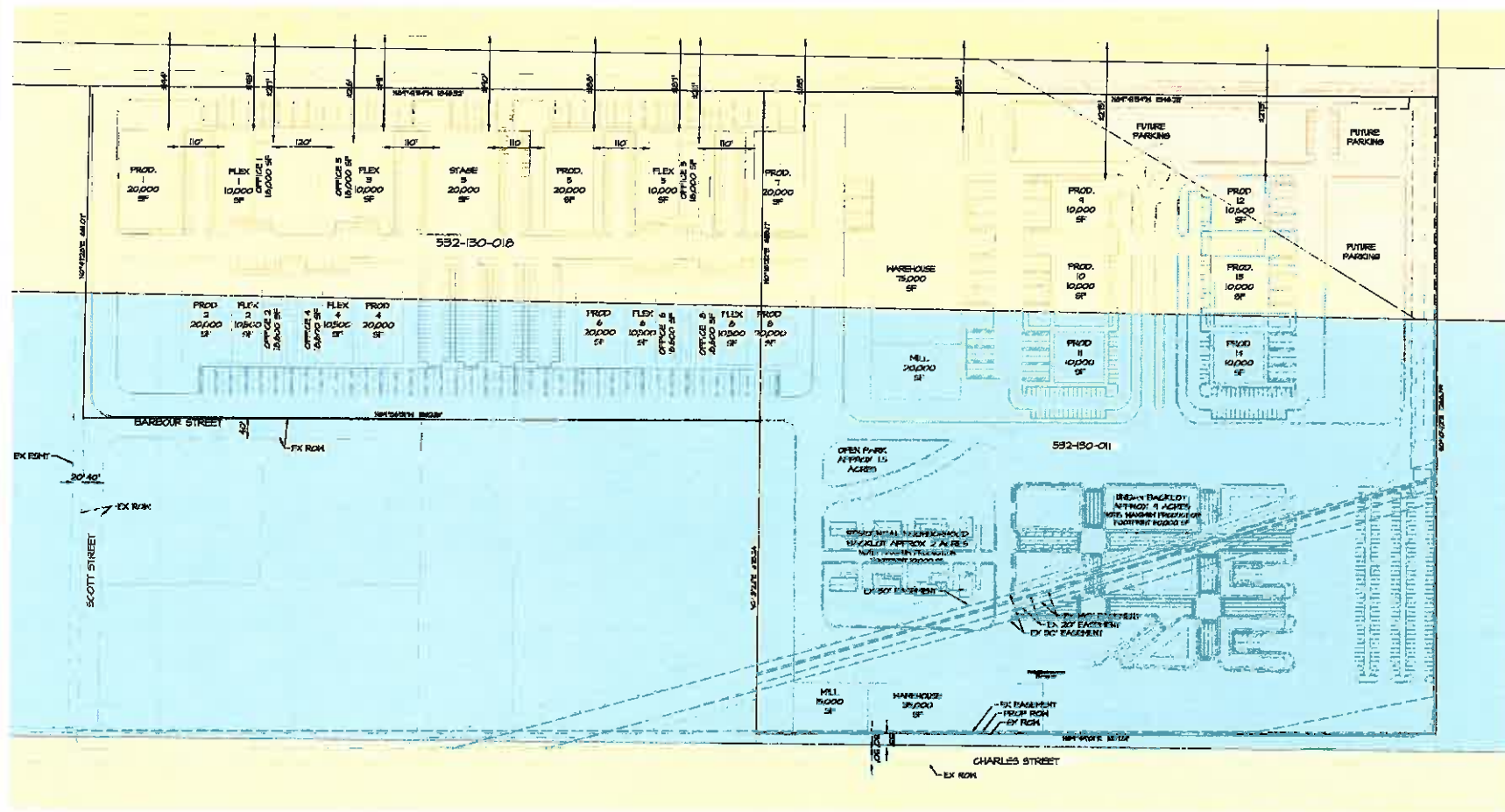
AIRPORT LAND USE COMMISSION
 SITE PLAN OVERVIEW

GRANDAVE STUDIOS

SHEET
 2
 OF 6 SHEETS
 DATE: 11-08-21

PRELIMINARY

IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
SITE PLAN
 LOCATED IN SECTION 12, T. 3 S., R. 1 E., S.B.M.

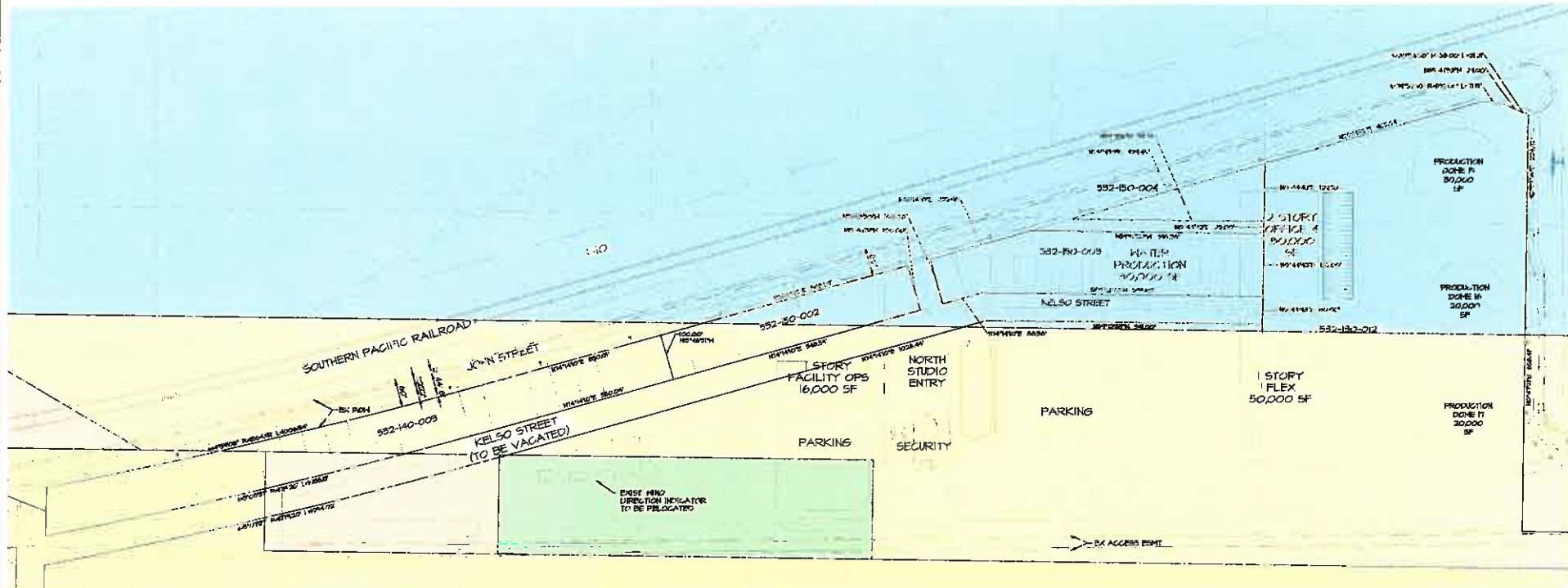


REVISIONS	DATE	BY	SCALE	1"=100'	PROJECT	AIRPORT LAND USE COMMISSION SITE PLAN - SEC	SHEET	3
			DATE	02-11-14	OWNER	GRANDDAVE STUDIOS	OF	4
			DRAWN		DESIGNED		SHEET	
			PLN OR REF.		DATE	11-24-21		
							AIRPORT LAND USE COMMISSION SITE PLAN - SEC GRANDDAVE STUDIOS	

PRELIMINARY

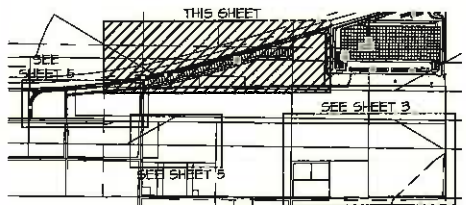
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IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
SITE PLAN
 LOCATED IN SECTION 12, T. 3 S., R. 1 E., S.B.M.

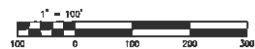


COMPATIBILITY ZONES

[Zone A symbol]	ZONE A
[Zone B symbol]	ZONE B
[Zone B2 symbol]	ZONE B2
[Zone C symbol]	ZONE C
[Zone D symbol]	ZONE D
[Zone E symbol]	ZONE E



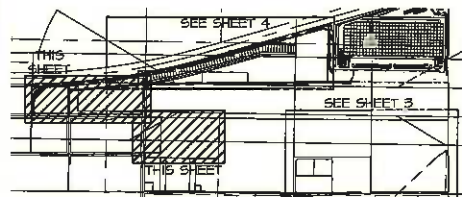
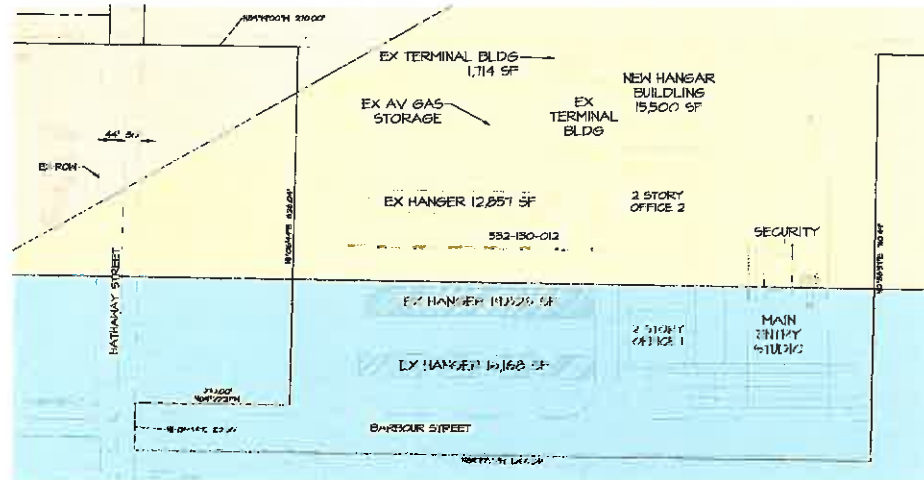
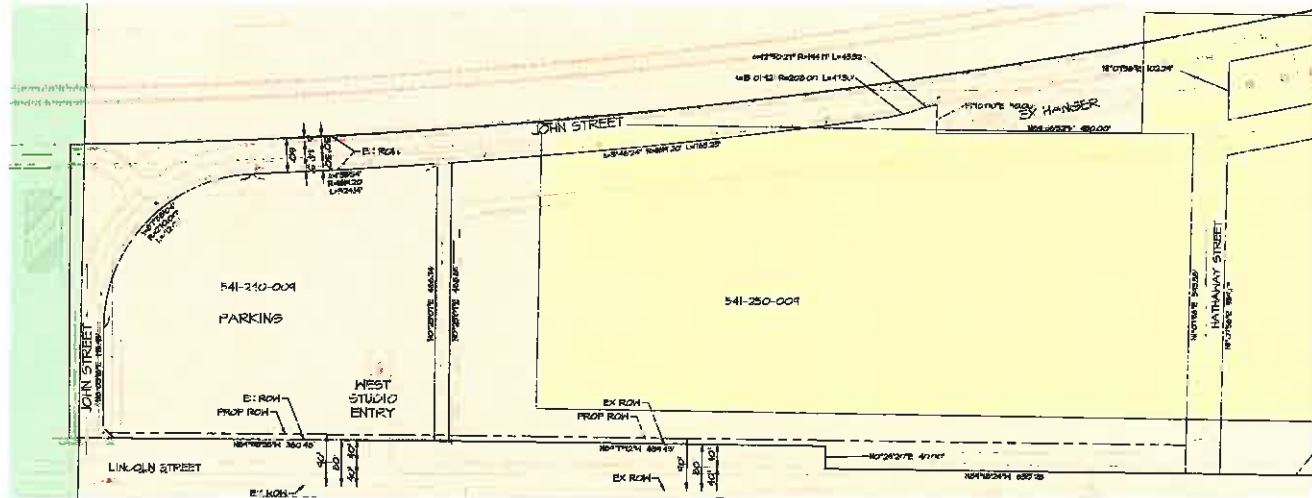
KEY MAP
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SOLE DATE: 2011-05-14 DESIGNED BY: [Signature] CHECKED BY: [Signature] P.L.N. OR REP.: [Signature]		ENGINEERING CONSULTANTS 3738 HUCKLEBERRY STREET BANNING, CA 92408 PH: (951) 866-1779 FAX: (951) 788-1258		AIRPORT LAND USE COMMISSION SITE PLAN - NEC GRANDAVE STUDIOS		S.H.A. 21-0106 SHEET 4 OF 8 SHEETS DES. NO.
REVISIONS	DATE BY	T.D.	PLAT DATE: 11-26-01			

PRELIMINARY
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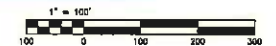
IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
SITE PLAN
 LOCATED IN SECTION 12, T. 3 S., R. 1 E., S.B.M.



KEY MAP
 NOT TO SCALE

COMPATIBILITY ZONES

- ZONE A
- ZONE B1
- ZONE B2
- ZONE C
- ZONE D
- ZONE E

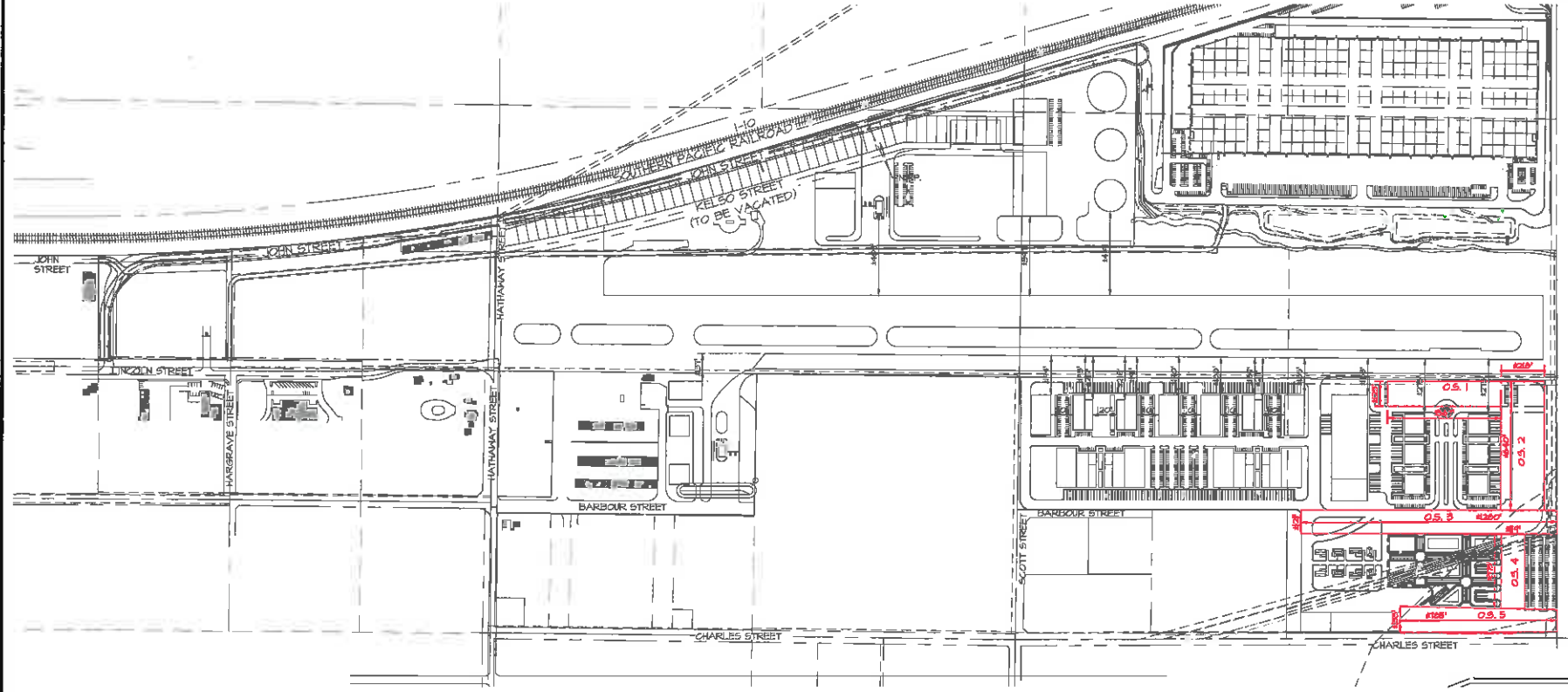
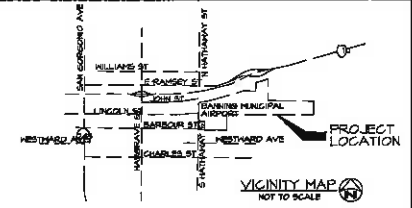


REVISION	DATE	BY	SCALE: 1"=100'	PROJECT NO. 11-144-21	ENGINEERING CONSULTANTS 3718 HUNTER STREET RIVERSIDE, CA, 92506 PH: (951) 518-1070 FAX: (951) 788-1250	AIRPORT LAND USE COMMISSION SITE PLAN - NWC & SWC	SHEET 5 OF 6 SHEETS
						GRANDAVE STUDIOS	DATE: 2021-08-15 DESIGNED: DRAWN: CHECKED: DATE: 11-14-21

PRELIMINARY

PROJECT NO. 11-144-21 AIRPORT LAND USE COMMISSION SITE PLAN SHEET 5 OF 6 11/17/2021 2:58:05 PM

IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
BUILDING SETBACKS & OPEN SPACE AREAS
 LOCATED IN SECTION 12, T. 3 S., R. 1 E., S.B.M.



OPEN SPACE	WIDTH	LENGTH	SF	ACRES
O.S. 1	123'	361'	61604	1.60
O.S. 2	114'	640'	194466	9.20
O.S. 3	121'	1280'	154346	8.88
O.S. 4	210'	373'	44648	1.00
O.S. 5	158'	765'	47115	2.20
TOTAL ACREAGE			505279.0	11.3

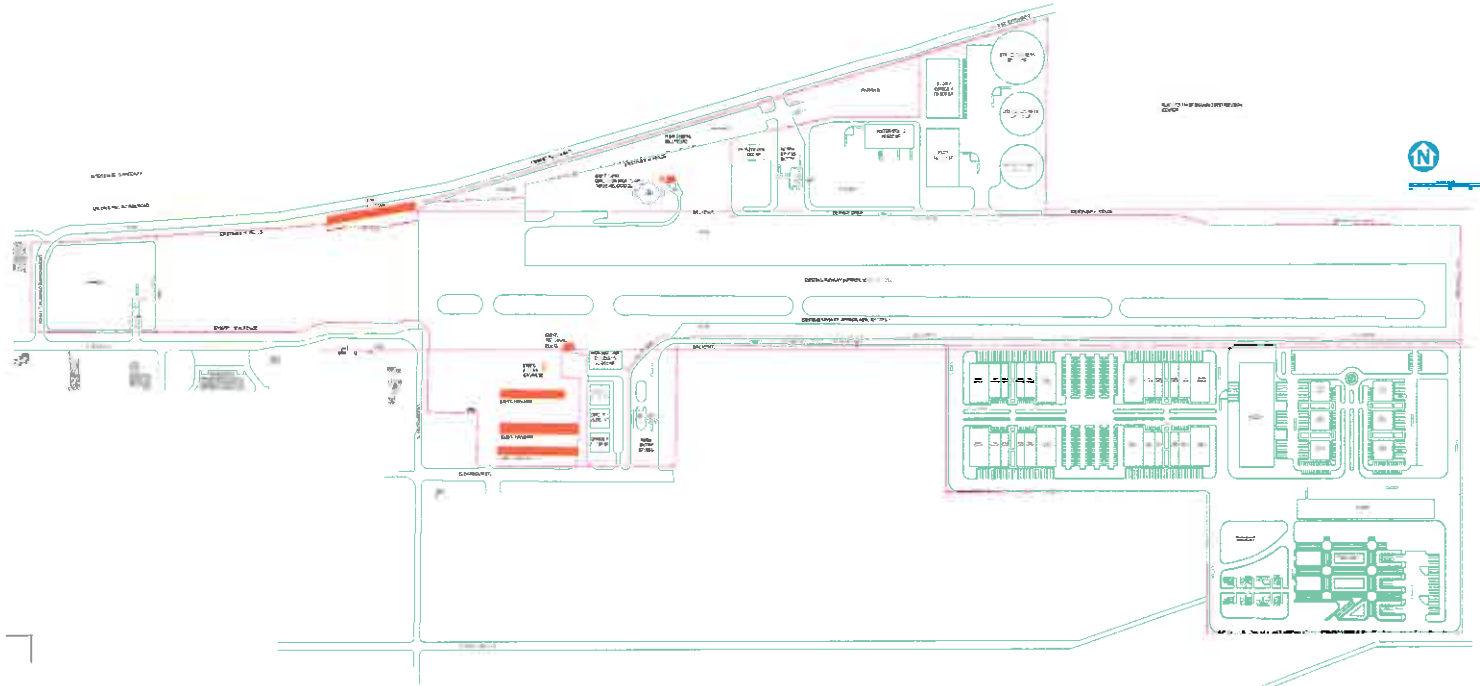
NOTE: WIDTH AND LENGTH ARE APPROXIMATE



SCALE: 1" = 250'	DATE: 2011-05-14	ENGINEERING CONSULTANTS 3700 HIGHWAY 91 BANNING, CA 92506 PH: (951) 868-1070 FAX: (951) 788-1299	AIRPORT LAND USE COMMISSION BUILDING SETBACKS & OPEN SPACE AREAS GRANDAVE STUDIOS	P.L. 21-0106 SHEET 6 OF 6 DIB. NO.
REVISIONS	DATE BY	PLST. DATE: 11-14-11		

PRELIMINARY
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CSBA ARCHITECTS & INTERIORS, INC.
 1000 AVENUE 100, SUITE 100
 SAN DIEGO, CA 92108
 TEL: 619.594.1000
 WWW.CSBAARCHITECTS.COM

PROJECT NAME

CLIENT NAME
 OR RISK ASSESSOR
 SAN DIEGO, CA

DATE
 2019

SCALE
 1/8" = 1'-0"

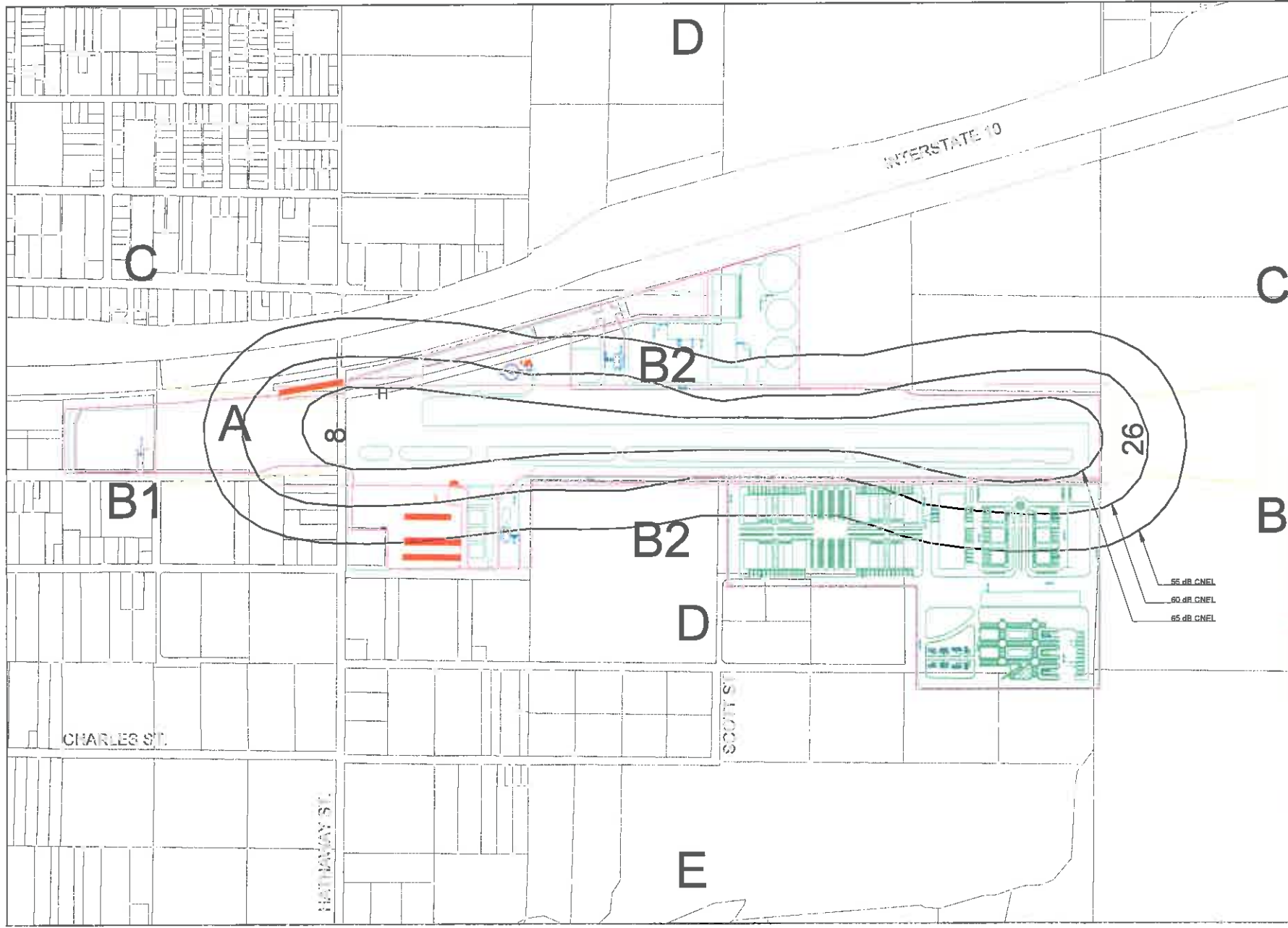
CSBA ARCHITECTS & INTERIORS, INC.
 SAN DIEGO, CA

SITE PLAN

PROJECT NO.
 20125

DATE
 07/19

SCALE
 A5100



OSB ARCHITECT & INTERIORS, P.C.
 1000 AVENUE 10
 SUITE 100
 SAN JOSE, CA 95128
 TEL: 408.298.1000
 WWW.OSBARCHITECT.COM

PROJECT
 JEROME CAPITAL
 VE RUBY SUB
 SAN JOSE, CA

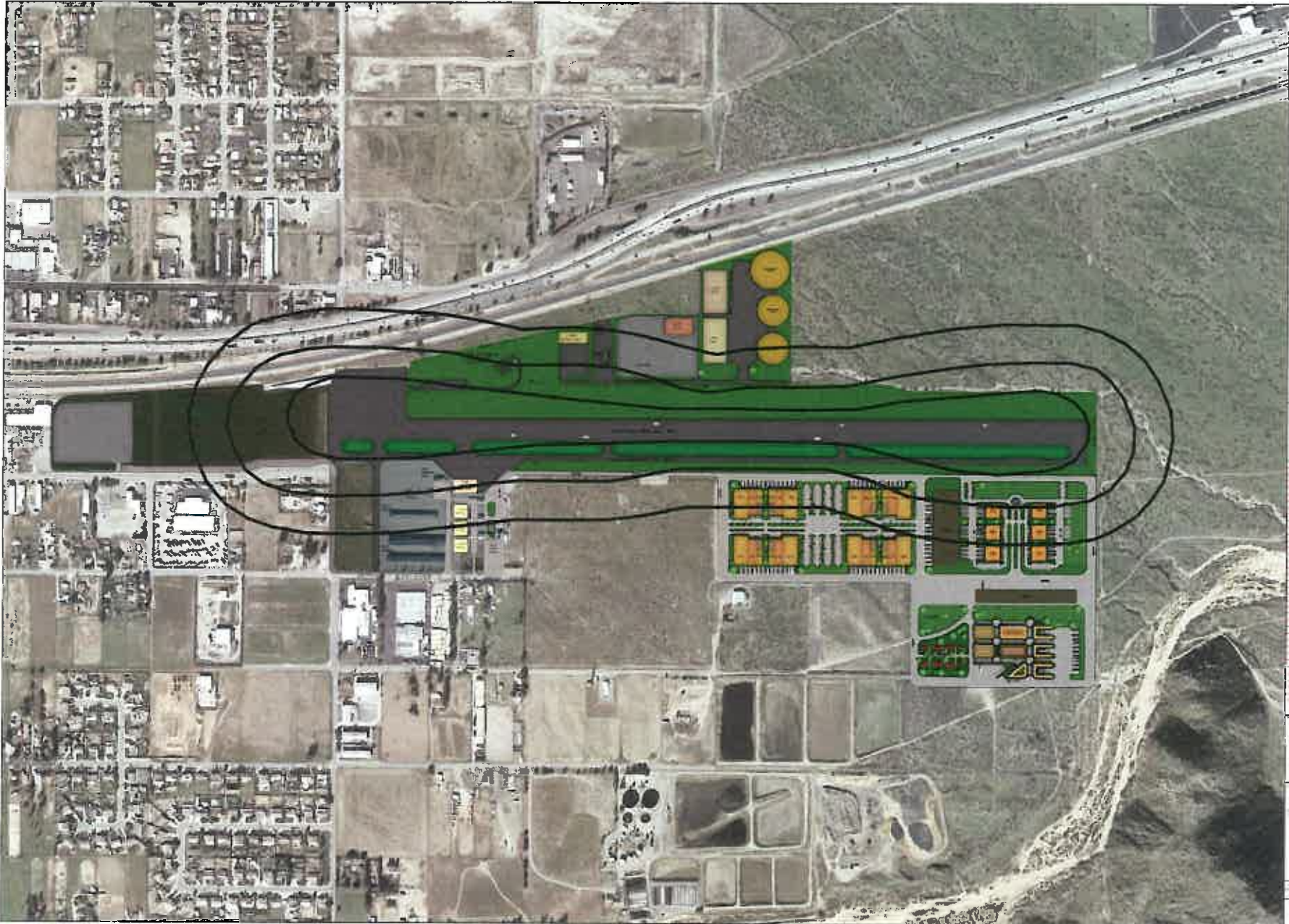
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 A5101

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 2019.05.01

PROJECT NO.
 A5101



GSB ARCHITECT & INTERIORS, INC.
ARCHITECTS & INTERIORS
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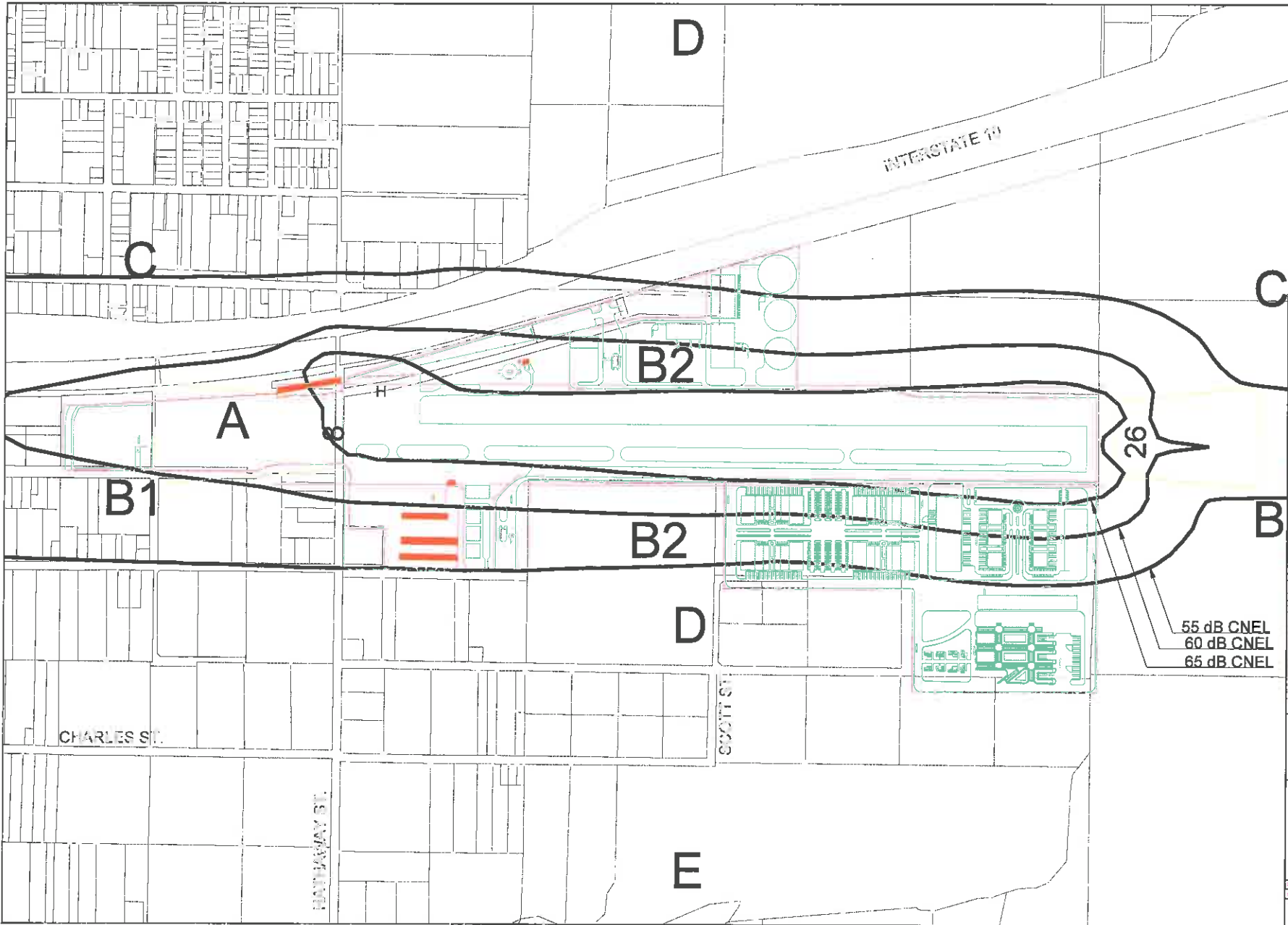
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GSB ARCHITECTS & INTERIORS, INC.
1000 AVENUE 108
SUITE 100
DALLAS, TEXAS 75242

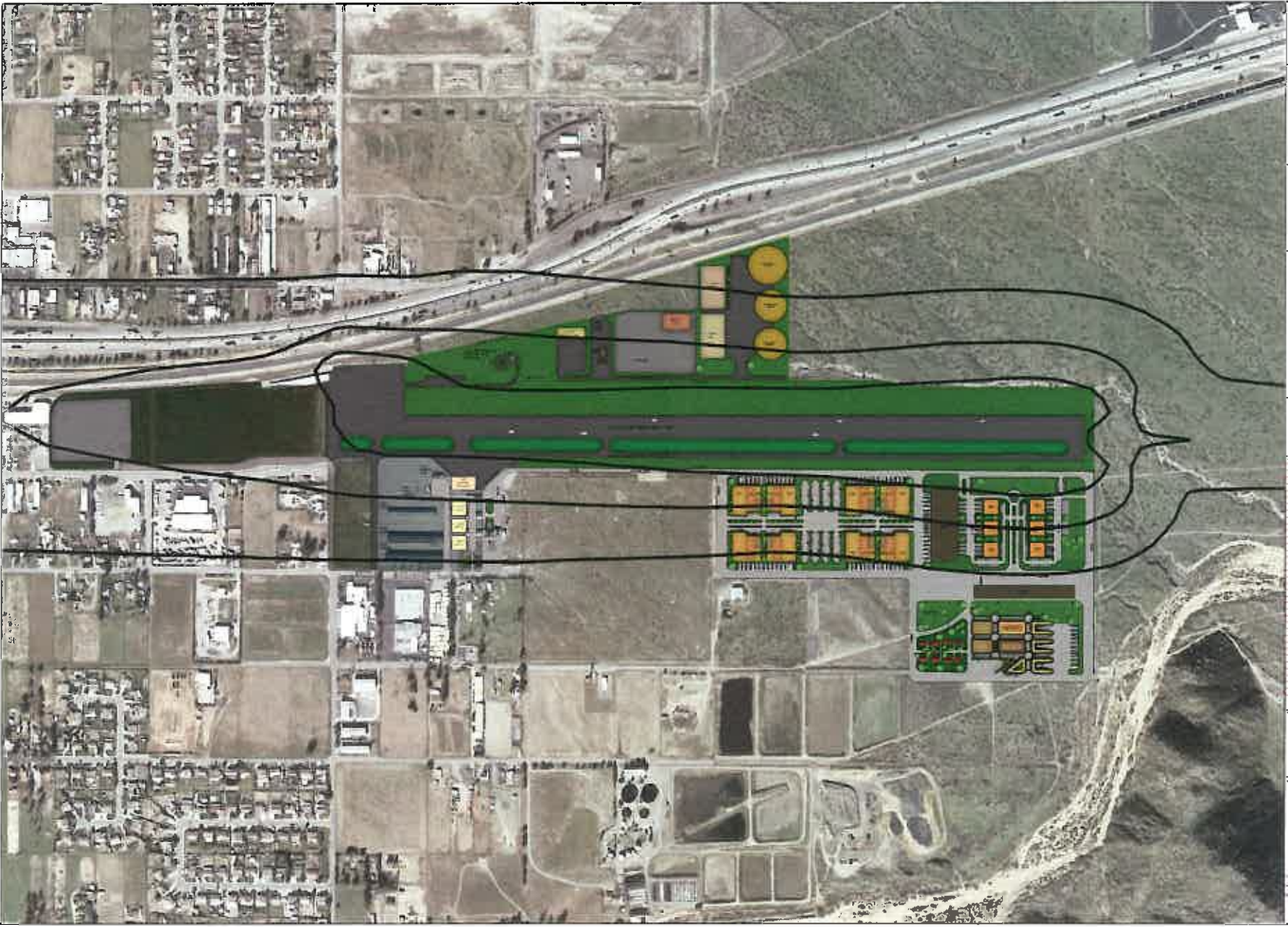
PROJECT NO. 18-001
DATE 01/25/18

NOISE CONSULTANT
GARY W. BROWN, P.E.
1000 AVENUE 108
SUITE 100
DALLAS, TEXAS 75242
PH: 972.443.1111
WWW.GSBARCHITECTS.COM

SPRINKLER SLOPE AS BAKING
BAKING, CA

CONFIDENTIAL SITE PLAN
FUTURE NOISE IMPACT CONTOURS

ARCHITECTURAL BY 2/11/2018	DATE 02/11/18	SCALE 1/8" = 1'-0"
PROJECT NO. 20125	DATE 02/11/18	SCALE AS 1/02



JCB ASSOCIATES & ASSOCIATES, INC.
2001 17th Avenue
San Diego, CA 92161
619.594.1100
www.jcb.com

PROJECT NO. 18-001
DATE: 08/15/18
DRAWN BY: JCB
CHECKED BY: JCB
APPROVED BY: JCB

PREPARED FOR:
DANISH & CAPITAL
161 RUBEN BLVD
SAN DIEGO, CA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/18
2	REVISED	08/15/18
3	REVISED	08/15/18
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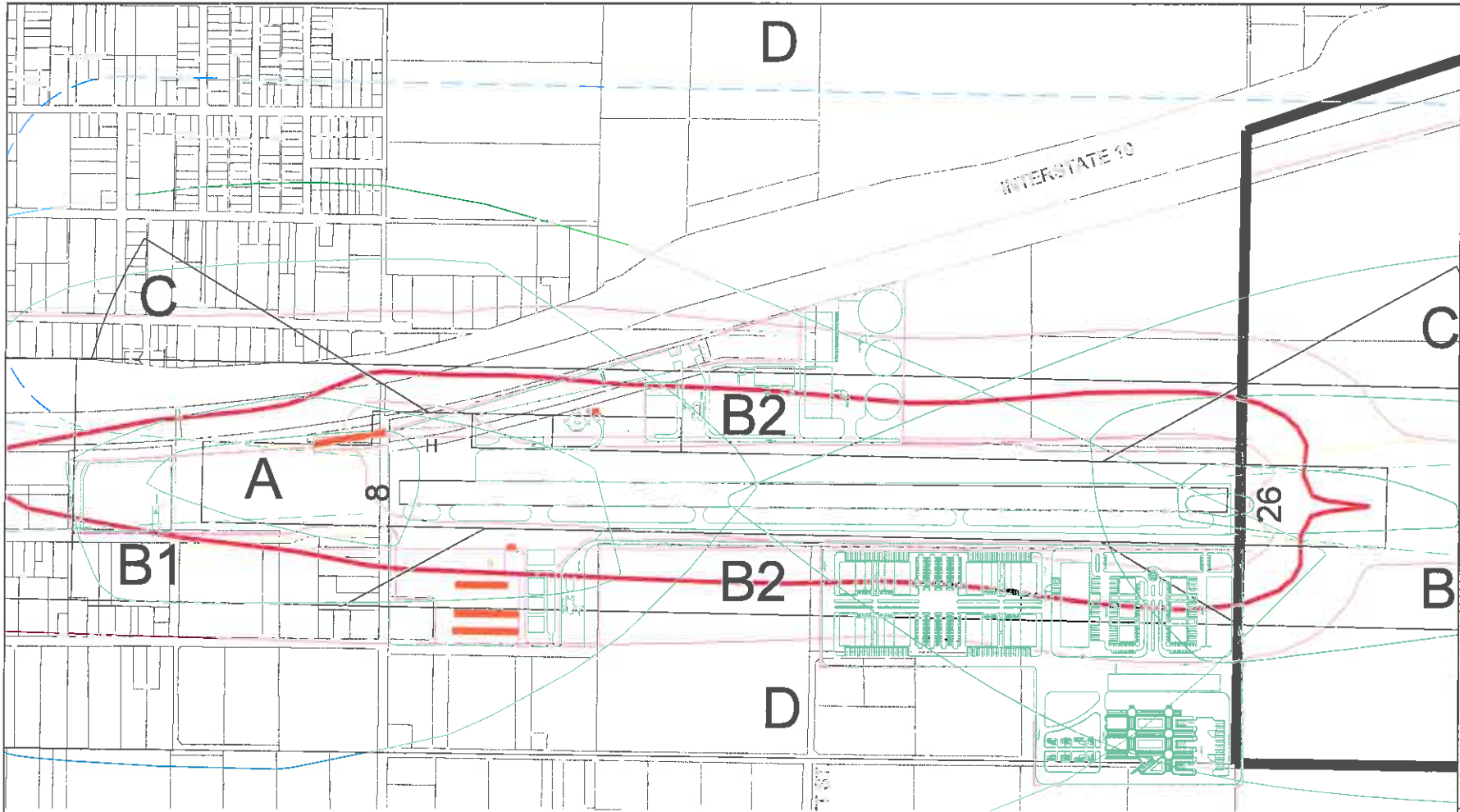
PREPARED BY:
JCB

CONCEPTUAL FUTURE NOISE IMPACT CONTOURS

DATE: 08/15/18

PROJECT NO. 18-001
PAGE: 38
AS102.1

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LEGEND

Compatibility Zones

- Airport influence area boundary
- ▭ Zone A
- ▭ Zone B1
- ▭ Zone B2
- ▭ Zone C
- ▭ Zone D
- ▭ Zone E

Noise and Overflight Compatibility Factors

- 65 dB CNEL } Future Average Annual Day
- 60 dB CNEL }
- 55 dB CNEL }
- ▭ General Traffic Pattern Envelope (approximately 80% of aircraft overflights estimated to occur within these limits)
- H Helipad

Safety and Airspace Compatibility Factors

- Aircraft Departure Accident Risk Intensity Contours (Shown Only for Takeoffs to the West)
- Aircraft Approach Accident Risk Intensity Contours (Shown Only for landings to the West)
- FAR Part 77 Conical Surface Limits
- Terrain Penetration of FAR Part 77 Surface

Boundary Lines

- Airport Property Line
- City Limits
- Aircraft accident risk Intensity contours are derived from nationwide accident location data in California Division of Aeronautics database. The contours show relative intensities (highest concentrations) of near-airport accidents in 20% increments. The contour shapes represent a wide range of general aviation airports and have not been modified to reflect the flight tracks for this airport.



G+S ARCHITECTS & ENGINEERS, INC.
 1000 PLYMOUTH STREET, SUITE 200
 SAN DIEGO, CA 92101
 TEL: 619.594.8800
 FAX: 619.594.8801
 WWW.GSARCHITECTS.COM

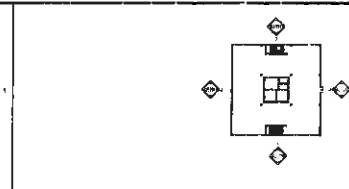
GRANDALE CAPITAL
 MR. ROBERT GIBBS
 SAN DIEGO, CA

GRANDALE STUDIOS AT SHAWING
 SHAWING, CA

PROJECT NO. 2018-001
 SHEET NO. 25
 DATE 2018-05-15

20125 AS103

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 1000 LA JOLLA VILLAGE DRIVE, SUITE 100
 SAN DIEGO, CA 92161
 TEL: 619.451.1100
 WWW.GSBARCHITECTS.COM

PROVIDER

GSB ARCHITECTS & INTERIORS, INC.

CLIENT

GRANDAVE CAPITAL
 100 RUSSELL BLVD
 SAN DIEGO, CA

DATE

DESCRIPTION

1. 01-2015

2. 02-2015

3. 03-2015

4. 04-2015

5. 05-2015

6. 06-2015

7. 07-2015

8. 08-2015

9. 09-2015

10. 10-2015

11. 11-2015

12. 12-2015

13. 01-2016

14. 02-2016

15. 03-2016

16. 04-2016

17. 05-2016

18. 06-2016

19. 07-2016

20. 08-2016

21. 09-2016

22. 10-2016

23. 11-2016

24. 12-2016

25. 01-2017

26. 02-2017

27. 03-2017

28. 04-2017

29. 05-2017

30. 06-2017

31. 07-2017

32. 08-2017

33. 09-2017

34. 10-2017

35. 11-2017

36. 12-2017

37. 01-2018

38. 02-2018

39. 03-2018

40. 04-2018

41. 05-2018

42. 06-2018

43. 07-2018

44. 08-2018

45. 09-2018

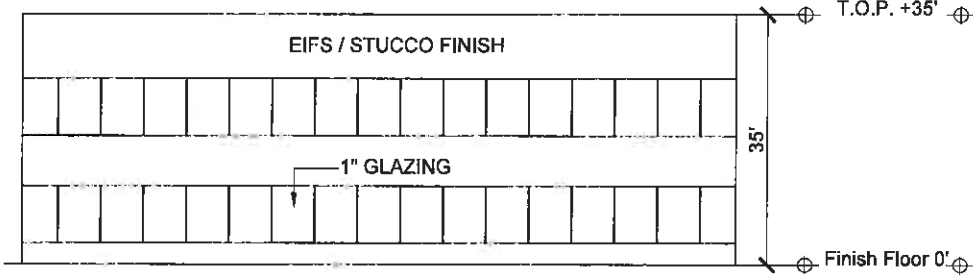
46. 10-2018

47. 11-2018

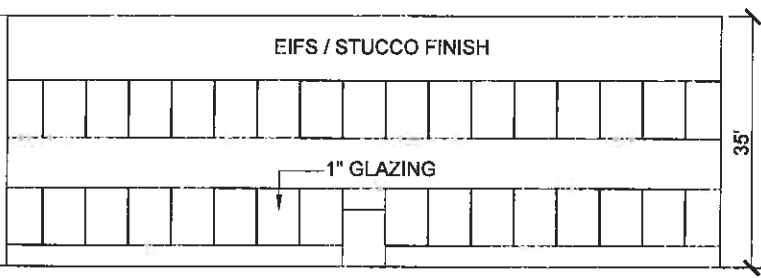
48. 12-2018

49. 01-2019

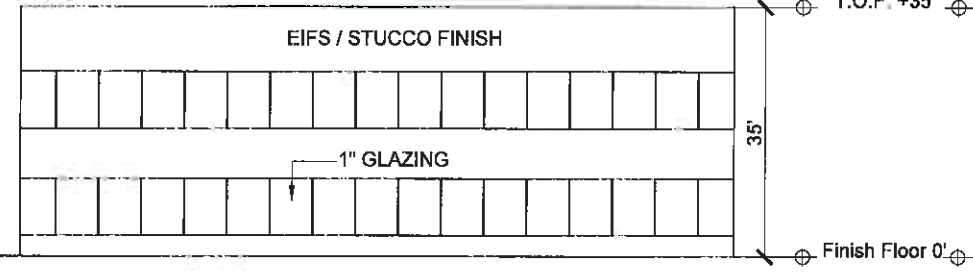
50. 02-2019



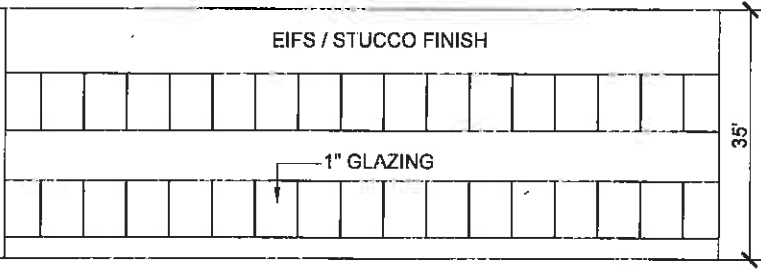
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 1/8" = 1'-0"



4 OFFICE 1 - ELEVATION 4
 1/8" = 1'-0"



1 OFFICE 1 - ELEVATION 1
 1/8" = 1'-0"



2 OFFICE 1 - ELEVATION 2
 1/8" = 1'-0"

OFFICE 1 ELEVATIONS

ARCHITECTURAL

DATE: 05/20/2017

BY: BS

DATE: 05/20/2017

BY: BS

DATE: 05/20/2017

BY: BS

DATE: 05/20/2017

BY: BS

DATE: 05/20/2017

BY: BS

DATE: 05/20/2017

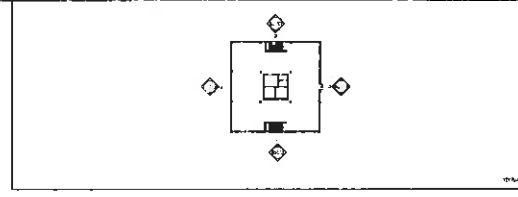
BY: BS

DATE: 05/20/2017

BY: BS

DATE: 05/20/2017

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 1000 LA JOLLA VILLAGE DRIVE, SUITE 100
 SAN DIEGO, CA 92161

BOB OSWALD
 CHAIRMAN OF THE BOARD

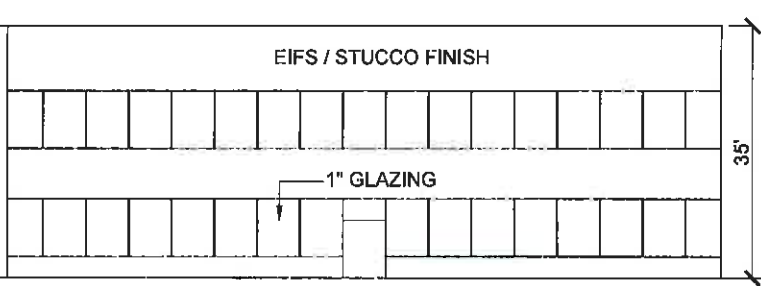
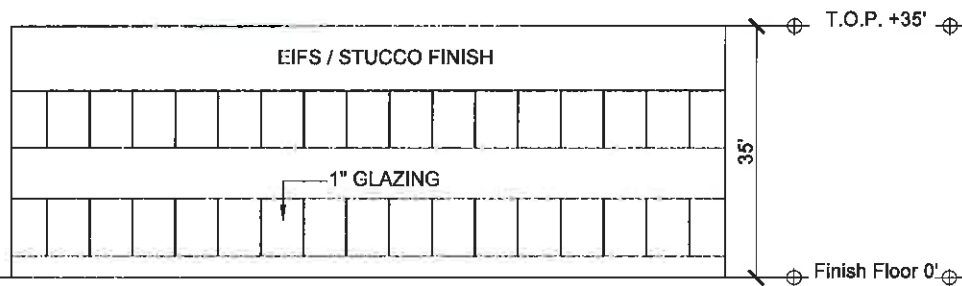
GRANDAVE CARTER,
 MR. RUBEN ISLAS
 SAN DIEGO, CA

NO.	REVISION / NOTES	DATE
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GRANDAVE STUDIOS AT SANMING
 SANMING, CA

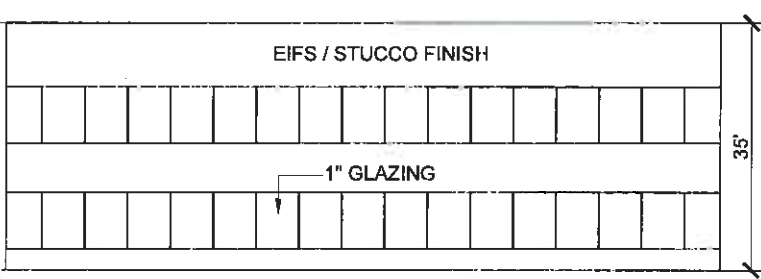
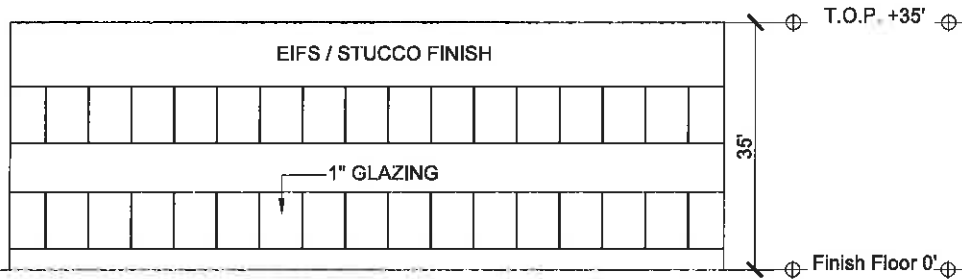
OFFICE 1 ELEVATIONS

ARCHITECTURAL	DATE	BY
2021.05.07	10.20.19	JB
20125		AS302



③ OFFICE 2 - ELEVATION 3
 1/8" = 1'-0"

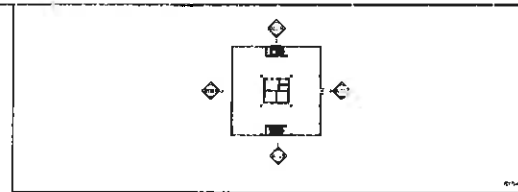
④ OFFICE 2 - ELEVATION 4
 1/8" = 1'-0"



① OFFICE 2 - ELEVATION 1
 1/8" = 1'-0"

② OFFICE 2 - ELEVATION 2
 1/8" = 1'-0"

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GSE ARCHITECTS & INTERIORS, INC.
 10000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CA 92121
 (619) 444-1111

PROFESSIONAL SEAL

PROJECT NO.

THE GRANDALL
 GRANDALL DESIGN
 INC.

GRANDAVE CAPITAL
 MR. RUBEN OLIAS
 SAN DIEGO, CA

NO. 11-00000000000000000000

DATE

BY

DATE

BY

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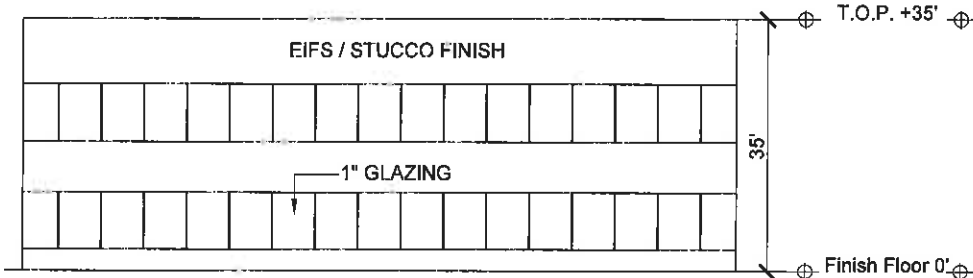
DATE

BY

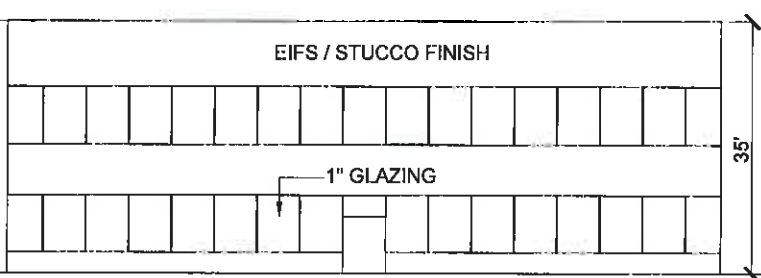
DATE

BY

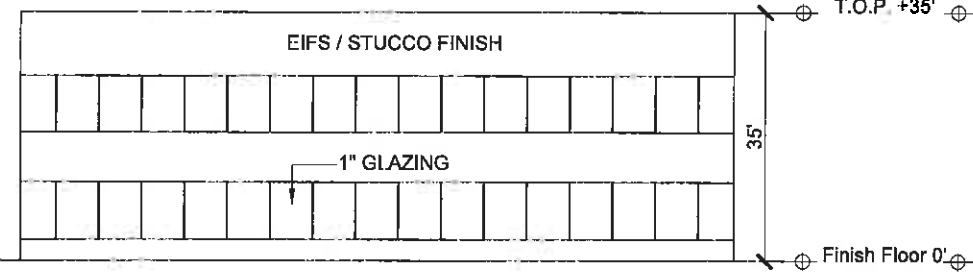
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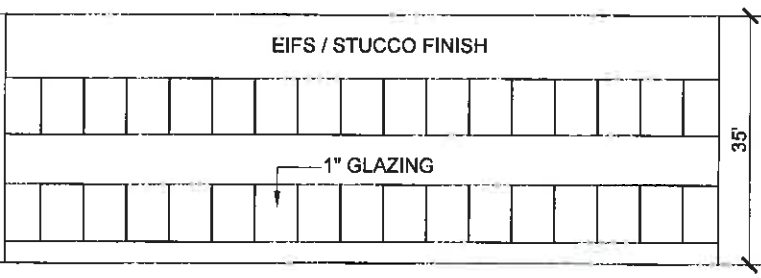
3 OFFICE 3 - ELEVATION 3
 1/8" = 1'-0"



4 OFFICE 3 - ELEVATION 4
 1/8" = 1'-0"



1 OFFICE 3 - ELEVATION 1
 1/8" = 1'-0"



2 OFFICE 3 - ELEVATION 2
 1/8" = 1'-0"

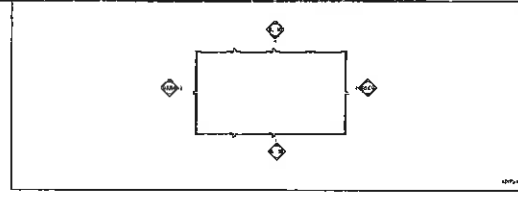
ARCHITECTURAL

DATE: 10/27/17

BY: [Signature]

20125 AS303

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GSB ARCHITECTS & INTERIORS, INC.
 1000 W. 15TH ST.
 SAN DIEGO, CA 92103
 (619) 591-1234

PROJECT NO.

DATE

PROJECT NAME

OWNER

GRANDAVE CAPITAL
 MR. RUBEN ELIAS
 SAN DIEGO, CA

NO. ARCH. SHEET

NO. SHEETS

NO. SHEETS

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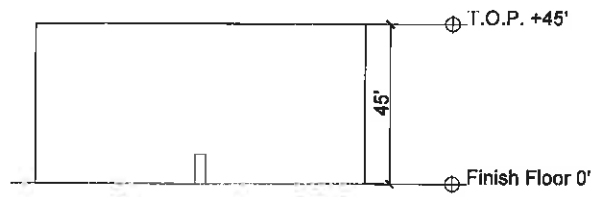
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NO. SHEETS



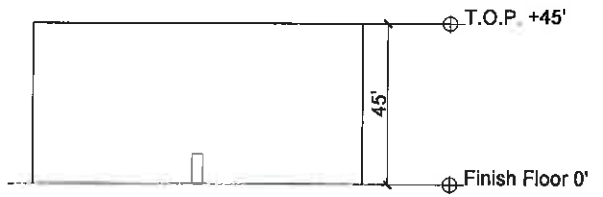
3 NEW HANGAR BUILDING - ELEVATION 3
 1/16" = 1'-0"



4 NEW HANGAR BUILDING - ELEVATION 4
 1/16" = 1'-0"



1 NEW HANGAR BUILDING - ELEVATION 1
 1/16" = 1'-0"



2 NEW HANGAR BUILDING - ELEVATION 2
 1/16" = 1'-0"

ARCHITECTURAL

NO. SHEETS

NO. SHEETS

NO. SHEETS

NO. SHEETS

NO. SHEETS

NO. SHEETS

NO. SHEETS



GSB ARCHITECT & INTERIORS, INC.
MEMBER OF GIBSON
ARCHITECTURE
INCORPORATED

PROJECT
PO CANTON
DRAINAGE

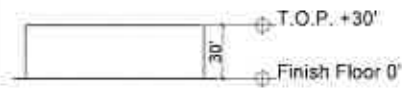
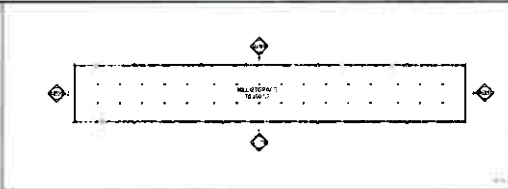
ARCHITECT
4800 East 52nd
Nashville, TN

NO.	REVISION	DATE

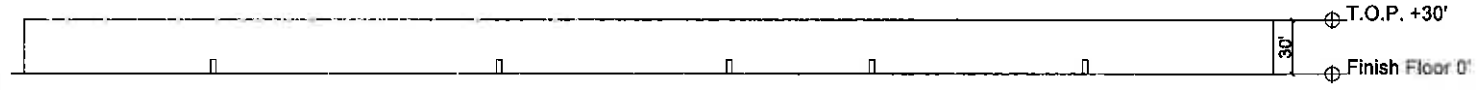
PROJECT MANAGER
NAME

PROJECT SUPERVISOR
NAME

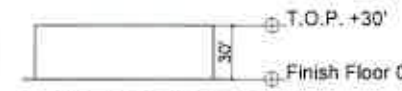
NO.	REVISION	DATE



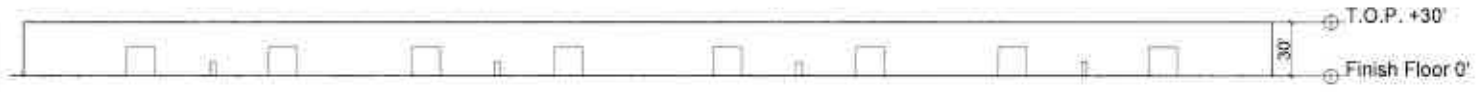
④ MILL-STORAGE ELEVATIONS 4
1/32" = 1'-0"



③ MILL-STORAGE ELEVATIONS 3
1/32" = 1'-0"



② MILL-STORAGE ELEVATIONS 2
1/32" = 1'-0"



① MILL-STORAGE ELEVATIONS 1
1/32" = 1'-0"

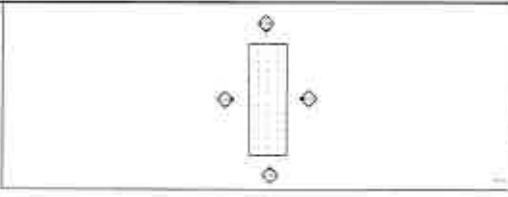


③ MILL / STORAGE - ELEVATION 3
 1/32" = 1'-0"

④ MILL / STORAGE - ELEVATION 4
 1/32" = 1'-0"

① MILL / STORAGE - ELEVATION 1
 1/32" = 1'-0"

② MILL / STORAGE - ELEVATION 2
 1/32" = 1'-0"





GSB ARCHITECTS + INTERIORS, INC.
 4500 S.W. 4th St., Suite 100
 Fort Lauderdale, FL 33304
 (954) 578-1111

PROJECT INFORMATION

PROJECT NAME
 PROJECT ADDRESS
 PROJECT LOCATION
 PROJECT NUMBER

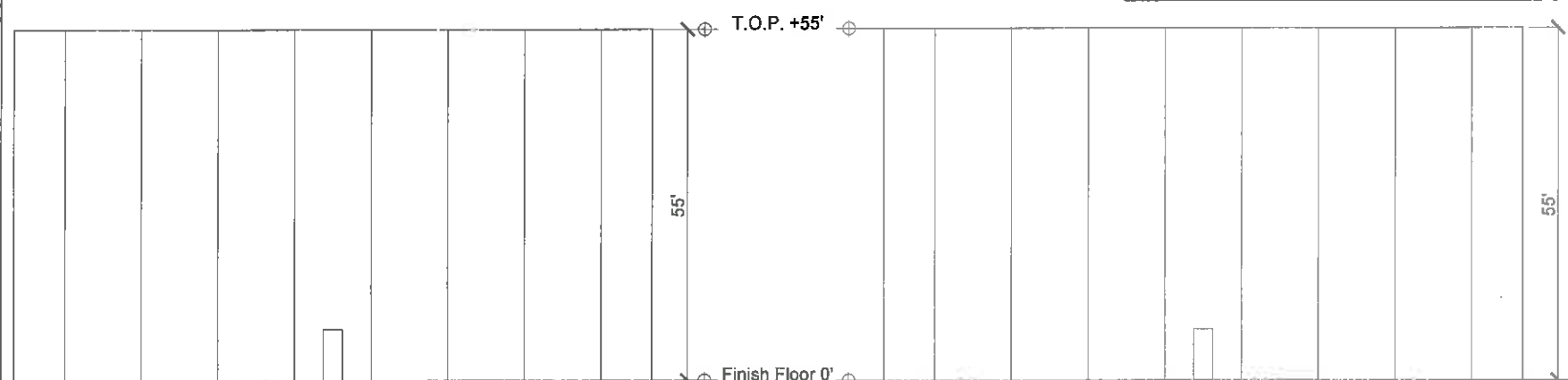
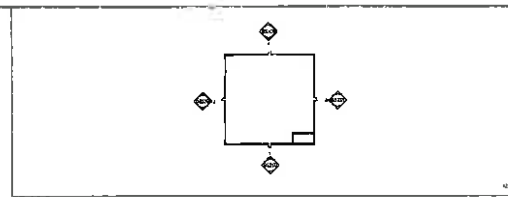
ARCHITECT INFORMATION

ARCHITECT FIRM
 ARCHITECT NAME
 ARCHITECT TITLE
 ARCHITECT PHONE
 ARCHITECT FAX
 ARCHITECT EMAIL
 ARCHITECT WEBSITE

DATE

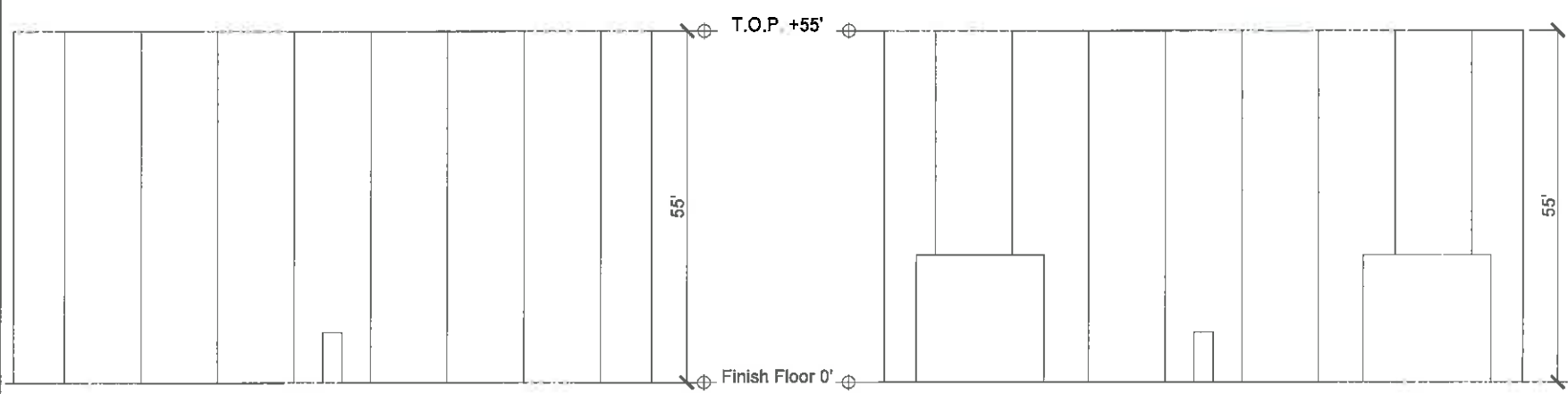
SCALE	DATE
00125	A530E

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③ STAGE 9 - ELEVATION 3
 1/8" = 1'-0"

④ STAGE 9 - ELEVATION 4
 1/8" = 1'-0"



① STAGE 9 - ELEVATION 1
 1/8" = 1'-0"

② STAGE 9 - ELEVATION 2
 1/8" = 1'-0"

CGS ARCHITECTS + INTERIORS, INC.
 5000 LA JOLLA VILLAGE DRIVE, SUITE 200
 SAN DIEGO, CA 92131
 TEL: 619.451.1111
 WWW.CGSARCHITECTS.COM

PROJECT:

CLIENT:

PREPARED FOR:

GRANDAVE CAPITAL
 MR. RUBEN BLAS
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	02/24/15
2	REVISED	03/02/15
3	REVISED	03/02/15
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50	REVISED	03/02/15

PREPARED BY:

GRANDAVE STUDIOS AT BANKING
 BANKING, CA

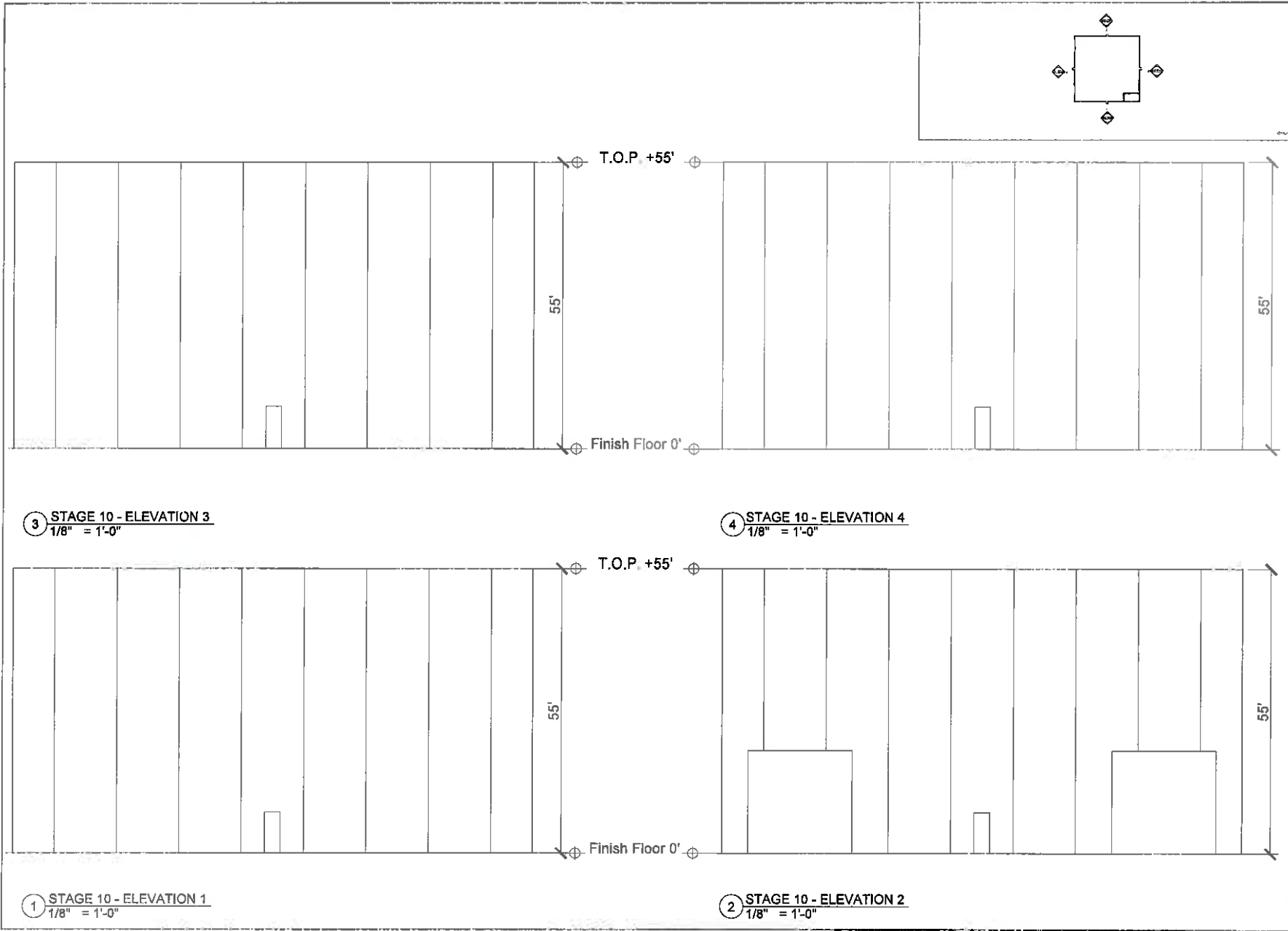
DATE:

STAGE 9 ELEVATIONS

ARCHITECTURAL
 4-202105077

DATE: 05	ISSUE: 05
ARCHITECT: [Signature]	DATE: [Signature]
20125	AS307

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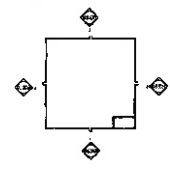


③ **STAGE 10 - ELEVATION 3**
 1/8" = 1'-0"

④ **STAGE 10 - ELEVATION 4**
 1/8" = 1'-0"

① **STAGE 10 - ELEVATION 1**
 1/8" = 1'-0"

② **STAGE 10 - ELEVATION 2**
 1/8" = 1'-0"



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 1800 LA JOLLA VILLAGE DRIVE
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 TEL: 619.451.1000
 WWW.GSBARCHITECTS.COM

PROJECT
 GRADVALE CAPITAL
 175 RUBEN ISLAS
 SAN DIEGO, CA

NO. 020-11-0000
 DATE 02-20-2019

1 01-00-00 02-20-19

1 01-00-00 02-20-19

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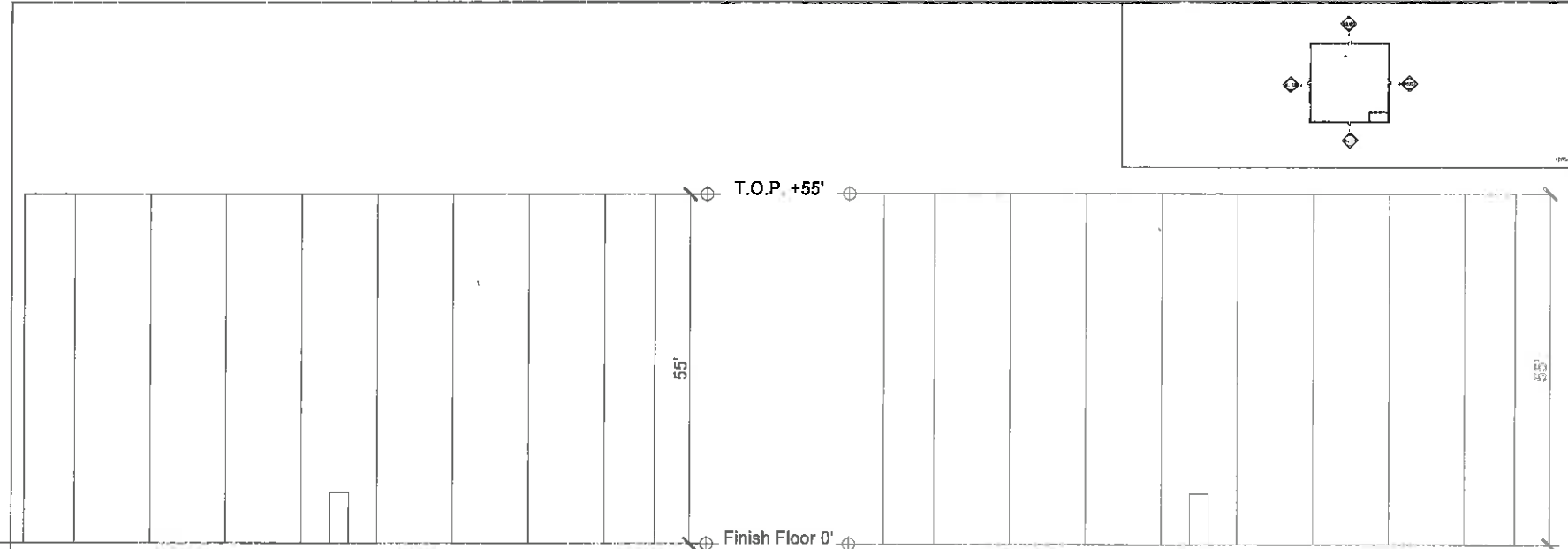
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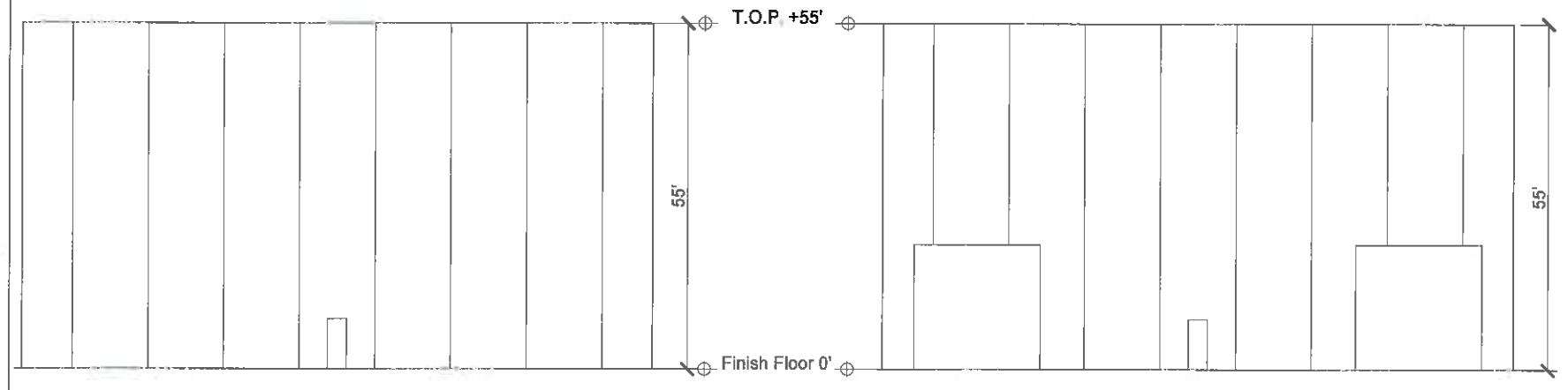
1 01-00-00 02-20-19

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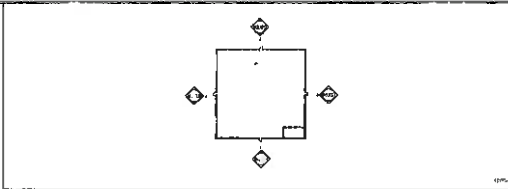
③ STAGE 11 - ELEVATION 3
 1/8" = 1'-0"

④ STAGE 11 - ELEVATION 4
 1/8" = 1'-0"



① STAGE 11 - ELEVATION 1
 1/8" = 1'-0"

② STAGE 11 - ELEVATION 2
 1/8" = 1'-0"





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 1170 BALBOA AVENUE
 SUITE 100
 SAN DIEGO, CA 92101

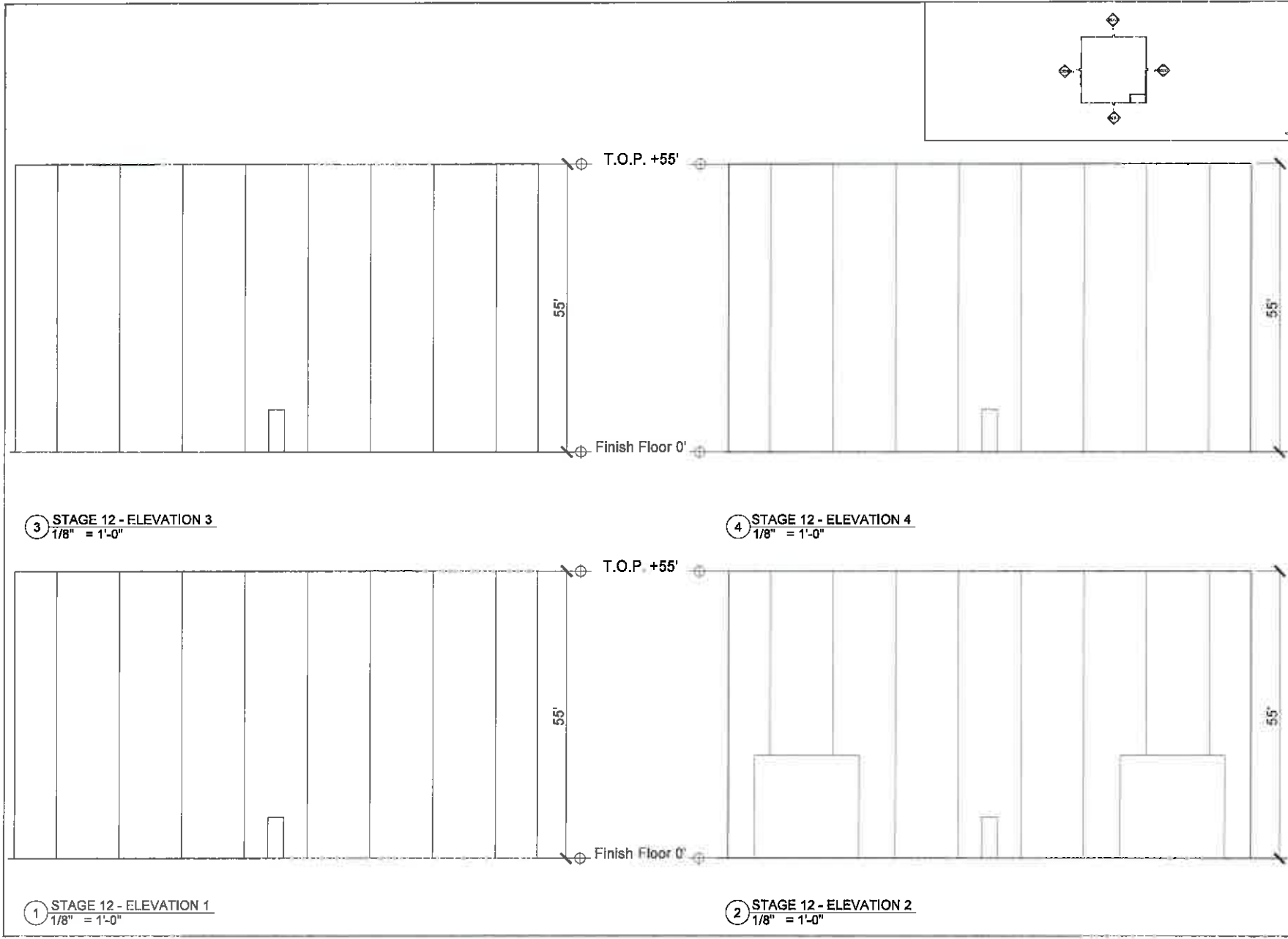
PROJECT:

GRANDA & CAPITAL
 V&E RUBEN CHAS
 SAN DIEGO, CA

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48	REVISED	03/05/19
49	REVISED	03/05/19
50	REVISED	03/05/19

ARCHITECTURAL
 20125 1/8" = 1'-0"

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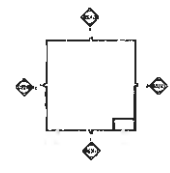


③ STAGE 12 - ELEVATION 3
1/8" = 1'-0"

④ STAGE 12 - ELEVATION 4
1/8" = 1'-0"

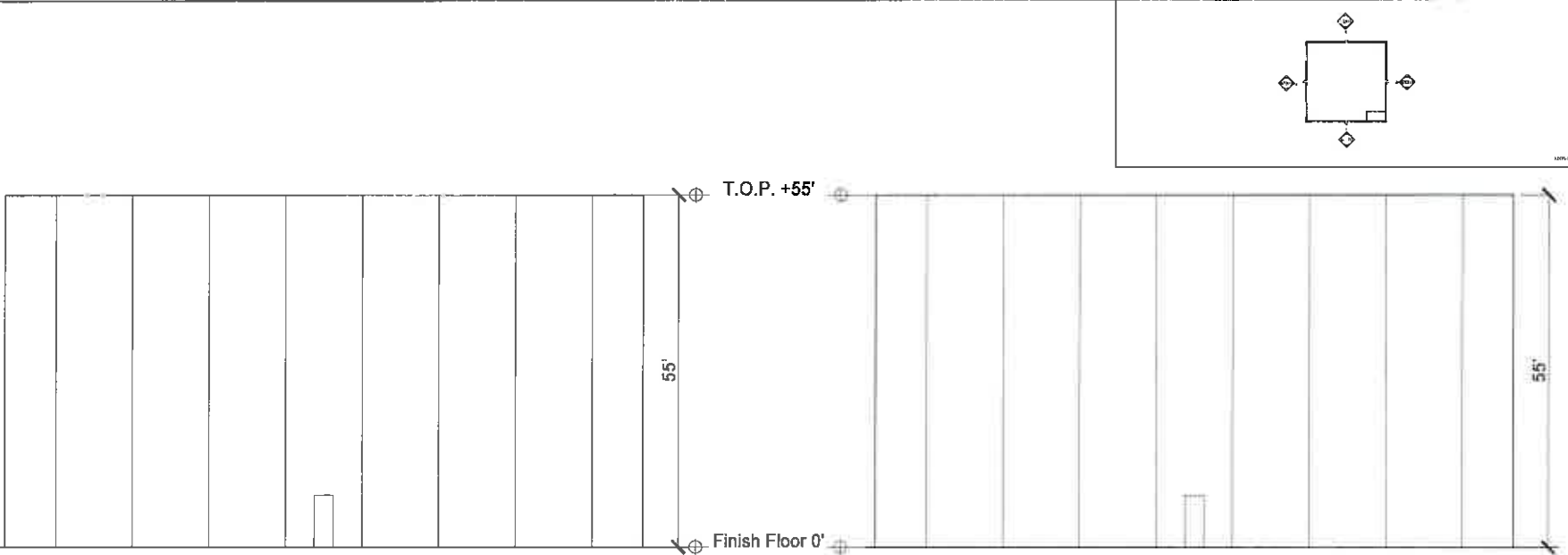
① STAGE 12 - ELEVATION 1
1/8" = 1'-0"

② STAGE 12 - ELEVATION 2
1/8" = 1'-0"



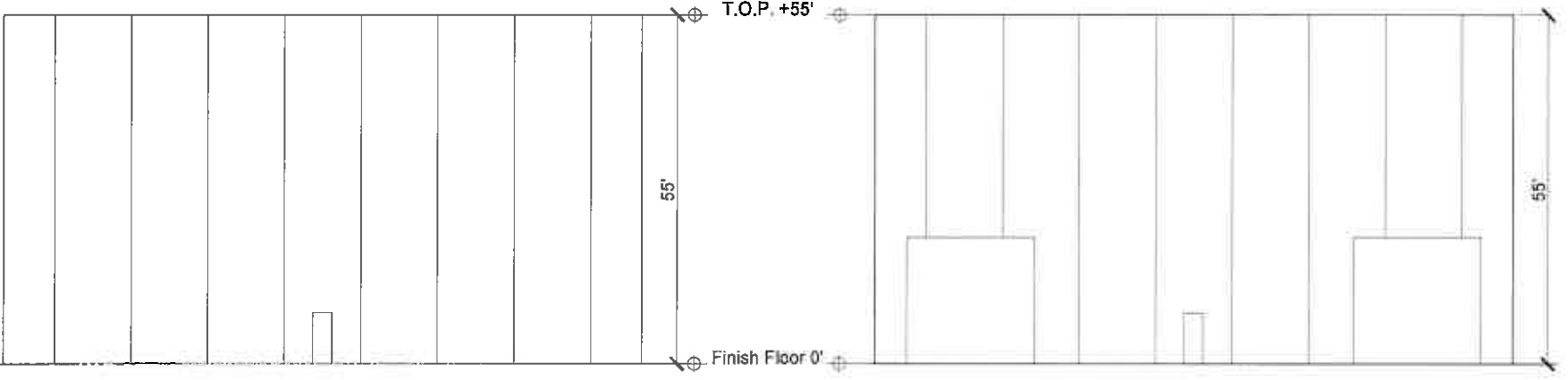
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CLIENT:	
ARCHITECT:	
PRAXIS	
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NO.	DATE
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18	02/11/15
19	02/11/15
20	02/11/15
ARCHITECTED BY	
GRANDAYE STUDIOS AT BANNING BANNING, CA	
DATE ELEVATIONS	
ARCHITECTURAL	
P-20210517	
DR: J.P. 36	REVIS: WD
DATE: 20125	SHEET: A5310

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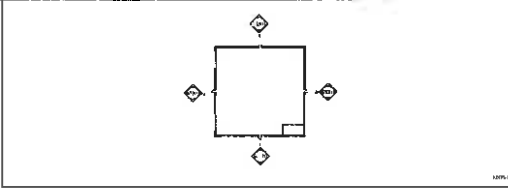
③ STAGE 13 - ELEVATION 3
 1/8" = 1'-0"

④ STAGE 13 - ELEVATION 4
 1/8" = 1'-0"



① STAGE 13 - ELEVATION 1
 1/8" = 1'-0"

② STAGE 13 - ELEVATION 2
 1/8" = 1'-0"







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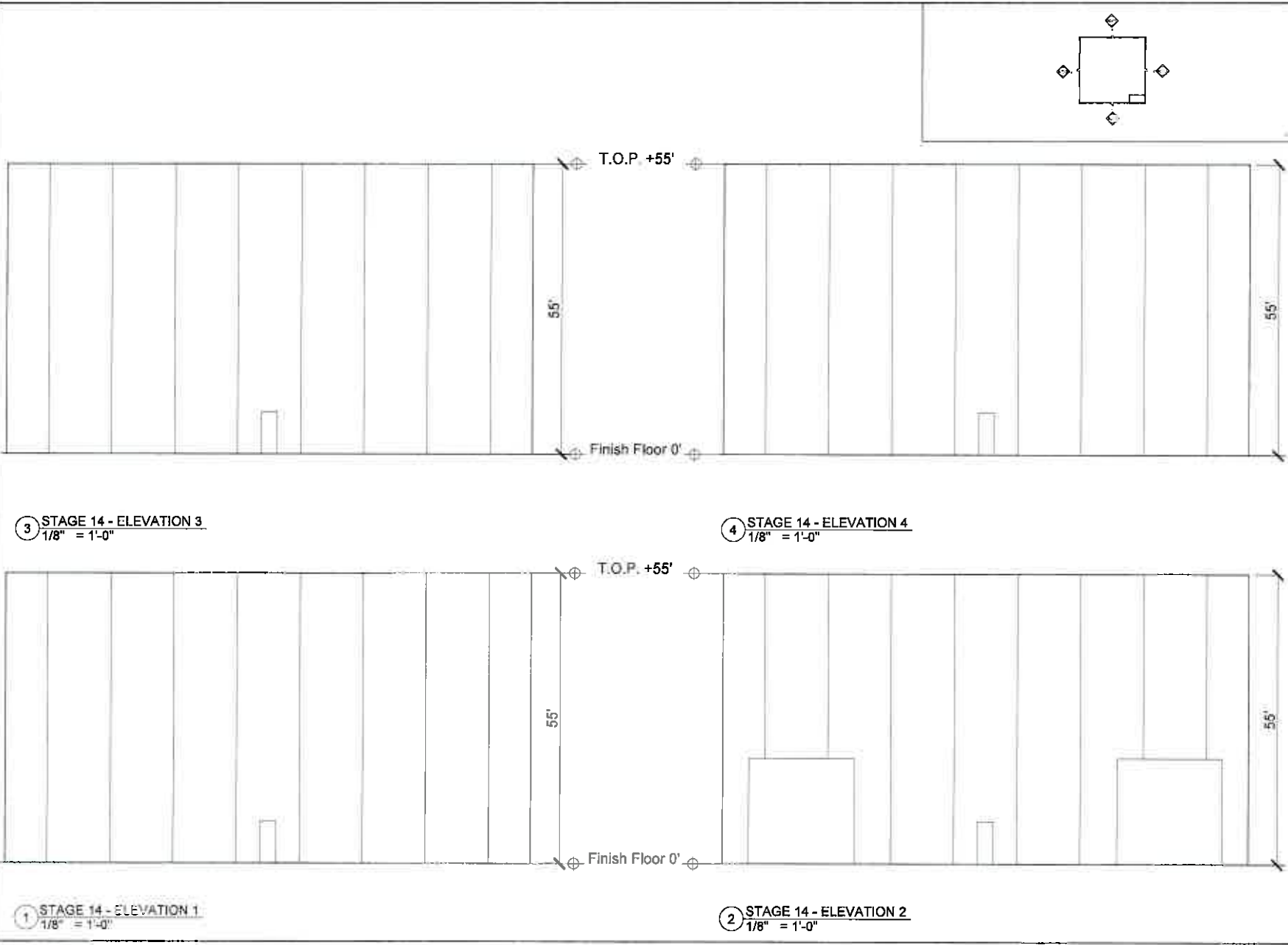
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<small>NO.</small>	<small>DATE</small>
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98	02/20/28
99	03/20/28
100	04/20/28

GRANDDAVE STUDIOS AT BANKING
BANKING, CA

STAGE 13 ELEVATIONS

ARCHITECTURAL
19-2021030107

<small>DATE PLOTTED</small>	<small>SCALE</small>
20125	1/8" = 1'-0"
<small>DATE</small>	<small>BY</small>
20125	A53 1



GSE ARCHITECT & INTERIORS, INC.
 1100 N. 10th Street, Suite 100
 Aurora, CO 80010
 Phone: (303) 751-1100
 Fax: (303) 751-1101
 www.gseai.com

PROJECT: [REDACTED]
 FCF STADAL DESIGN
 No. 2

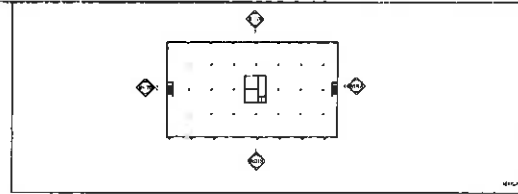
DATE: [REDACTED]
 OR PLAN: [REDACTED]
 BY: [REDACTED]

NO.	DESCRIPTION	DATE
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2019/12/04/10:00 AM
 10/10/2019

3742 - 4226-00

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CSB ARCHITECTS & INTERIORS, INC.
 10000 SAN DIEGO AVENUE, SUITE 1000
 SAN DIEGO, CA 92125
 TEL: 619.594.1100
 FAX: 619.594.1101
 WWW.CSBARCHITECTS.COM

PROJECT NAME

PROJECT NO.

CLIENT NAME

G. JORDAN CAPITAL
 MR. RUBEN BLAS
 SAN DIEGO, CA

DATE

BY

DATE

BY

DATE

BY

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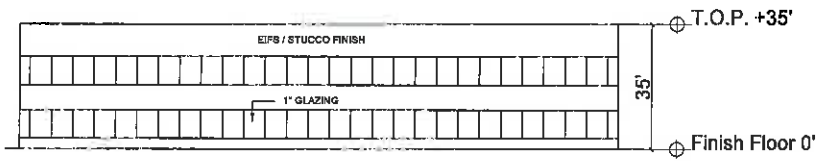
DATE

BY

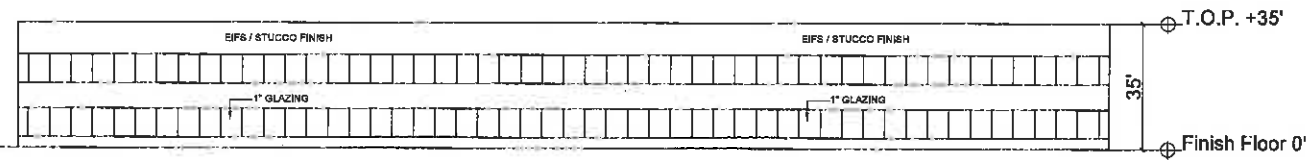
DATE

BY

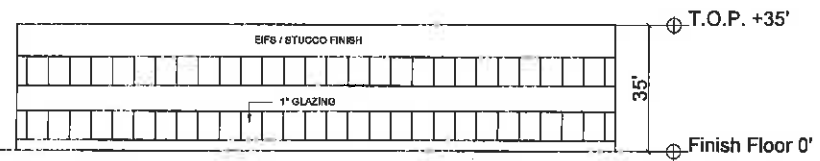
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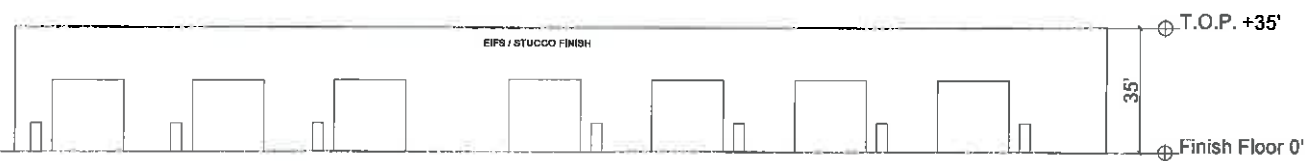
4 OFFICE 4 - ELEVATION 4
 1/16" = 1'-0"



3 OFFICE 4 - ELEVATION 3
 1/16" = 1'-0"



2 OFFICE 4 - ELEVATION 2
 1/16" = 1'-0"



1 OFFICE 4 - ELEVATION 1
 1/16" = 1'-0"

G. JORDAN CAPITAL AT BANKING
 BANKING, CA

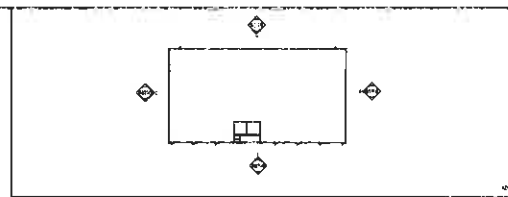
OFFICE 4 ELEVATIONS

ARCHITECTURAL
 ELEVATIONS

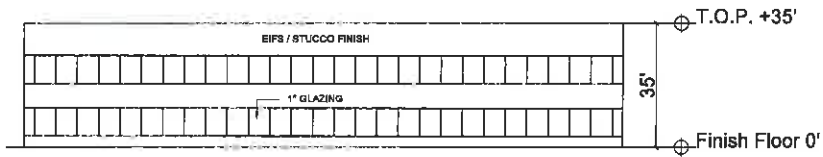
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DATE 2012/5

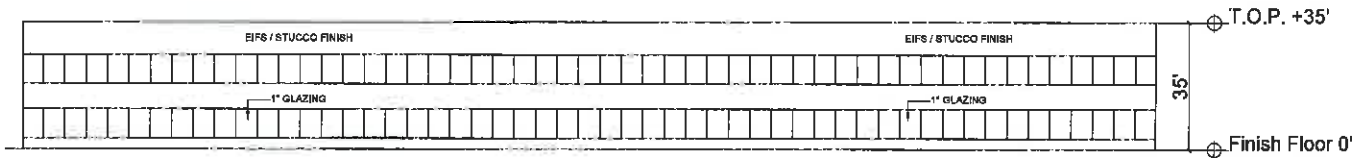
BY A5313



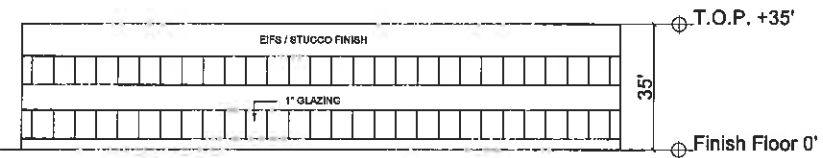
CSBP ARCHITECTS & INTERIORS, INC.
 ARCHITECTS & INTERIORS
 5555 LA JOLLA VILLAGE DRIVE, SUITE 100
 SAN DIEGO, CA 92131
 (619) 594-1100



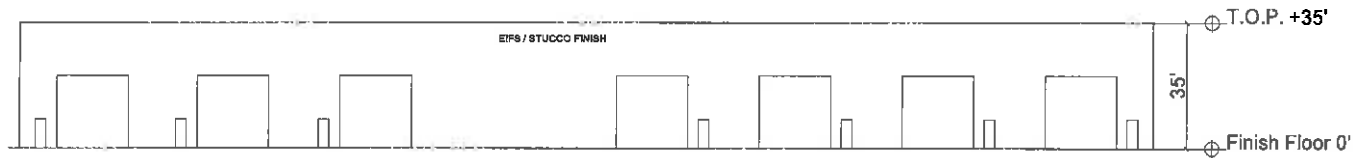
④ FLEX - ELEVATION 4
 1/16" = 1'-0"



③ FLEX - ELEVATION 3
 1/16" = 1'-0"



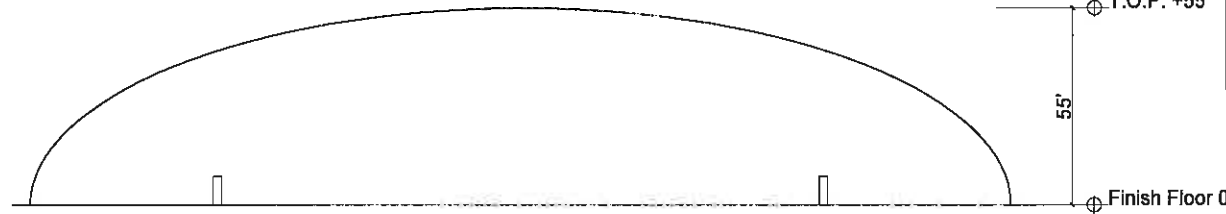
② FLEX - ELEVATION 2
 1/16" = 1'-0"



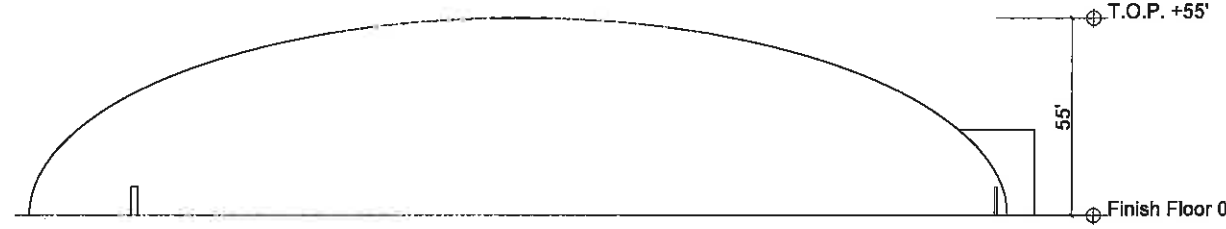
① FLEX - ELEVATION 1
 1/16" = 1'-0"

PROJECT NO.	
DATE	
DESCRIPTION	
OWNER	GRANDAVE CAPITAL MR. RUBIN ELIAS SAN DIEGO, CA
ARCHITECT	CSBP ARCHITECTS & INTERIORS, INC.
DATE	
DESCRIPTION	
OWNER	GRANDAVE STUDIOS AT BANING BANING, CA
ARCHITECT	CSBP ARCHITECTS & INTERIORS, INC.
DATE	
DESCRIPTION	FLEX ELEVATIONS
ARCHITECTURAL	
PROJECT NO.	20125
DATE	08
DESCRIPTION	20125
PROJECT NO.	A5314

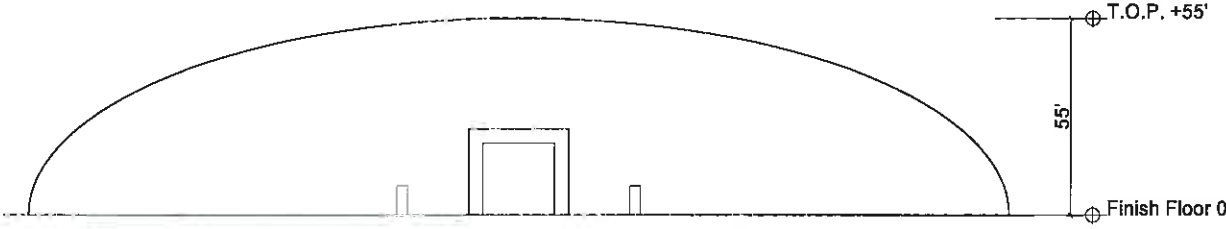
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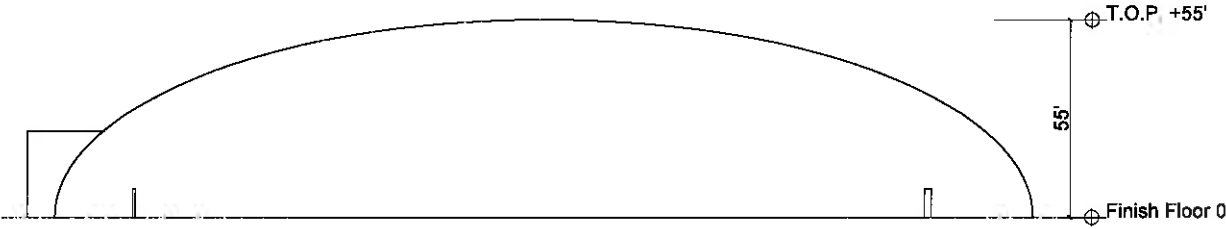
4 STAGE DOME 15 - ELEVATION 4
 1/16" = 1'-0"



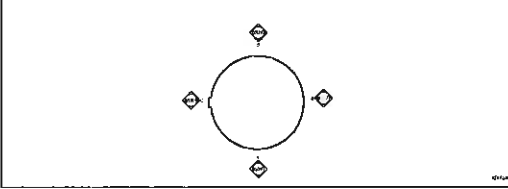
3 STAGE DOME 15 - ELEVATION 3
 1/16" = 1'-0"





2 STAGE DOME 15 - ELEVATION 2
 1/16" = 1'-0"



1 STAGE DOME 15 - ELEVATION 1
 1/16" = 1'-0"







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 1000 AVENUE 100, SUITE 100
 SAN DIEGO, CA 92108
 TEL: 619.594.8888
 WWW.GSEARCHITECTS.COM

PROJECT

GRAND AVE CAPITAL
 VIK RUPPEN ISLAS
 SAN DIEGO, CA

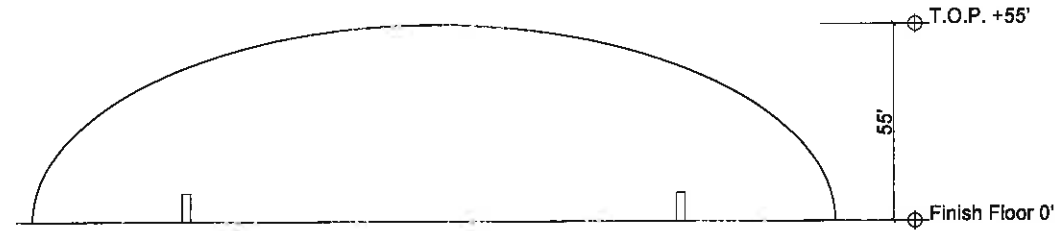
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50	ISSUE FOR PERMITS	08/21/2019

ARCHITECTURAL

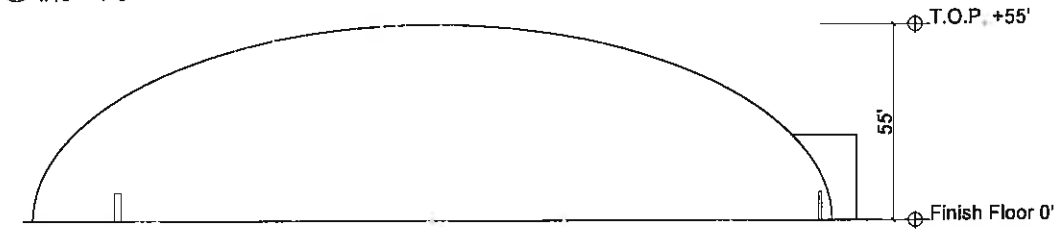
STAGE DOME 15 ELEVATIONS

DATE: 08/21/2019	SCALE: 1/16" = 1'-0"
PROJECT: GRAND AVE CAPITAL	DATE: 08/21/2019
NO. 55	REV. 18 WD
20125	AS315

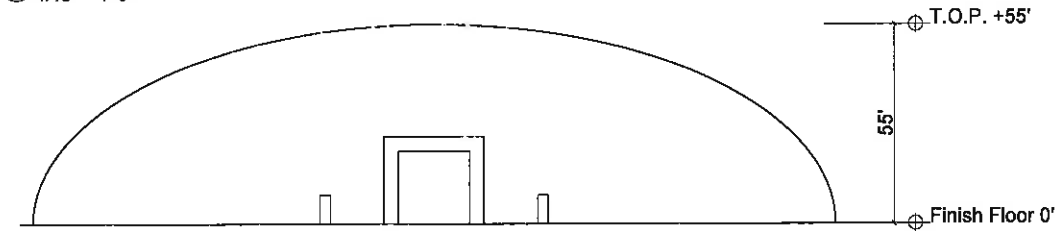
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4 STAGE DOME 16 & 17 - ELEVATION 4
 1/16" = 1'-0"



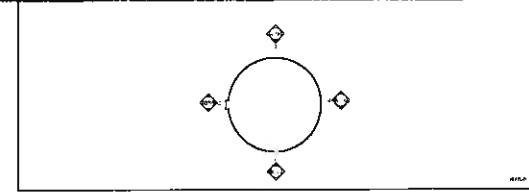
3 STAGE DOME 16 & 17 - ELEVATION 3
 1/16" = 1'-0"



2 STAGE DOME 16 & 17 - ELEVATION 2
 1/16" = 1'-0"



1 STAGE DOME 16 & 17 - ELEVATION 1
 1/16" = 1'-0"



GSB ARCHITECTS & INTERIORS, INC.
 1000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CALIFORNIA 92161

PROJECT
 GRAND OCEANIC CENTER

PROJECT LOCATION
 1000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CALIFORNIA 92161

CLIENT
 GRAND OCEANIC CENTER
 1000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CALIFORNIA 92161

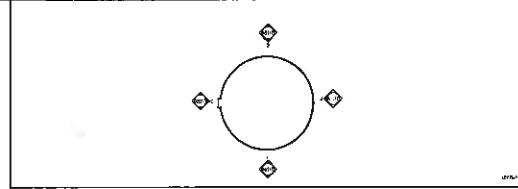
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50	ISSUED FOR PERMITS	08/15/16

ARCHITECT
 GSB ARCHITECTS & INTERIORS, INC.
 1000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CALIFORNIA 92161

PROJECT LOCATION
 1000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CALIFORNIA 92161

ARCHITECTURAL
 SHEET NO. 35
 20125 AS316

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 1000 LA JOLLA VILLAGE DRIVE, SUITE 100
 SAN DIEGO, CA 92161
 (619) 444-1111

DATE: 01/14/20

PROJECT NO:

NO. ORIGINAL
 OF TOTAL SETS

PROJECT:

GRANDA & CAPITAL
 UK RUGBY ISLAND
 SAN DIEGO, CA

DATE:

BY:

SCALE:

DESCRIPTION:

REVISIONS:

NO.

DATE

BY

DESCRIPTION

NO.

DATE

BY

DESCRIPTION

NO.

DATE

BY

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NO.

DATE

BY

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DATE

BY

DESCRIPTION

NO.

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BY

DESCRIPTION

NO.

DATE

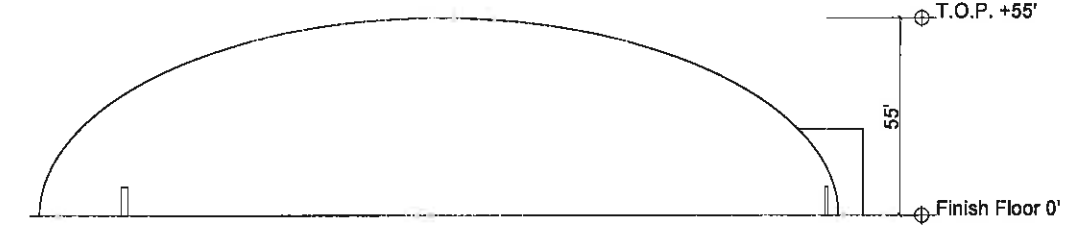
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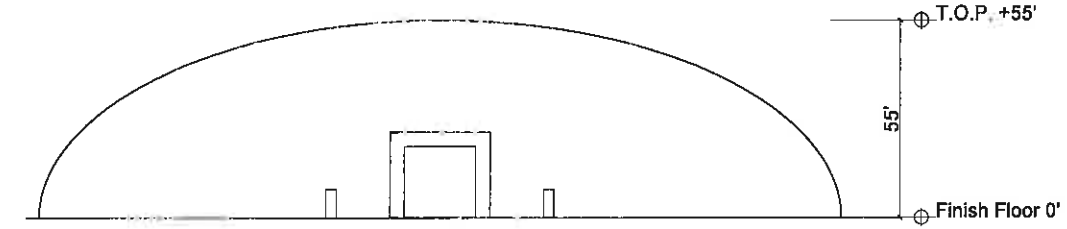
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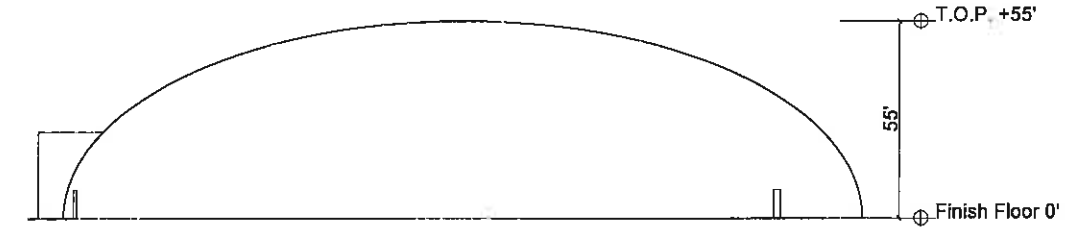
4 STAGE DOME 16 & 17 - ELEVATION 4
 1/16" = 1'-0"



3 STAGE DOME 16 & 17 - ELEVATION 3
 1/16" = 1'-0"



2 STAGE DOME 16 & 17 - ELEVATION 2
 1/16" = 1'-0"



1 STAGE DOME 16 & 17 - ELEVATION 1
 1/16" = 1'-0"

ARCHITECTURAL

DATE: 01/14/20

SCALE: AS SHOWN

PROJECT: GRANDA & CAPITAL

NO. ORIGINAL OF TOTAL SETS

DATE: 01/14/20

BY: [Signature]

SCALE: AS SHOWN

PROJECT: GRANDA & CAPITAL

NO. ORIGINAL OF TOTAL SETS

DATE: 01/14/20

BY: [Signature]

SCALE: AS SHOWN

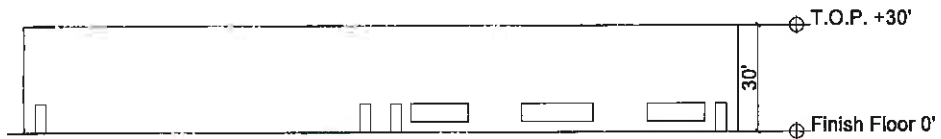
PROJECT: GRANDA & CAPITAL

NO. ORIGINAL OF TOTAL SETS

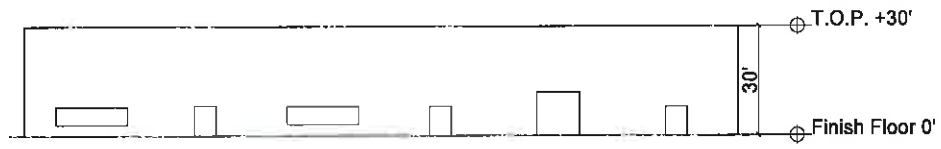
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BY: [Signature]

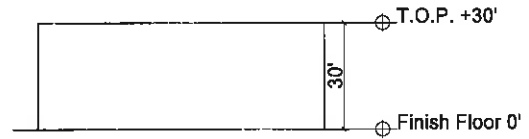
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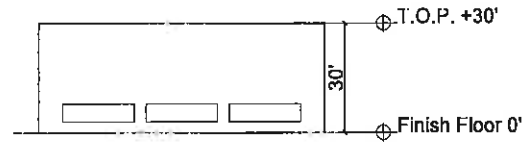
3 FACILITIES - ELEVATION 3
 1/16" = 1'-0"



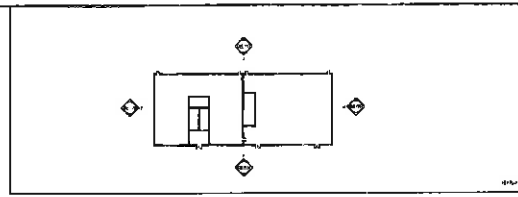
1 FACILITIES - ELEVATION 1
 1/16" = 1'-0"



4 FACILITIES - ELEVATION 4
 1/16" = 1'-0"



2 FACILITIES - ELEVATION 2
 1/16" = 1'-0"



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 WWW.GSBARCH.COM

PROJECT
 GRANDVALE CAPITAL
 1000 MARIN AVENUE, SUITE 100
 SAN FRANCISCO, CA 94102

ARCHITECT
 GSB ARCHITECTS & INTERIORS, INC.
 1000 MARIN AVENUE, SUITE 100
 SAN FRANCISCO, CA 94102

CLIENT
 GRANDVALE CAPITAL
 1000 MARIN AVENUE, SUITE 100
 SAN FRANCISCO, CA 94102

NO.	DESCRIPTION	DATE
1	PRELIMINARY	05-20-18
2	REVISED	05-20-18
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28	REVISED	05-20-18
29	REVISED	05-20-18
30	REVISED	05-20-18

DATE PLOTTED: 05/20/18 10:00 AM

PROJECT
 GRANDVALE CAPITAL
 1000 MARIN AVENUE, SUITE 100
 SAN FRANCISCO, CA 94102

ARCHITECT
 GSB ARCHITECTS & INTERIORS, INC.
 1000 MARIN AVENUE, SUITE 100
 SAN FRANCISCO, CA 94102

ARCHITECTURAL
 SHEET 05
 20125 AS318



TSB ARCHITECTS & INTERIORS, INC.
 108 QUAIL HOLLOW DR.
 SUITE 100
 GAITHERSBURG, MD 20878

PROF. CAD/3D
 CIVIL/ARCH DESIGN
 10/22

WORKS CDTA
 10/22/2013

DATE: 10/22/2013
 TIME: 10:00 AM

PROJECT: [REDACTED]

SHEET NO.: [REDACTED]

DRAWN BY: [REDACTED]

CHECKED BY: [REDACTED]

DATE: [REDACTED]

SCALE: [REDACTED]

PROJECT NO.: [REDACTED]

10/22/2013

10/22/2013

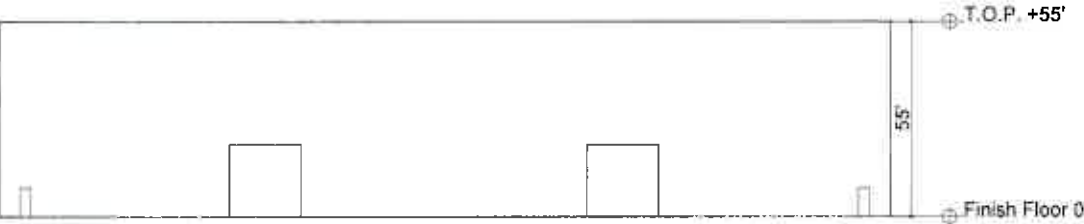
10/22/2013

10/22/2013

10/22/2013

10/22/2013

10/22/2013



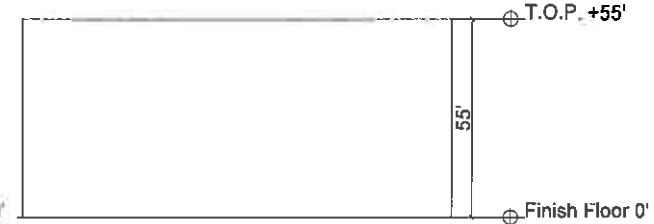
3 WATER STAGE - ELEVATION 3
 1/16" = 1'-0"



4 WATER STAGE - ELEVATION 4
 1/16" = 1'-0"

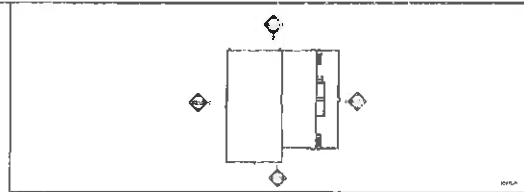


1 WATER STAGE - ELEVATION 1
 1/16" = 1'-0"



2 WATER STAGE - ELEVATION 2
 1/16" = 1'-0"

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 10000 SAN DIEGO ROAD
 SAN DIEGO, CA 92131
 TEL: 619.594.8888

PROJECT NO.
 CLIENT
 ARCHITECT

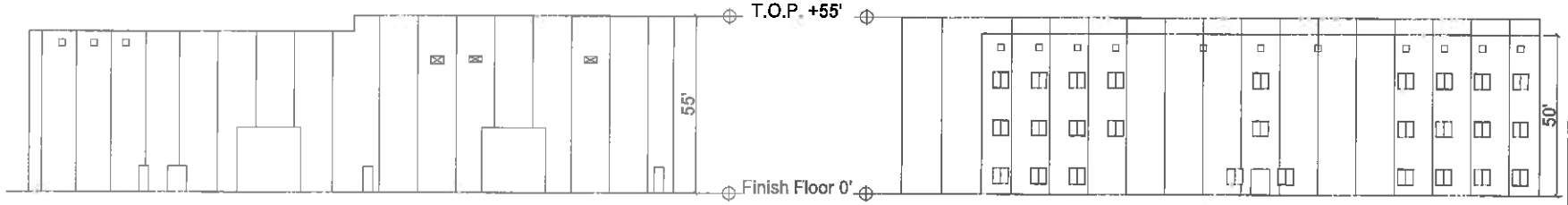
GRANDA & CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
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GRANDA & STUDIOS AT BANNING
 BANNING, CA

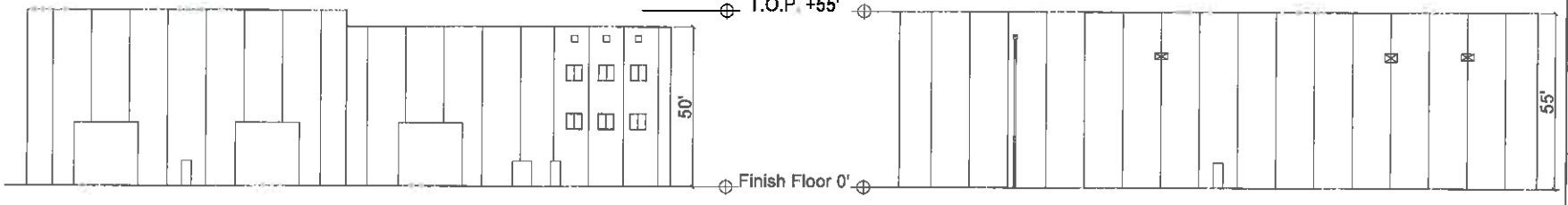
STAGE 1 - ELEVATIONS

ARCHITECTURAL 0-822-105207	DATE: 08/14/19	SCALE: 1/16" = 1'-0"
20125	20125	A5320



3 STAGE 1 - ELEVATION 3
 1/16" = 1'-0"

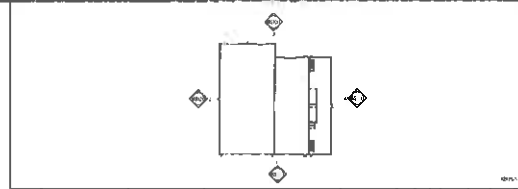
4 STAGE 1 - ELEVATION 4
 1/16" = 1'-0"



1 STAGE 1 - ELEVATION 1
 1/16" = 1'-0"

2 STAGE 1 - ELEVATION 2
 1/16" = 1'-0"

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 1000 LA JOLLA VILLAGE DRIVE, SUITE 100
 SAN DIEGO, CA 92161
 TEL: 619.451.1000
 WWW.OSBARCHITECT.COM

PROJECT NO.

DATE

PO: CRANDALL
 CRANDALL DESIGN
 INC.

PROJECT NAME

GRANDAYE CAPITAL
 VIK RUBEN ISLAS
 SAN DIEGO, CA

NO. OF SHEETS

1

OF 1

DATE

1/18/18

SCALE

AS SHOWN

PROJECT LOCATION

1000 LA JOLLA VILLAGE DRIVE, SUITE 100

SAN DIEGO, CA 92161

PROJECT NO.

18-001

DATE

1/18/18

SCALE

AS SHOWN

PROJECT LOCATION

1000 LA JOLLA VILLAGE DRIVE, SUITE 100

SAN DIEGO, CA 92161

PROJECT NO.

18-001

DATE

1/18/18

SCALE

AS SHOWN

PROJECT LOCATION

1000 LA JOLLA VILLAGE DRIVE, SUITE 100

SAN DIEGO, CA 92161

PROJECT NO.

18-001

DATE

1/18/18

SCALE

AS SHOWN

PROJECT LOCATION

1000 LA JOLLA VILLAGE DRIVE, SUITE 100

SAN DIEGO, CA 92161

PROJECT NO.

18-001

DATE

1/18/18

SCALE

AS SHOWN

PROJECT LOCATION

1000 LA JOLLA VILLAGE DRIVE, SUITE 100

SAN DIEGO, CA 92161

PROJECT NO.

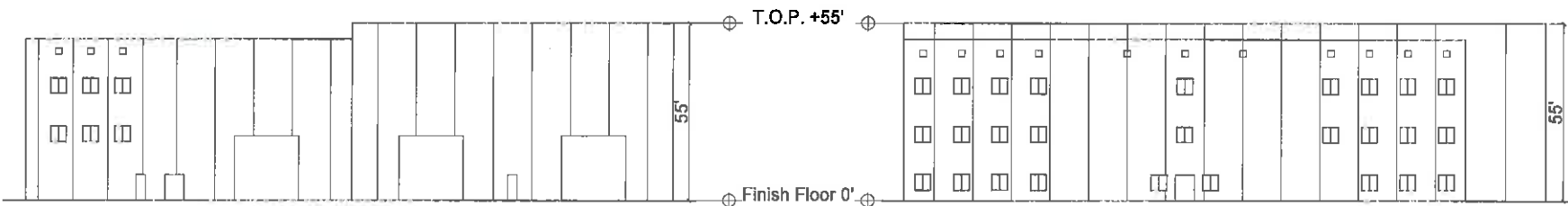
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DATE

1/18/18

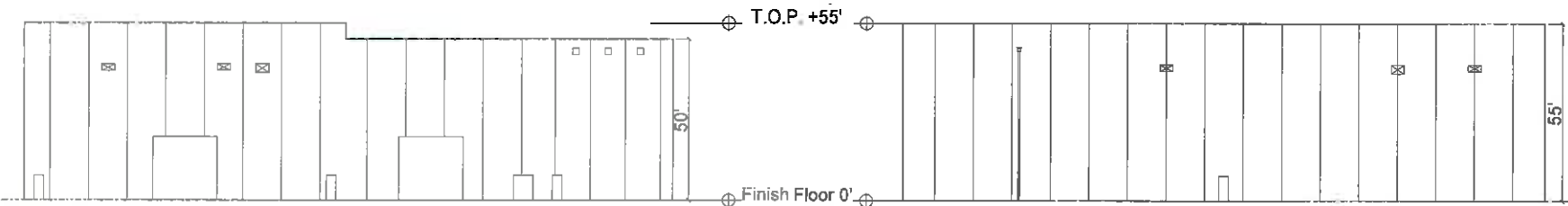
SCALE

AS SHOWN



3 STAGE 2 - ELEVATION 3
 1/16" = 1'-0"

4 STAGE 2 - ELEVATION 4
 1/16" = 1'-0"



1 STAGE 2 - ELEVATION 1
 1/16" = 1'-0"

2 STAGE 2 - ELEVATION 2
 1/16" = 1'-0"

ARCHITECTURAL

PROJECT NO.

18-001

DATE

1/18/18

SCALE

AS SHOWN

PROJECT LOCATION

1000 LA JOLLA VILLAGE DRIVE, SUITE 100

SAN DIEGO, CA 92161

PROJECT NO.

18-001

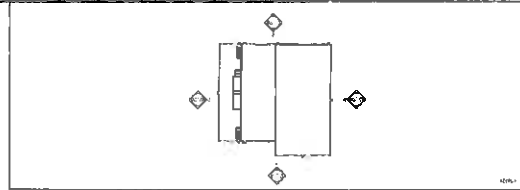
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1/18/18

SCALE

AS SHOWN

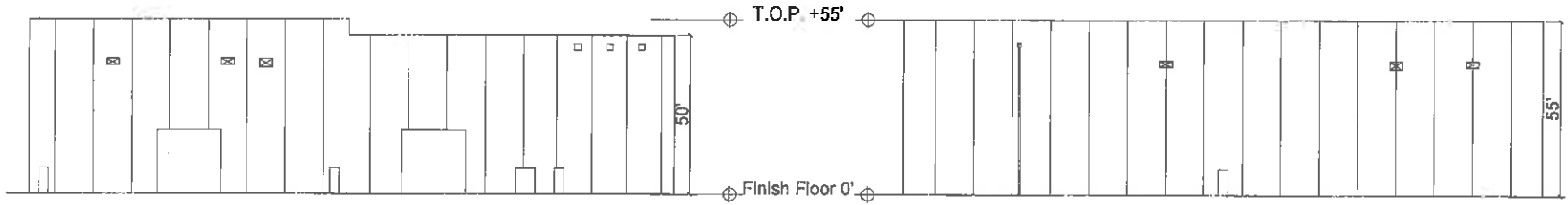
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 1111 K STREET
 SAN DIEGO, CA 92101
 (619) 594-1111
 www.gsbarchitects.com

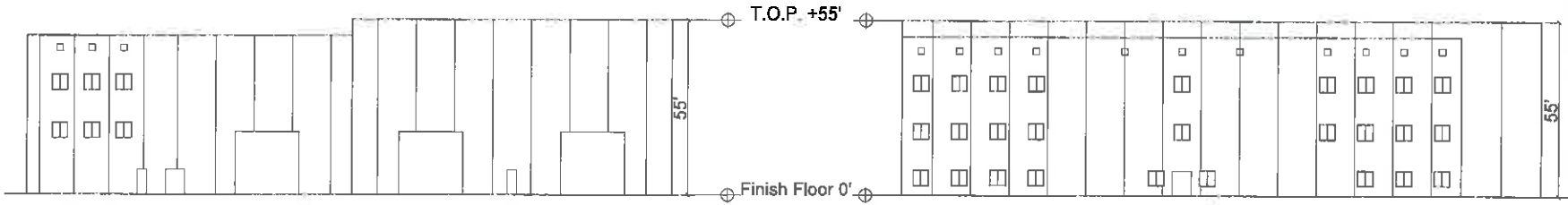
PROJECT
 GRANDA T. CARTA
 VIK RUBEN ISLANDS
 SAN DIEGO, CA

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3 STAGE 3 - ELEVATION 3
 1/16" = 1'-0"

4 STAGE 3 - ELEVATION 4
 1/16" = 1'-0"



1 STAGE 3 - ELEVATION 1
 1/16" = 1'-0"

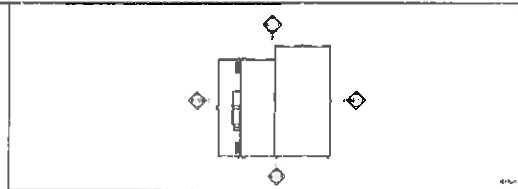
2 STAGE 3 - ELEVATION 2
 1/16" = 1'-0"

GRANDAYE STUDIOS AT BANMING
 BANMING, CA

STAGE 3 ELEVATIONS

ARCHITECTURAL	
# 20210507	
DATE: 05	ISSUED: 05
DATE: 05	ISSUED: 05
20125	AS322

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GRS ARCHITECTS & INTERIORS, INC.
 4000 TORO, SUITE 400
 SAN DIEGO, CA 92108
 TEL: 619.594.1111
 WWW.GRSARCH.COM

PROJECT
 GRANDVALE CAPITAL
 V/R RUBEN ISLAS
 SAN DIEGO, CA

DATE
 11/15/2019

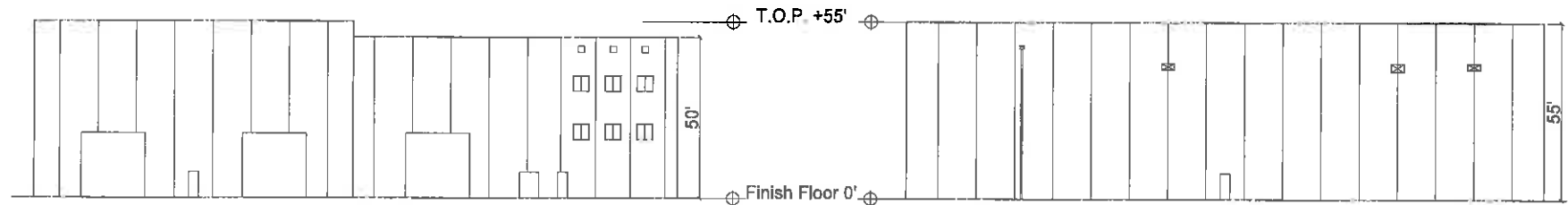
PROJECT
 GRANDVALE CAPITAL
 V/R RUBEN ISLAS
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
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47	ISSUED FOR PERMITS	11/15/2019
48	ISSUED FOR PERMITS	11/15/2019
49	ISSUED FOR PERMITS	11/15/2019
50	ISSUED FOR PERMITS	11/15/2019

PROJECT
 GRANDVALE STUDIOS AT BANNING
 BANNING, CA

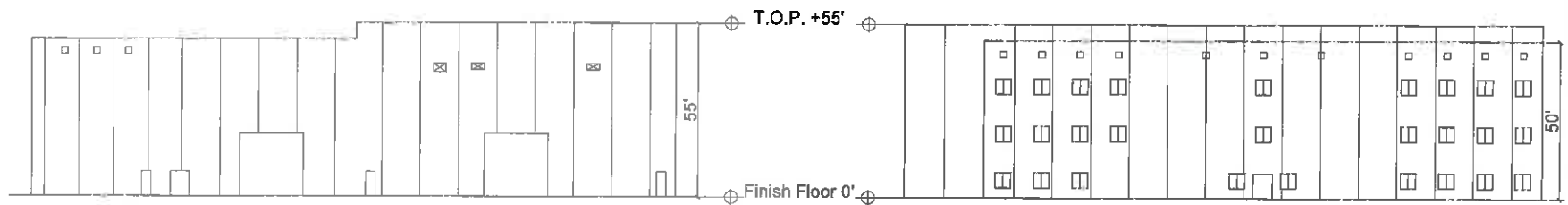
PROJECT
 STAGE 4 ELEVATIONS

ARCHITECTURAL	
SCHEDULE	
DATE: 05/15/2019	PROJECT: 190
DATE: 05/15/2019	PROJECT: 190
20125	A5323



3 STAGE 4 - ELEVATION 3
 1/16" = 1'-0"

4 STAGE 4 - ELEVATION 4
 1/16" = 1'-0"



1 STAGE 4 - ELEVATION 1
 1/16" = 1'-0"

2 STAGE 4 - ELEVATION 2
 1/16" = 1'-0"

ELEVATION 1



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1750 SHERBORN DR.
SUITE 300
SAN FRANCISCO, CA 94104
Tel: (415) 774-0000
www.gsi.com

FEE SCHEDULE
PERCENT OF GENERAL CONTRACTOR'S FEE

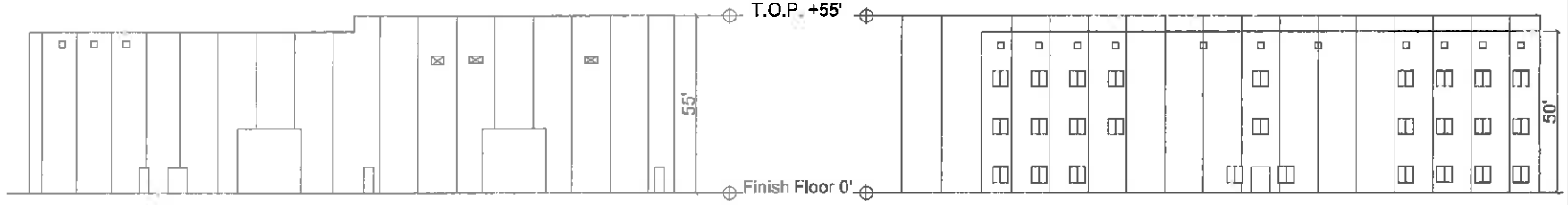
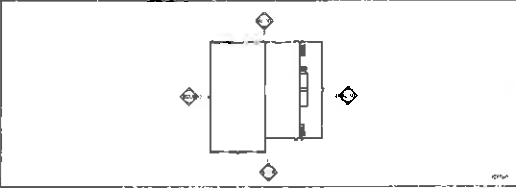
CLIENT
GRANDVALE CAPITAL
MR. RUBEN BLAS
SAN DIEGO, CA

NO.	DESCRIPTION	AMOUNT
1	PERCENT	25.00%
2	PERCENT	25.00%
3	PERCENT	25.00%
4	PERCENT	25.00%
5	PERCENT	25.00%
6	PERCENT	25.00%
7	PERCENT	25.00%
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9	PERCENT	25.00%
10	PERCENT	25.00%
11	PERCENT	25.00%
12	PERCENT	25.00%
13	PERCENT	25.00%
14	PERCENT	25.00%
15	PERCENT	25.00%
16	PERCENT	25.00%
17	PERCENT	25.00%
18	PERCENT	25.00%
19	PERCENT	25.00%
20	PERCENT	25.00%

SPANDRUE STUDIOS AT SPANING
SPANING, CA

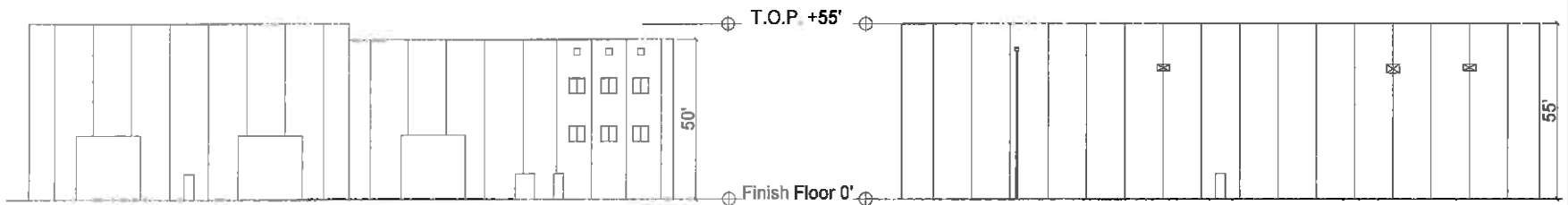
STAGE 5 ELEVATION S

ARCHITECTURAL			
DATE	PROJECT NO.	REVISED	ISSUE
2012.05	0507		
2012.5			A5324



3 STAGE 5 - ELEVATION 3
1/16" = 1'-0"

4 STAGE 5 - ELEVATION 4
1/16" = 1'-0"

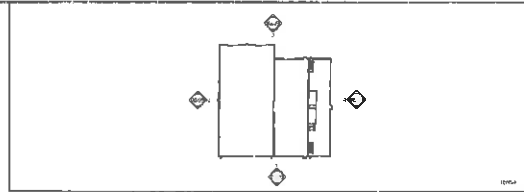


1 STAGE 5 - ELEVATION 1
1/16" = 1'-0"

2 STAGE 5 - ELEVATION 2
1/16" = 1'-0"

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 11500 SAN VICENTE BLVD
 SUITE 200
 SAN DIEGO, CA 92130
 www.gsbarchitect.com

PROJECT NO.
 19-00000000-00

PROJECT NAME
 GRANDVALE STUDIOS AT BANNING
 BANNING, CA

PROJECT OWNER
 GRANDVALE CAPITAL
 MR. RUBEN ISLAS
 5701 DIZAO, CA

DATE
 11/15/2019

SCALE
 1/16" = 1'-0"

DATE
 11/15/2019

DATE
 11/15/2019

DATE
 11/15/2019

DATE
 11/15/2019

DATE
 11/15/2019

DATE
 11/15/2019

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 11/15/2019

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 11/15/2019

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 11/15/2019

DATE
 11/15/2019

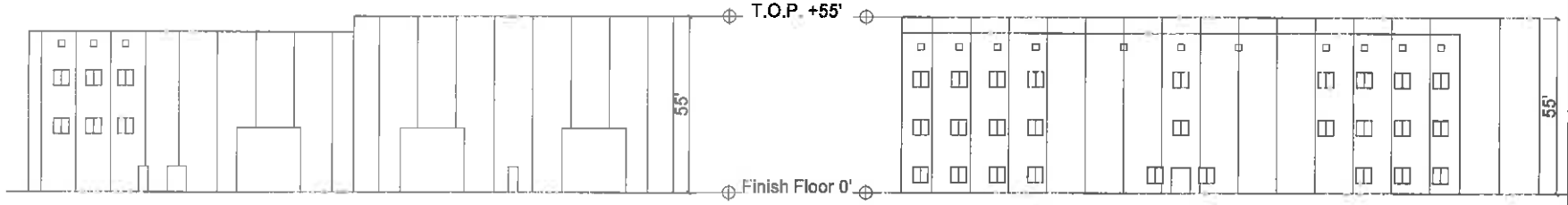
DATE
 11/15/2019

DATE
 11/15/2019

DATE
 11/15/2019

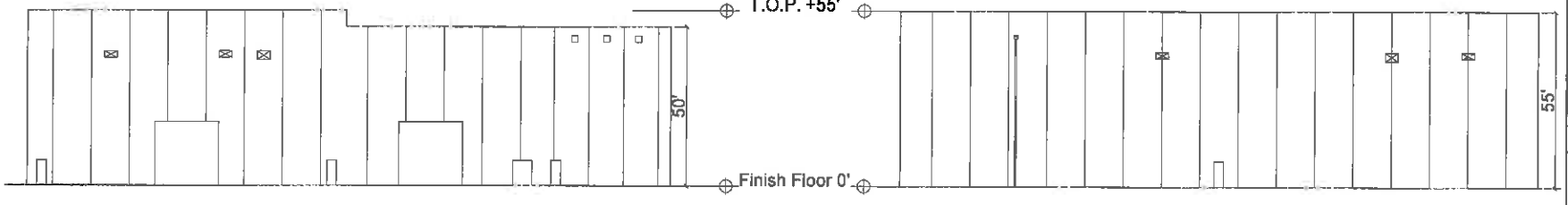
DATE
 11/15/2019

DATE
 11/15/2019



3 STAGE 6 - ELEVATION 3
 1/16" = 1'-0"

4 STAGE 6 - ELEVATION 4
 1/16" = 1'-0"



1 STAGE 6 - ELEVATION 1
 1/16" = 1'-0"

2 STAGE 6 - ELEVATION 2
 1/16" = 1'-0"

ARCHITECTURAL
 PROJECT NO. 19-00000000-00

DATE
 11/15/2019

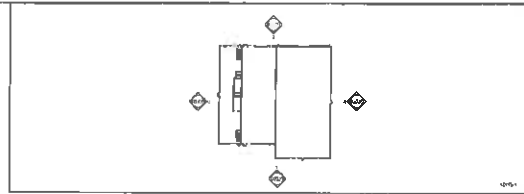
DATE
 11/15/2019

DATE
 11/15/2019

DATE
 11/15/2019

DATE
 11/15/2019

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CSB ARCHITECTS & INTERIORS, INC.
 10111 - 16th St
 San Diego, CA 92128
 (619) 594-1111

PROJECT NO.

CLIENT NAME

PROJECT

GRANDHILL CENTRAL
 VIL. RUBEN BLAS
 SAN DIEGO, CA

NO. OF SHEETS

SHEET NO.

DATE

SCALE

DESIGNED BY

CHECKED BY

DATE

SCALE

DESIGNED BY

CHECKED BY

DATE

SCALE

DESIGNED BY

CHECKED BY

DATE

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DATE

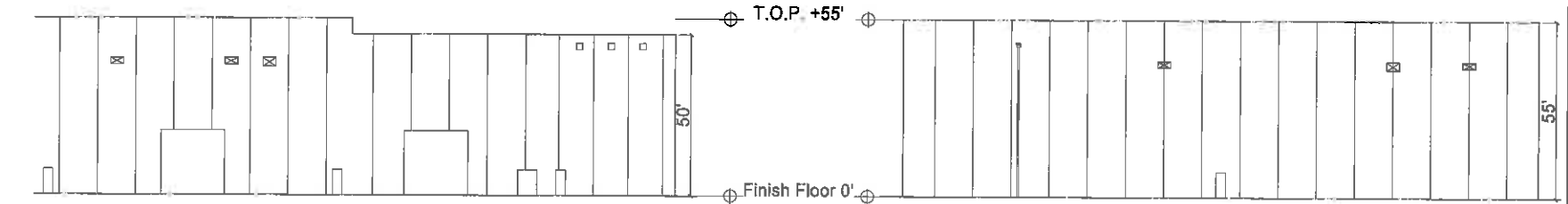
SCALE

DESIGNED BY

CHECKED BY

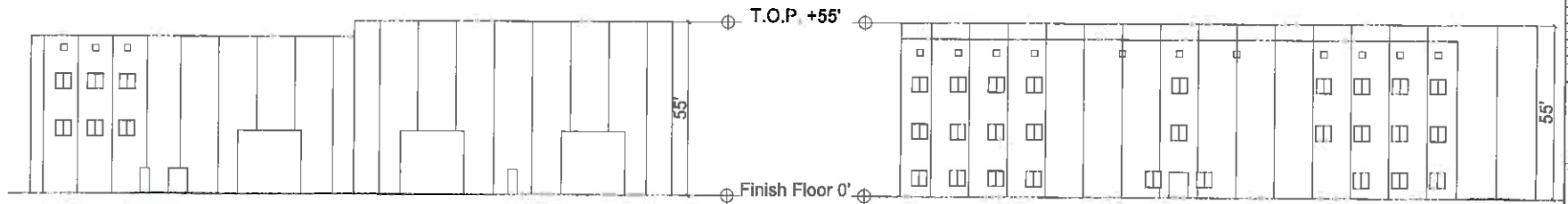
DATE

SCALE



3 STAGE 7 - ELEVATION 3
 1/16" = 1'-0"

4 STAGE 7 - ELEVATION 4
 1/16" = 1'-0"



1 STAGE 7 - ELEVATION 1
 1/16" = 1'-0"

2 STAGE 7 - ELEVATION 2
 1/16" = 1'-0"

SPADRIVE STUDIOS AT BANNING
 BANNING, CA

STAGE 7 ELEVATIONS

ARCHITECTURAL

DATE

SCALE

DESIGNED BY

CHECKED BY

DATE

SCALE

DESIGNED BY

CHECKED BY

DATE

SCALE

DESIGNED BY

CHECKED BY

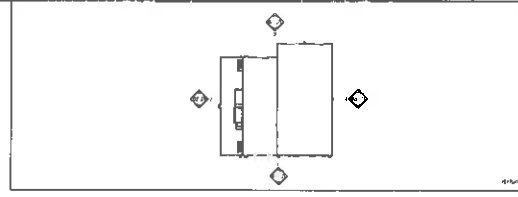
DATE

SCALE

DESIGNED BY

CHECKED BY

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 SAN DIEGO, CA 92121
 TEL: 619.444.1111
 WWW.GSRARCHITECT.COM

PROJECT No.

ARCHITECT

PO: CRANDALL
 CRANDALL DESIGN
 INC.

PREPARED BY

GRANDAVE CAPITAL
 MR. RUBEN ELIAS
 SAN DIEGO, CA

DESIGN DEVELOPER

1. DESIGN DEVELOPER

2. ARCHITECT

3. CONTRACTOR

4. GENERAL CONTRACTOR

5. MECHANICAL CONTRACTOR

6. ELECTRICAL CONTRACTOR

7. PLUMBING CONTRACTOR

8. ROOFING CONTRACTOR

9. GLASS CURTAIN WALL CONTRACTOR

10. INTERIORS CONTRACTOR

11. LANDSCAPE ARCHITECT

12. SPECIALTY CONTRACTOR

13. SIGNAGE CONTRACTOR

14. SECURITY CONTRACTOR

15. AV CONTRACTOR

16. FURNITURE CONTRACTOR

17. LIGHTING CONTRACTOR

18. PAINT CONTRACTOR

19. OTHER CONTRACTOR

20. OTHER CONTRACTOR

21. OTHER CONTRACTOR

22. OTHER CONTRACTOR

23. OTHER CONTRACTOR

24. OTHER CONTRACTOR

25. OTHER CONTRACTOR

26. OTHER CONTRACTOR

27. OTHER CONTRACTOR

28. OTHER CONTRACTOR

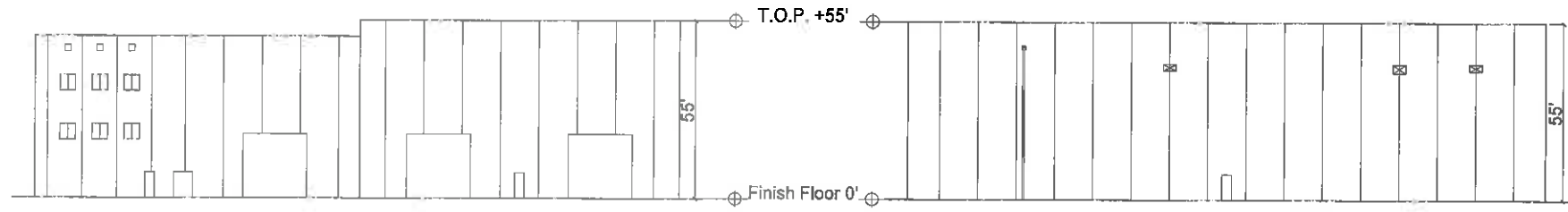
29. OTHER CONTRACTOR

30. OTHER CONTRACTOR

31. OTHER CONTRACTOR

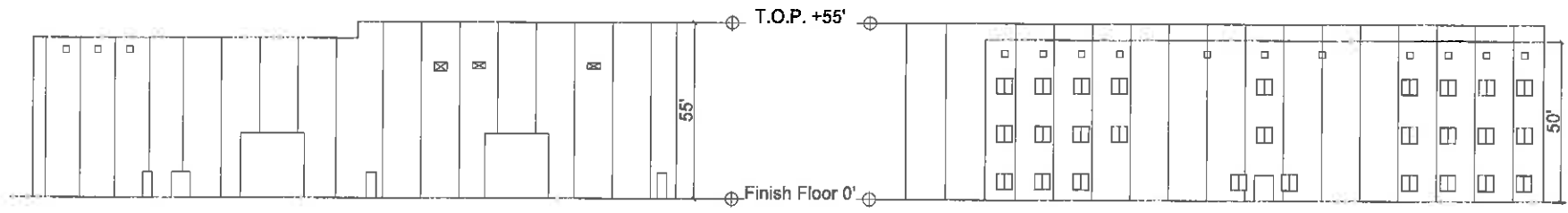
32. OTHER CONTRACTOR

33. OTHER CONTRACTOR



3 STAGE 8 - ELEVATION 3
 1/16" = 1'-0"

4 STAGE 8 - ELEVATION 4
 1/16" = 1'-0"



1 STAGE 8 - ELEVATION 1
 1/16" = 1'-0"

2 STAGE 8 - ELEVATION 2
 1/16" = 1'-0"

ARCHITECTURAL

NO. 2018.10.007

DATE: 05

NO. 2018.10.007

DATE: 05

NO. 2018.10.007

DATE: 05

NO. 2018.10.007

DATE: 05

NO. 2018.10.007

DATE: 05

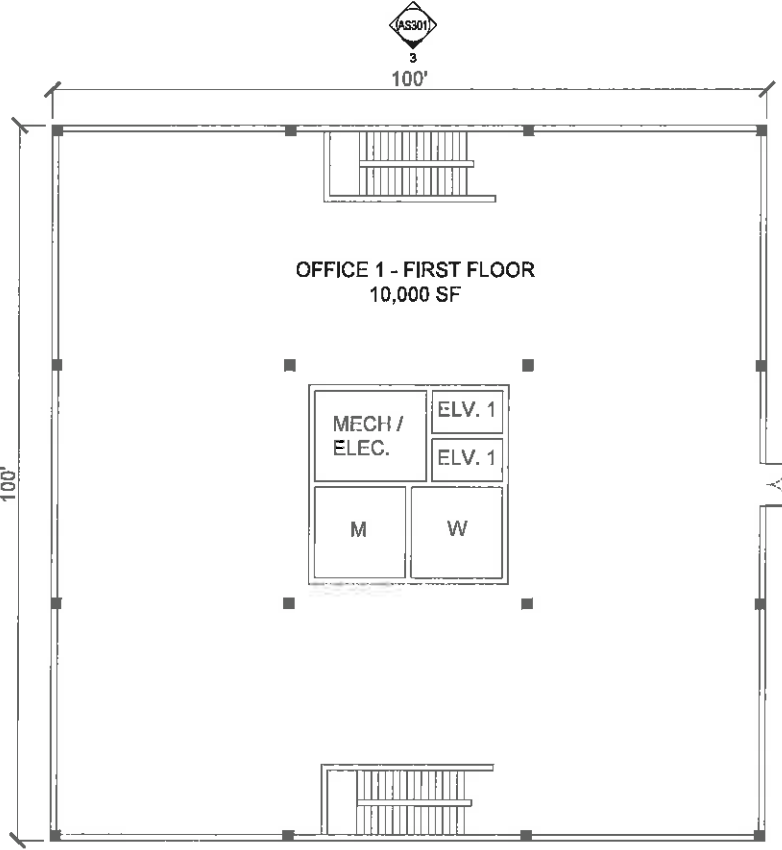
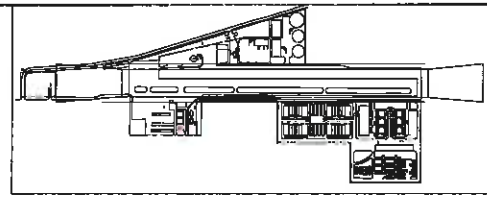
NO. 2018.10.007

DATE: 05

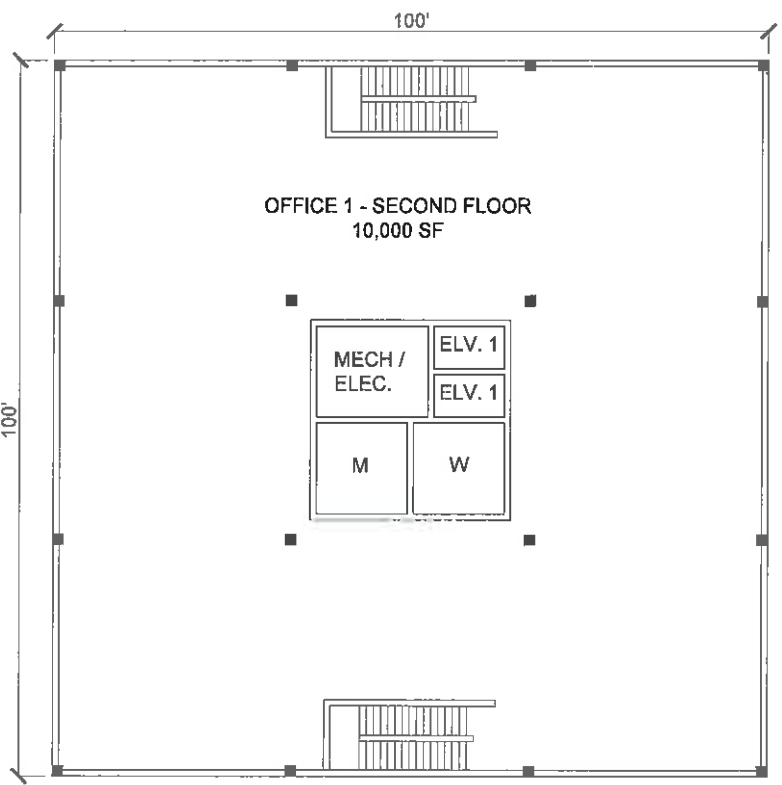
NO. 2018.10.007

DATE: 05

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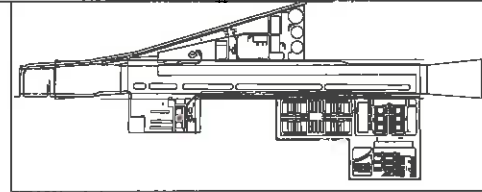


1 OFFICE 1 - FIRST FLOOR
 1/8" = 1'-0"



2 OFFICE 1 - SECOND FLOOR
 1/8" = 1'-0"

GRANDVALE CAPITAL 1000 RIVER ST SAN DIEGO, CA	
PROJECT NO. 20125	SHEET NO. AS201
ARCHITECTURAL 20125 AS201	

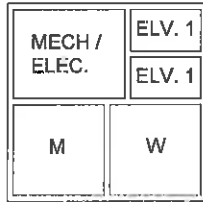


GSB ARCHITECTS & INTERIORS, INC.
 1000 G STREET, SUITE 100
 SAN DIEGO, CALIFORNIA 92101
 TEL: 619.594.8888
 WWW.GSBARCHITECTS.COM

AS302
3

100'

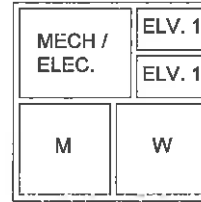
OFFICE 2 - FIRST FLOOR
10,000 SF



AS302
2

100'

OFFICE 2 - SECOND FLOOR
10,000 SF



AS302
4

100'

AS302
1

1 OFFICE 2 - FIRST FLOOR
1/8" = 1'-0"

2 OFFICE 2 - SECOND FLOOR
1/8" = 1'-0"

PROJECT NO.

PROJECT NAME
 PROJECT LOCATION
 PROJECT OWNER
 PROJECT ARCHITECT

PROJECT NO. 20125
 PROJECT NAME GRANDVALE CAPITAL
 PROJECT LOCATION 1400 RUIBEN ISLAS
 PROJECT OWNER SAN DIEGO, CA

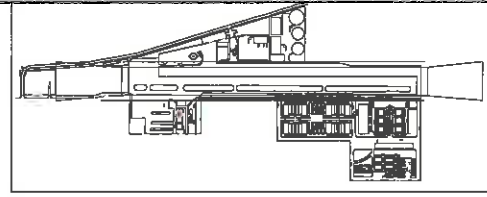
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2	PRELIMINARY DESIGN	09/12/12
3	FINAL DESIGN	10/18/12
4	CONSTRUCTION ADMINISTRATION	11/01/12
5	PROJECT COMPLETION	11/01/12
6	PROJECT CLOSURE	11/01/12
7	PROJECT ARCHIVE	11/01/12
8	PROJECT REVIEW	11/01/12
9	PROJECT REPORTING	11/01/12
10	PROJECT CLOSEOUT	11/01/12
11	PROJECT ARCHIVE	11/01/12
12	PROJECT REVIEW	11/01/12
13	PROJECT REPORTING	11/01/12
14	PROJECT CLOSEOUT	11/01/12
15	PROJECT ARCHIVE	11/01/12
16	PROJECT REVIEW	11/01/12
17	PROJECT REPORTING	11/01/12
18	PROJECT CLOSEOUT	11/01/12
19	PROJECT ARCHIVE	11/01/12
20	PROJECT REVIEW	11/01/12
21	PROJECT REPORTING	11/01/12
22	PROJECT CLOSEOUT	11/01/12
23	PROJECT ARCHIVE	11/01/12
24	PROJECT REVIEW	11/01/12
25	PROJECT REPORTING	11/01/12
26	PROJECT CLOSEOUT	11/01/12
27	PROJECT ARCHIVE	11/01/12
28	PROJECT REVIEW	11/01/12
29	PROJECT REPORTING	11/01/12
30	PROJECT CLOSEOUT	11/01/12

PROJECT ARCHITECT
 PROJECT ARCHITECT
 PROJECT ARCHITECT

PROJECT NO. 20125
 PROJECT NAME GRANDVALE CAPITAL
 PROJECT LOCATION 1400 RUIBEN ISLAS
 PROJECT OWNER SAN DIEGO, CA

ARCHITECTURAL
 SHEET 105/107
 DATE 08/14/12
 20125 AS202

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 SUITE 100
 SAN DIEGO, CA 92125
 TEL: 619.594.1100
 WWW.GSBARCHITECT.COM

PROJECT NO. 20125

P.O. CRANDALL
 CRANDALL "STUDIO"
 P.O. BOX 100

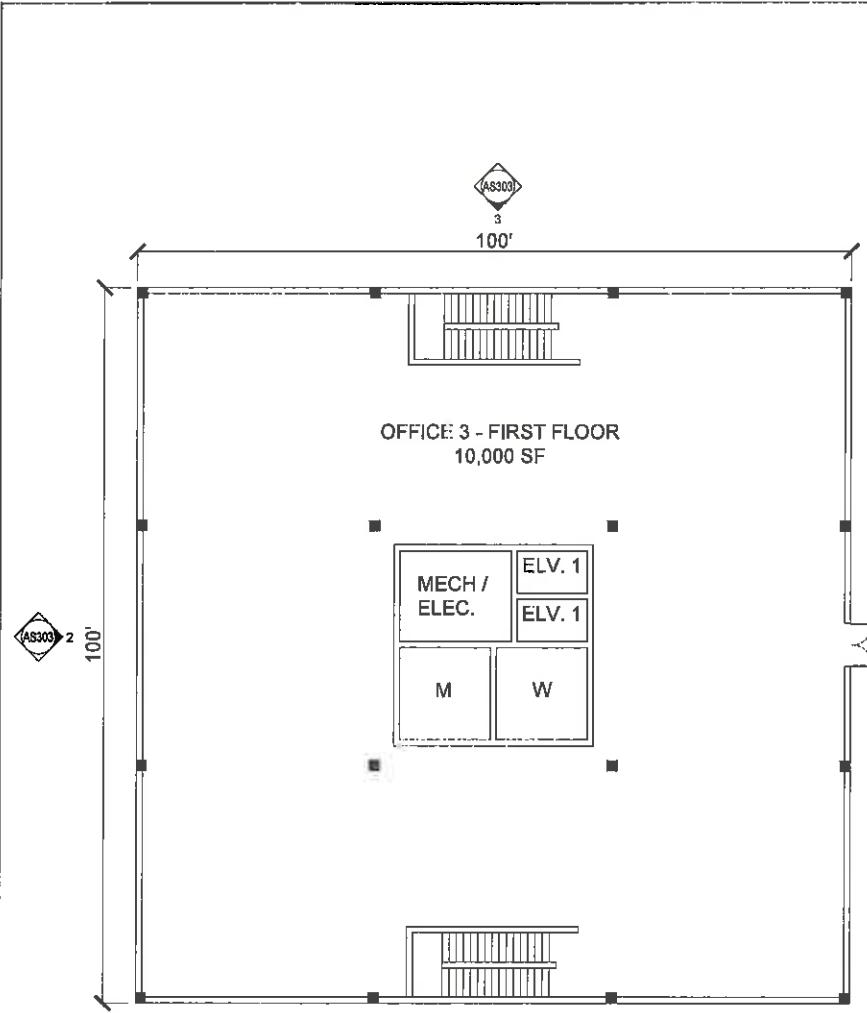
GRANDAVE CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
1	BY: [Signature]	12/20/12
2	BY: [Signature]	01/17/13
3	BY: [Signature]	02/14/13
4	BY: [Signature]	03/14/13
5	BY: [Signature]	04/14/13
6	BY: [Signature]	05/14/13
7	BY: [Signature]	06/14/13
8	BY: [Signature]	07/14/13
9	BY: [Signature]	08/14/13
10	BY: [Signature]	09/14/13
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14	BY: [Signature]	01/14/14
15	BY: [Signature]	02/14/14
16	BY: [Signature]	03/14/14
17	BY: [Signature]	04/14/14
18	BY: [Signature]	05/14/14
19	BY: [Signature]	06/14/14
20	BY: [Signature]	07/14/14
21	BY: [Signature]	08/14/14
22	BY: [Signature]	09/14/14
23	BY: [Signature]	10/14/14
24	BY: [Signature]	11/14/14
25	BY: [Signature]	12/14/14

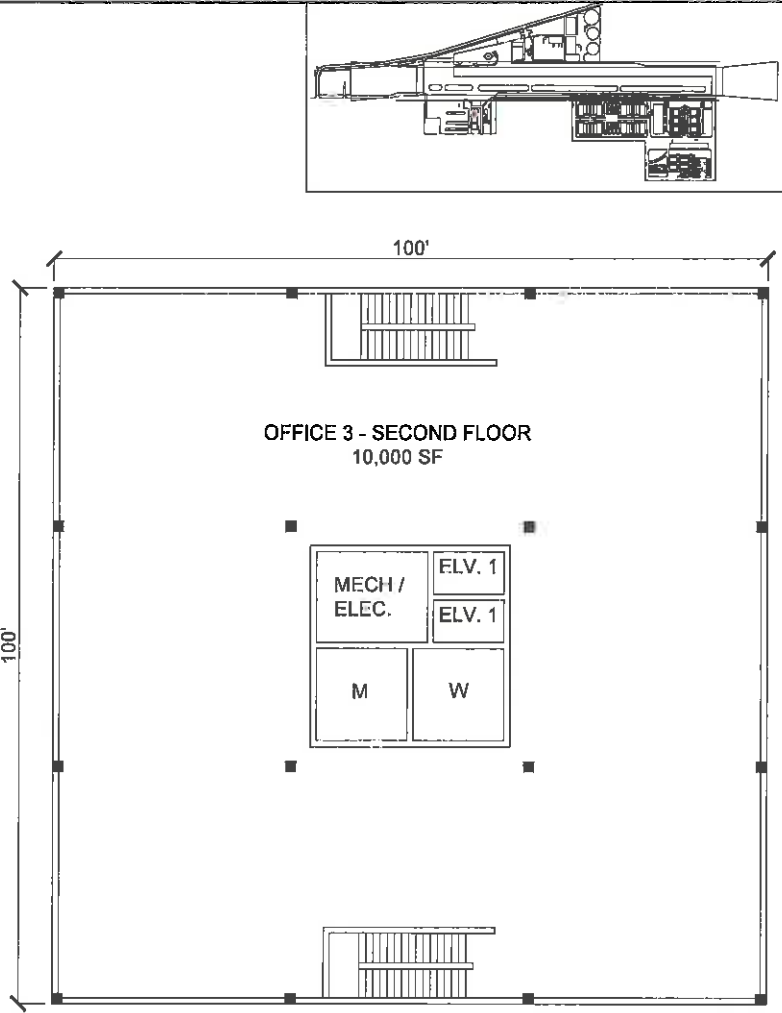
GRANDAVE STUDIOS AT BANKING
 BANKING, CA

OFFICE 3

ARCHITECTURAL NO. 2021/AS203	DATE: 08/14/14	BY: [Signature]
20125	AS203	



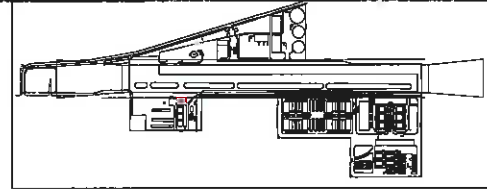
1 OFFICE 3 - FIRST FLOOR
 1/8" = 1'-0"



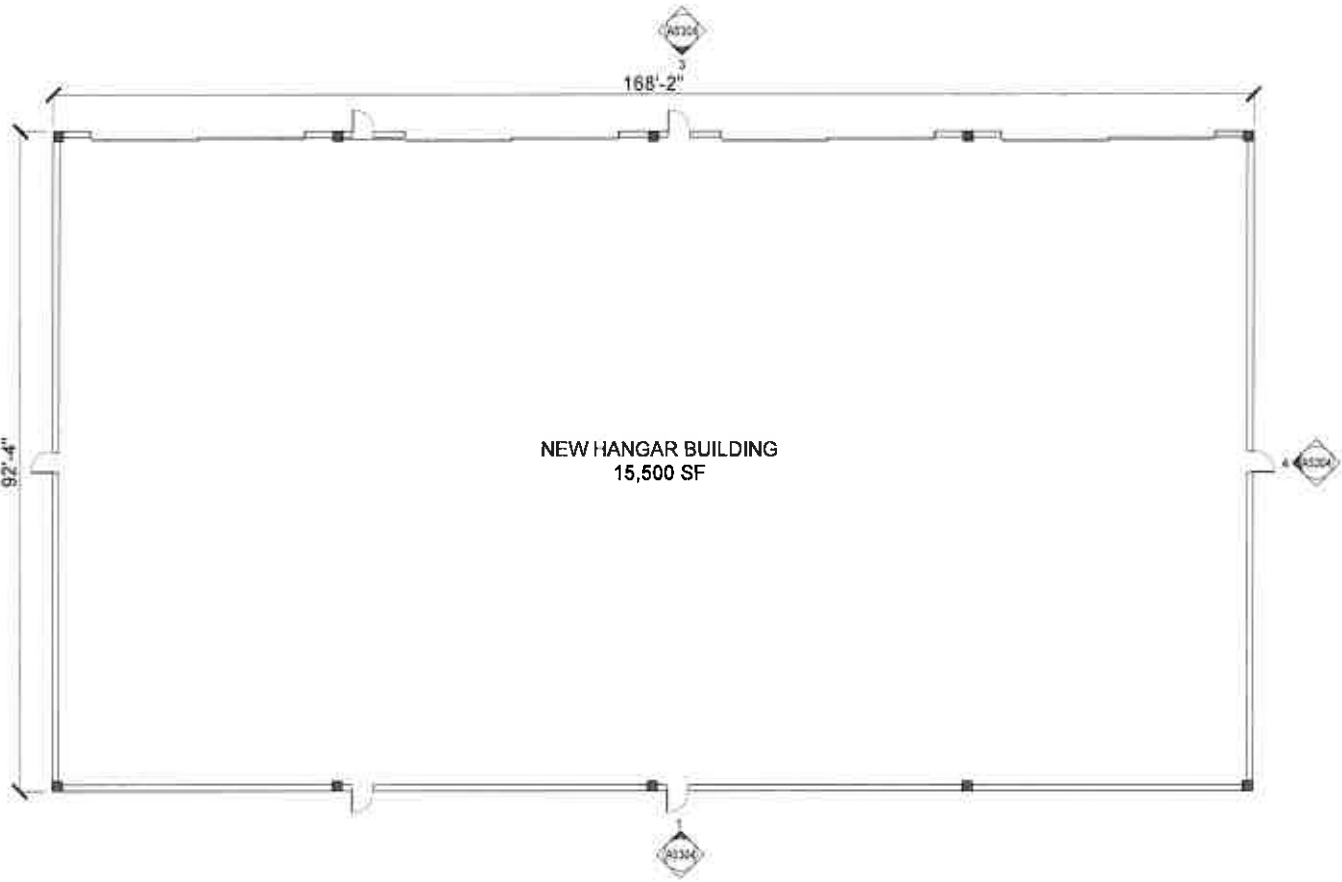
2 OFFICE 3 - SECOND FLOOR
 1/8" = 1'-0"

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 SAN DIEGO, CA 92101
 (619) 594-1100
 www.gsbarchitects.com



1 NEW HANGAR BUILDING
 1/8" = 1'-0"

PROJ. NO.
 201205

PROJ. NAME
 GRANDIAZ CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

PROJ. NO.
 201205

PROJ. NAME
 GRANDIAZ CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

PROJ. NO.
 201205

PROJ. NAME
 GRANDIAZ CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

PROJ. NO.
 201205

PROJ. NAME
 GRANDIAZ CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

PROJ. NO.
 201205

PROJ. NAME
 GRANDIAZ CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

PROJ. NO.
 201205

PROJ. NAME
 GRANDIAZ STUDIOS AT BANKING
 SANMING, CA

PROJ. NO.
 201205

PROJ. NAME
 NEW HANGAR BUILDING

PROJ. NO.
 201205

PROJ. NAME
 NEW HANGAR BUILDING

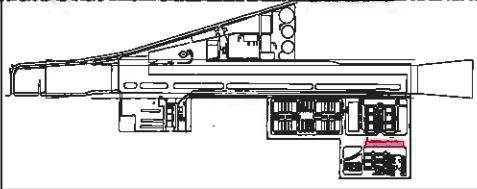
PROJ. NO.
 201205

PROJ. NAME
 NEW HANGAR BUILDING

PROJ. NO.
 201205

PROJ. NAME
 NEW HANGAR BUILDING

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 1000 LA JOLLA VILLAGE DRIVE
 SAN DIEGO, CA 92161
 TEL: 619.444.8888
 WWW.GSBARCHITECTS.COM

PROJECT NO.

DATE

MR. GRAVILL
 GRAVILL DESIGN
 INC.

CLIENT NO.

GRAVILL CAPITAL
 MR. RUBIN ELIAS
 SAN DIEGO, CA

NO.

DATE

NO.

DATE

NO.

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NO.

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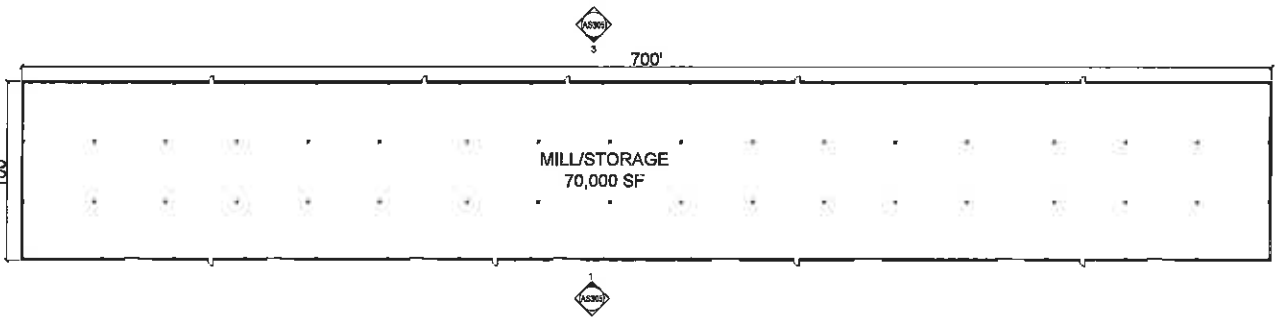
DATE

NO.

DATE

NO.

DATE



1 MILL / STORAGE
 1/8" = 1'-0"

GRAVILL STUDIOS AT BANING
 BANING, CA

MILL / STORAGE

MECHANICAL

2012/05/07

SCALE: AS

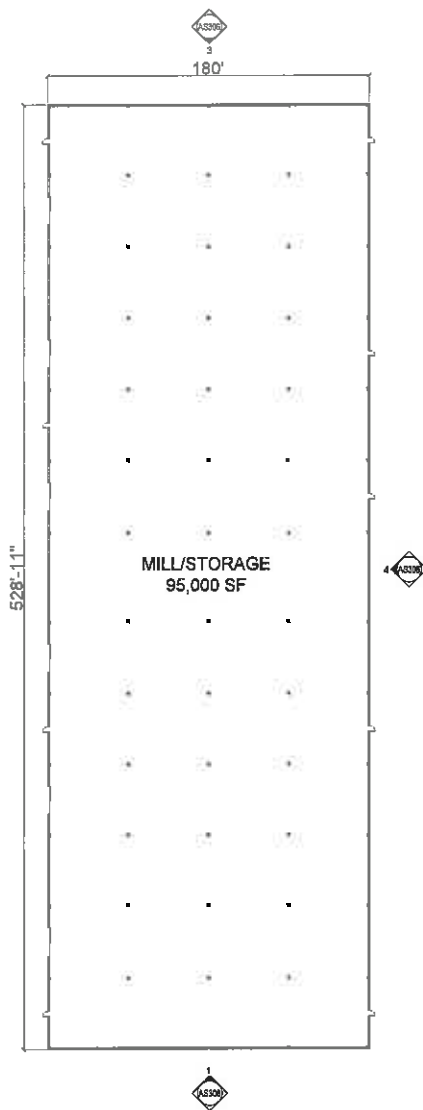
DATE: 2012

NO. 20125

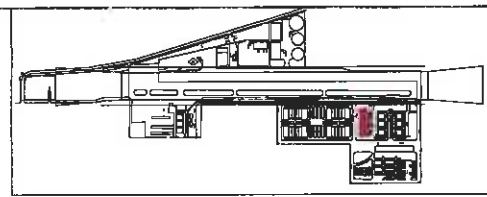
DATE: 11/15

NO. AS205

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1 MILL / STORAGE
 1/32" = 1'-0"



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 3000 LA JOLLA VILLAGE DRIVE
 SAN DIEGO, CA 92161
 TEL: 619.451.1111
 WWW.GSIARCHITECTS.COM

PROJECT NO. 15-001

DATE: 08/11/15

CLIENT: GRANDA & CAPITAL
 MR. RUBEN ELIAS
 SAN DIEGO, CA

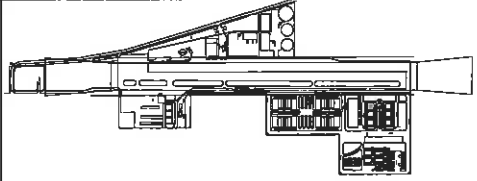
NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	08/11/15
3	ISSUED FOR OCCUPANCY	08/11/15
4	ISSUED FOR ARCHIVE	08/11/15
5	ISSUED FOR ARCHIVE	08/11/15
6	ISSUED FOR ARCHIVE	08/11/15
7	ISSUED FOR ARCHIVE	08/11/15
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17	ISSUED FOR ARCHIVE	08/11/15
18	ISSUED FOR ARCHIVE	08/11/15
19	ISSUED FOR ARCHIVE	08/11/15
20	ISSUED FOR ARCHIVE	08/11/15

PROJECT LOCATION: GRANDA & STUDIOS AT BANING
 BANING, CA

PROJECT NAME: MILL/STORAGE

ARCHITECTURAL
 15-001-105-007
 SHEET NO. 08 SHEETS 18
 DATE: 08/11/15 SHEET NO. 18
 2015 A5206

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ARCHITECTS & INTERIORS, P.C.
 1000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CA 92161
 TEL: 619.455.1000
 FAX: 619.455.1001

12/14

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12/14

12/14

GRAND & CAPITAL
 MR. RUBEN IBLAS
 SAN DIEGO, CA

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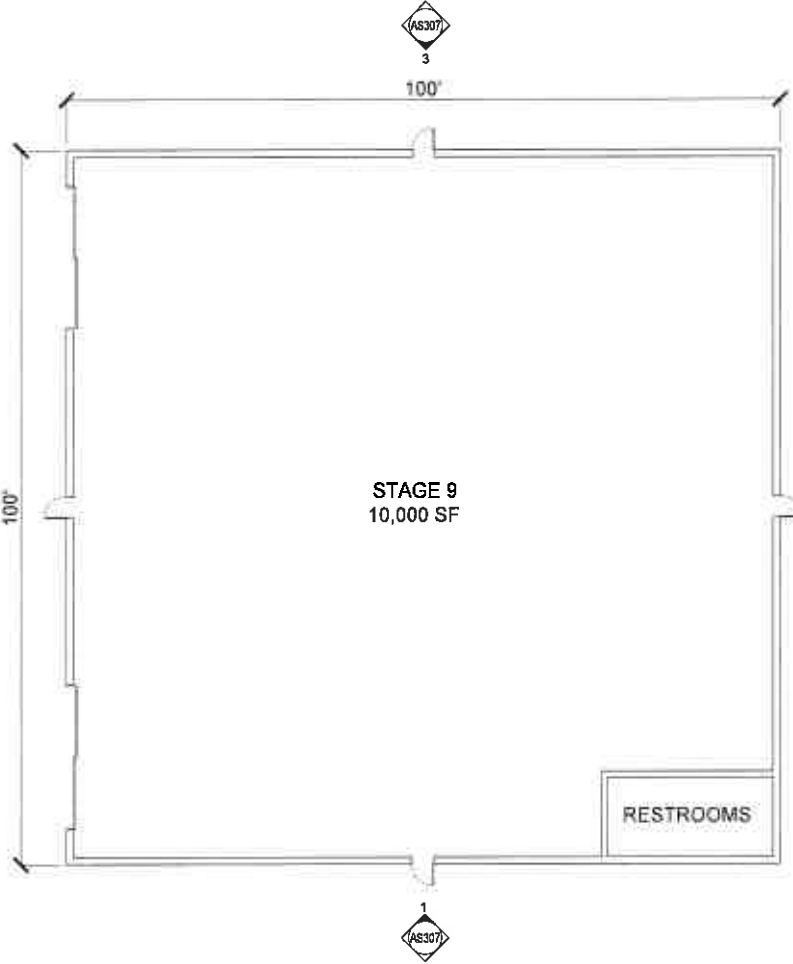
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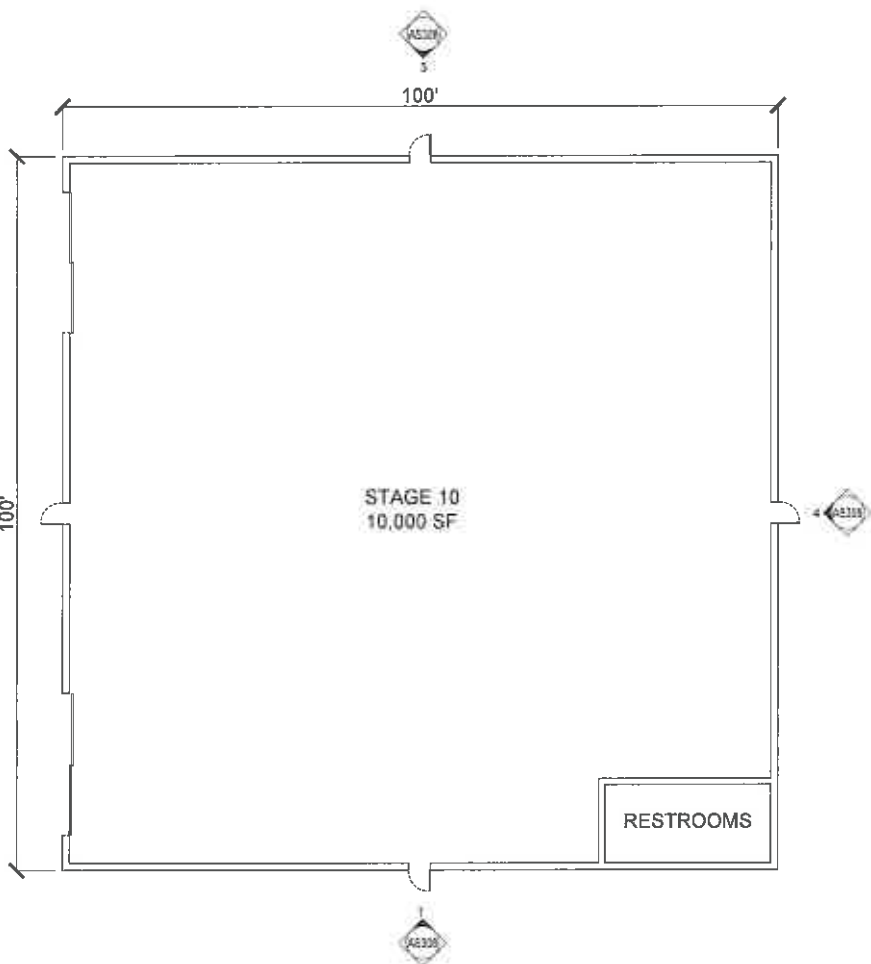


STAGE 9
 10,000 SF

RESTROOMS

1 STAGE 9
 1/8" = 1'-0"

ARCHITECTURAL
 12/14
 20125 A5207



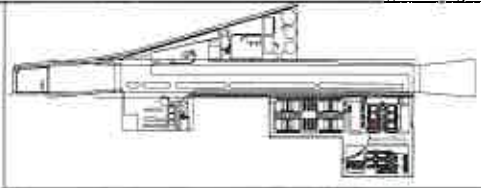
GSB ARCHITECTS & INTERIORS, INC.
 1105 S. 12TH ST. SUITE 200
 OAKLAND, CA 94612

REVISIONS
 NO. DATE BY

PROJECT INFORMATION
 PROJECT NO. STAGE 10

STAGE 10

DATE	DESCRIPTION
10/25	R5208



GSB ARCHITECTS + INTERIORS, PC
 ARCHITECTS AND INTERIORS
 111 W. 11th St.
 New York, NY 10038

Architect
GSB ARCHITECTS + INTERIORS, PC

PROJECT NAME
STAGE 11

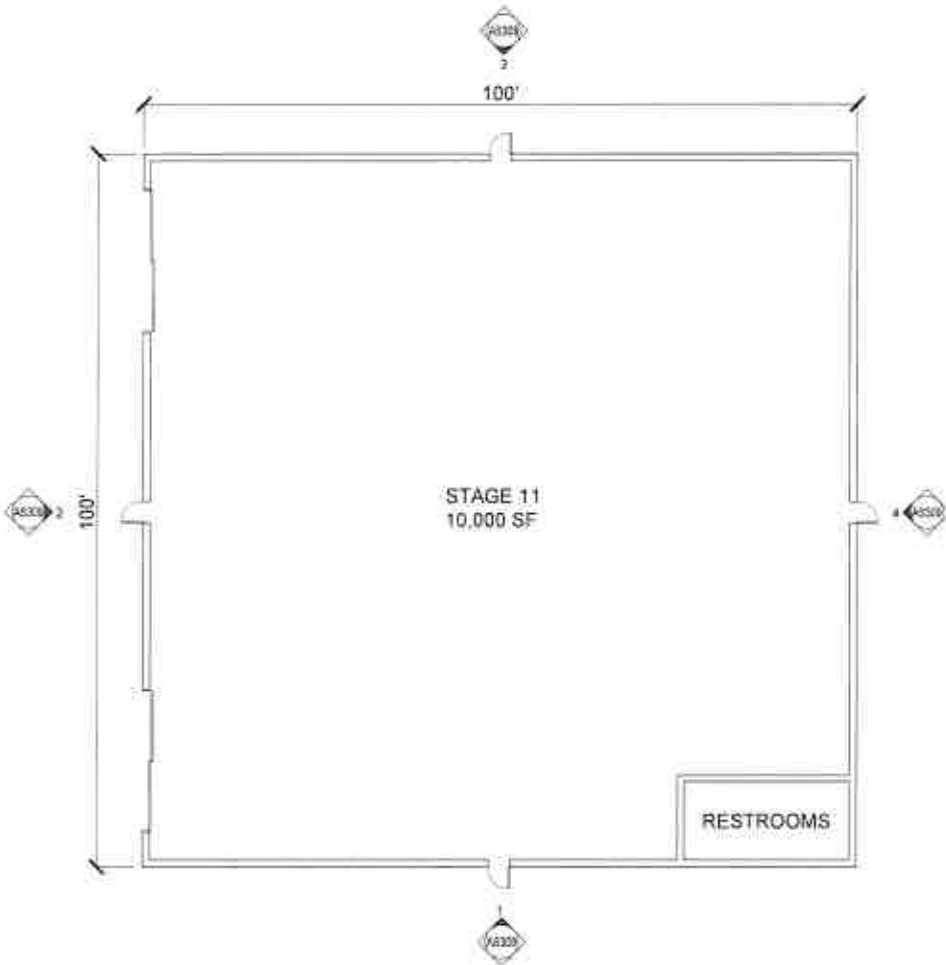
NO.	DATE	REVISIONS

PROJECT LOCATION
STAGE 11

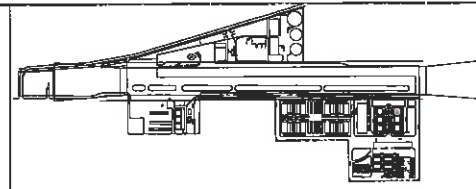
STAGE 11

ARCHITECT
GSB ARCHITECTS + INTERIORS, PC
 PROJECT NO. **2017-02** DRAWING NO. **A5209**

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1 STAGE 11
 1/8" = 1'-0"



GFA ARCHITECTS & INTERIORS, INC.
 1000 AVENUE OF THE STARS
 SUITE 100
 FORT MYERS, FLORIDA 33908

ARCHITECT

PROJECT NO.

DATE

OWNER
 GRANDA 3 CAPITAL
 ONE RIVINGTON BLVD
 SAN DIEGO, CA

COORDINATOR

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

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NO.

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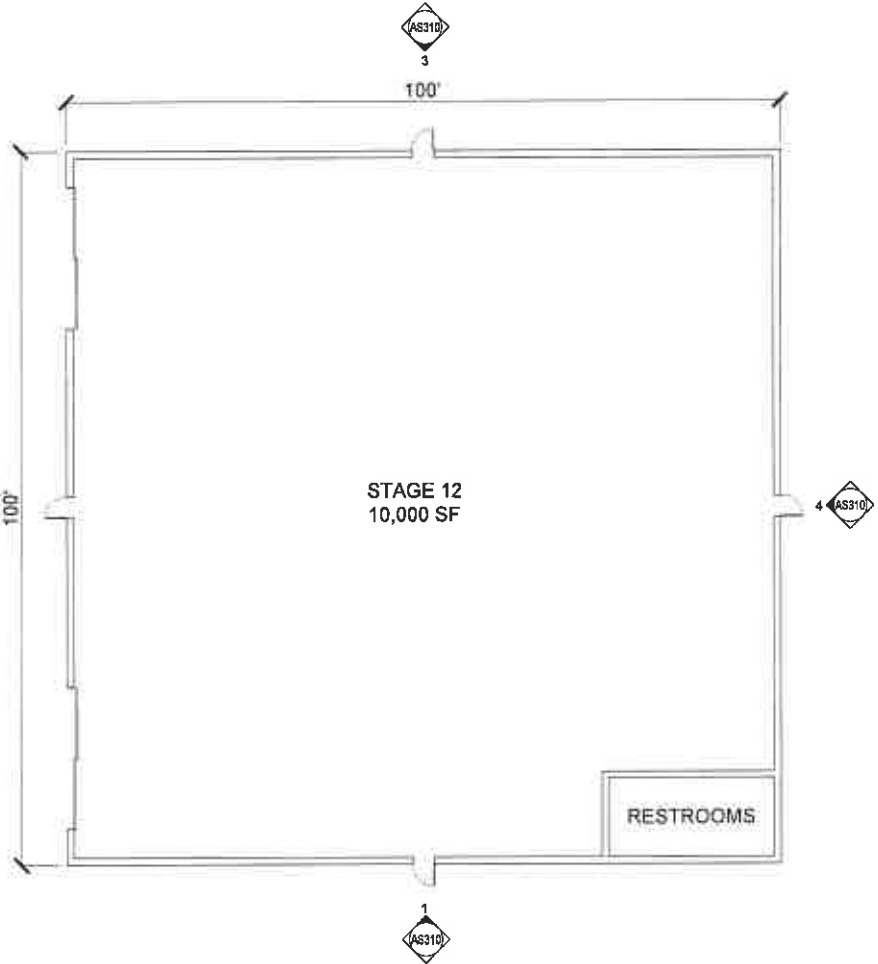
DATE

NO.

DATE

NO.

DATE



① STAGE 12
 1/8" = 1'-0"

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100'



3

100'

STAGE 14
 10,000 SF



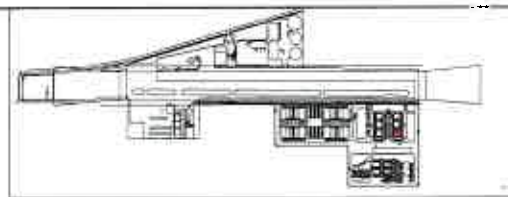
4



1

RESTROOMS

1 STAGE 14
 1/8" = 1'-0"



ARCHITECTURAL SERVICES, INC.
 10000 W. 4TH AVE.
 SUITE 200
 DENVER, CO 80202

FOR GENERAL
 ORIENTATION
 ONLY

DATE OF ISSUE
 BY ARCHITECT
 BY ENGINEER

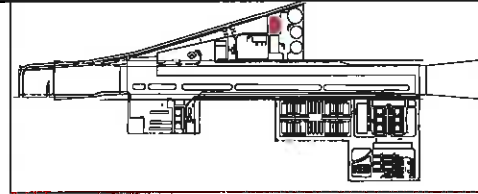
NO.	DESCRIPTION	DATE

SPACING AND POSITION
 (INDICATED)

STAGE 14

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUE	12/23/25

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CSB ARCHITECTS & INTERIORS, INC.
 1000 LA JOLLA VILLAGE DRIVE
 SUITE 200
 SAN DIEGO, CA 92161

PROJECT NO.
 CLIENT
 PROJECT NAME
 PROJECT ADDRESS
 PROJECT CITY, STATE, ZIP

OWNER
 GRANDAYE CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

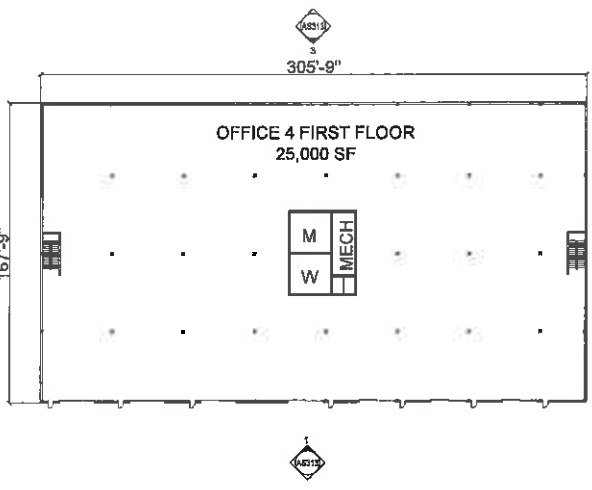
DATE
 11/20/15
 DRAWN BY
 JESSE W.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/20/15
2	ISSUED FOR CONSTRUCTION	11/20/15
3	ISSUED FOR RECORD	11/20/15
4	ISSUED FOR AS-BUILT	11/20/15
5	ISSUED FOR ARCHIVE	11/20/15
6	ISSUED FOR MARKETING	11/20/15
7	ISSUED FOR PRELIMINARY	11/20/15
8	ISSUED FOR CONCEPT	11/20/15
9	ISSUED FOR Schematic Design	11/20/15
10	ISSUED FOR Design Development	11/20/15
11	ISSUED FOR Construction Documents	11/20/15
12	ISSUED FOR Construction Administration	11/20/15
13	ISSUED FOR Post-Construction	11/20/15

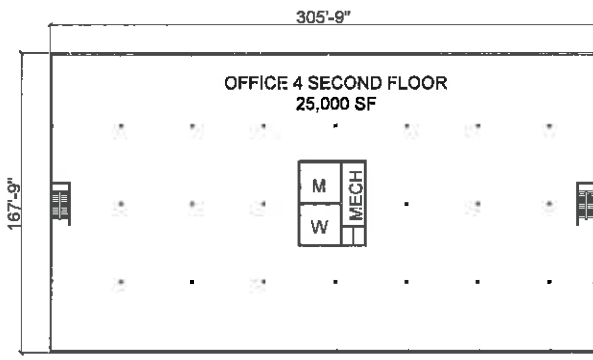
ARCHITECT
 GRANDAYE STUDIOS AT BAWING
 BAWING, CA

PROJECT
 OFFICE 4

ARCHITECTURAL
 11/20/15 10:50:07
 SCALE: 25
 20125 AS213



1 OFFICE 4 - FIRST FLOOR
 1/32" = 1'-0"



2 OFFICE 4 - SECOND FLOOR
 1/32" = 1'-0"

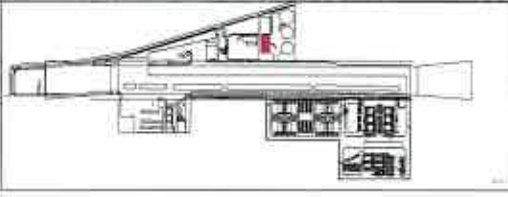
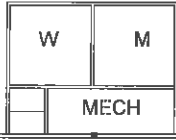


167'-9"



317'-4"

FLEX
50,000 SF



GSB ARCHITECT & INTERIORS, INC.
ARCHITECTS & INTERIORS
1000 AVENUE OF THE STARS
SUITE 1000
FARMERS BRANCH, TEXAS 75042

PER OPERABLE
FACILITY DESIGN
NO. 1

NO. 2
NO. 3
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NO. 6
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NO. 100

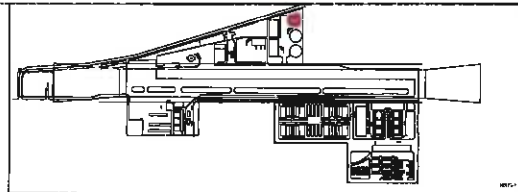
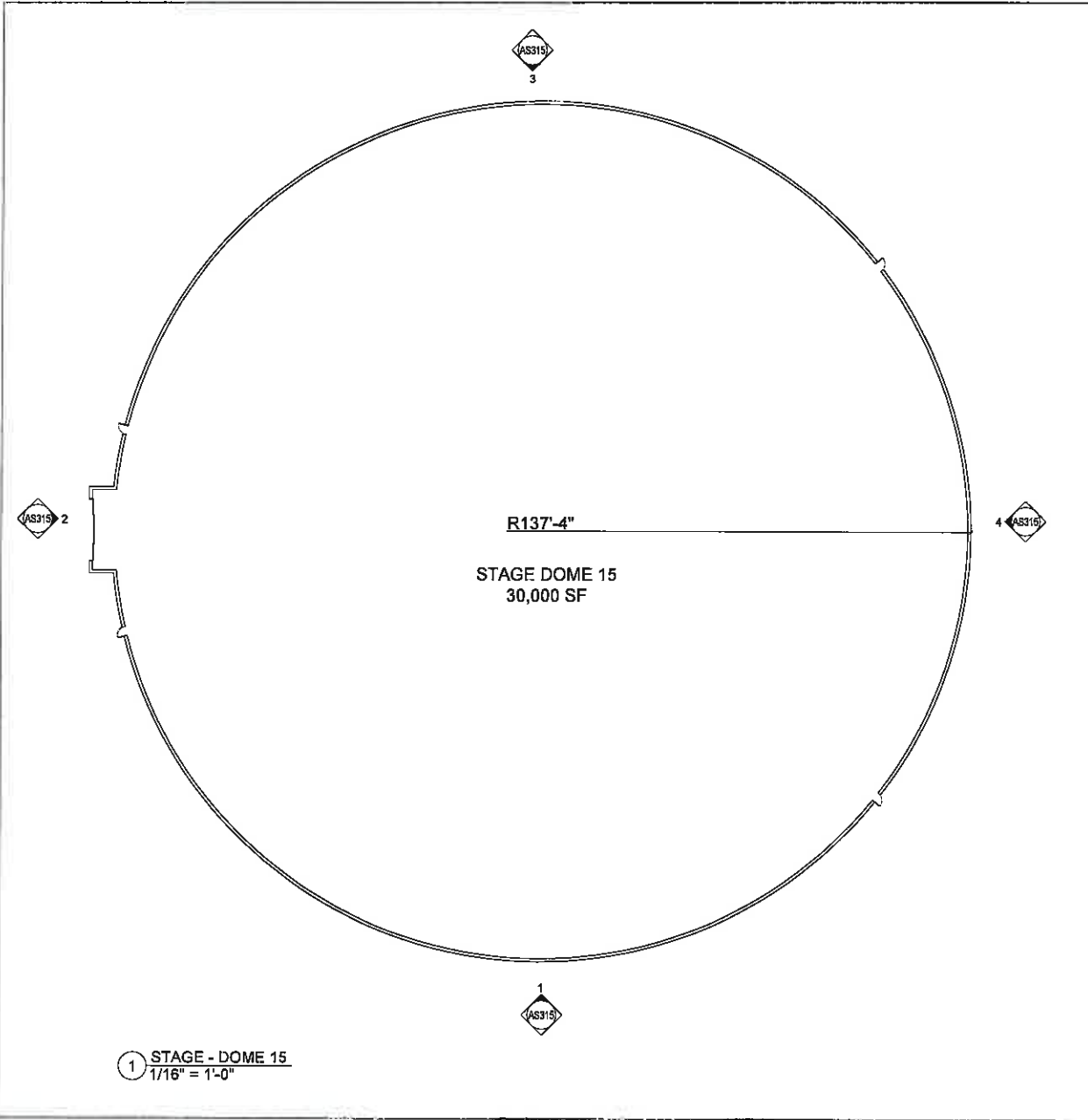
1 FLEX
1/16" = 1'-0"


CONSTRUCTION DETAILS
NO. 1

FLEX BUILDING

90125 A5214

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GRAND AVE STUDIOS AT BANNING, INC.
 1000 BANNING BLVD
 BANNING, CA 92410
 (951) 863-1111
 www.grandave.com

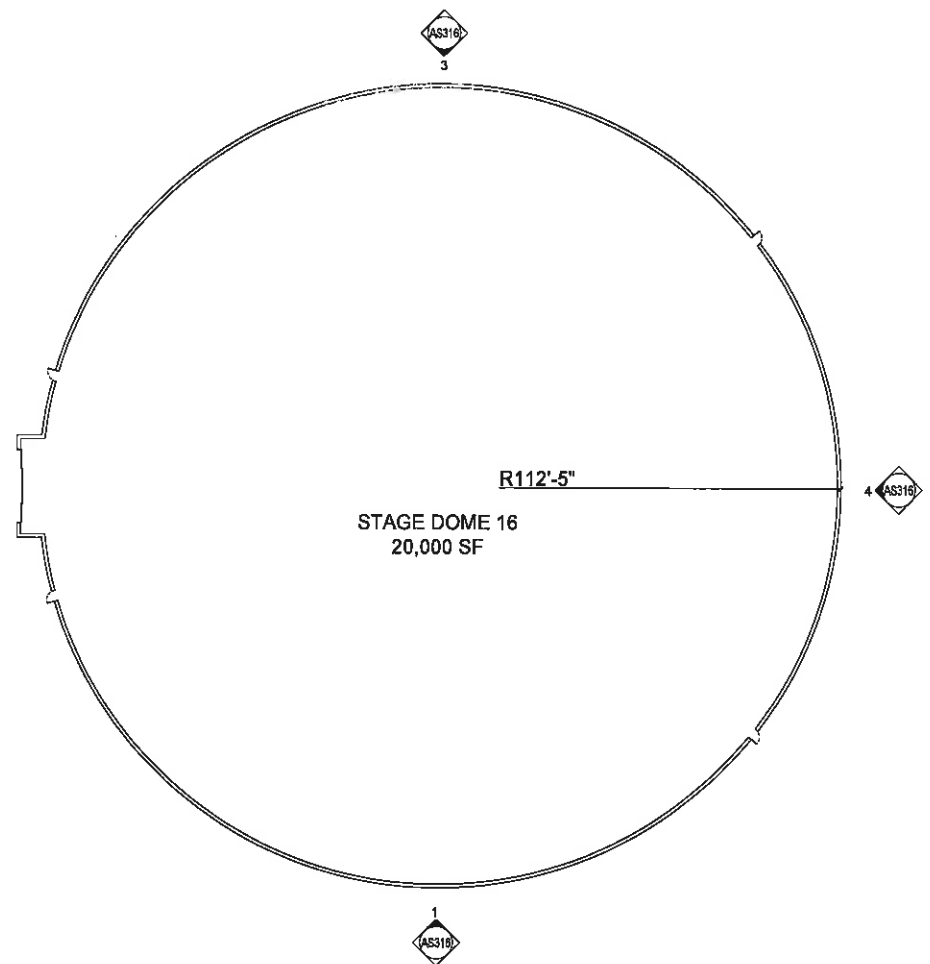
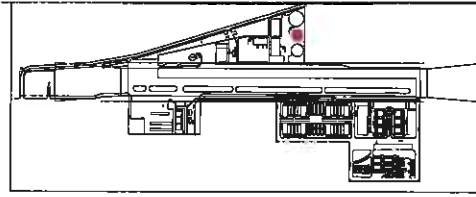
PROJECT NO. _____
 SHEET NO. _____

CLIENT: GRAND AVE STUDIOS AT BANNING, INC.
 ARCHITECT: GRAND AVE STUDIOS AT BANNING, INC.
 DATE: _____

PROJECT: GRAND AVE STUDIOS AT BANNING, INC.
 SHEET: STAGE - DOME 15

ARCHITECTURAL
 SCALE: 1/16" = 1'-0"
 DATE: 2015
 SHEET: AS215

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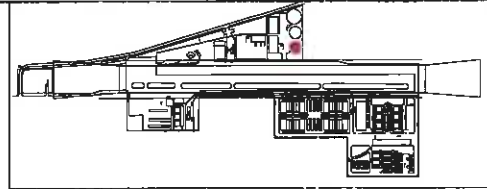


1 STAGE - DOME 16
 1/16" = 1'-0"

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100	08/15/24	ISSUED FOR PERMIT

ARCHITECTURAL
 20125 AS216

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GSB ARCHITECTS & INTERIORS, INC.
 10000 LA JOLLA VILLAGE ROAD
 SAN DIEGO, CA 92121
 619.451.1111

DATE: 01/20/2019

PROJECT: GRANDAYE CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

PROJECT: GRANDAYE CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	01/20/2019
2	ISSUED FOR PERMITS	01/20/2019
3	ISSUED FOR PERMITS	01/20/2019
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20	ISSUED FOR PERMITS	01/20/2019

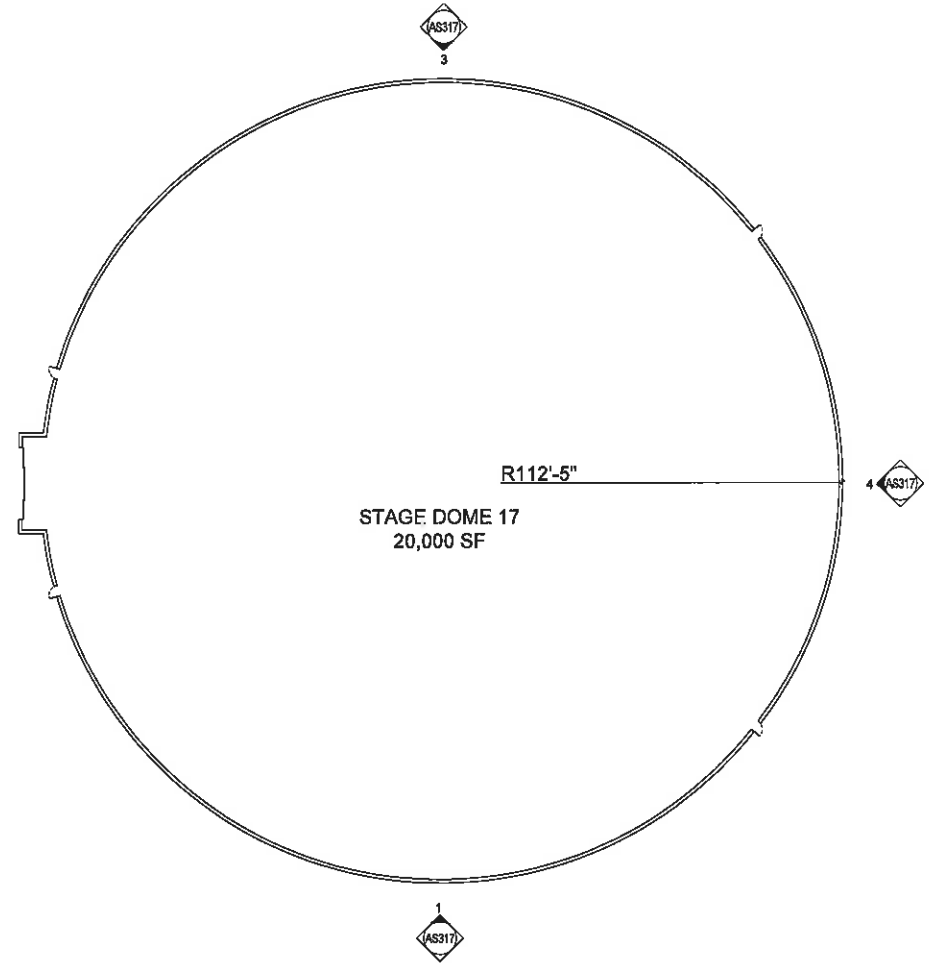
PREPARED BY: GSB ARCHITECTS & INTERIORS, INC.
 PROJECT: GRANDAYE CAPITAL

GSB ARCHITECTS & INTERIORS AT BANNING
 BANNING, CA

STAGE - DOME 17

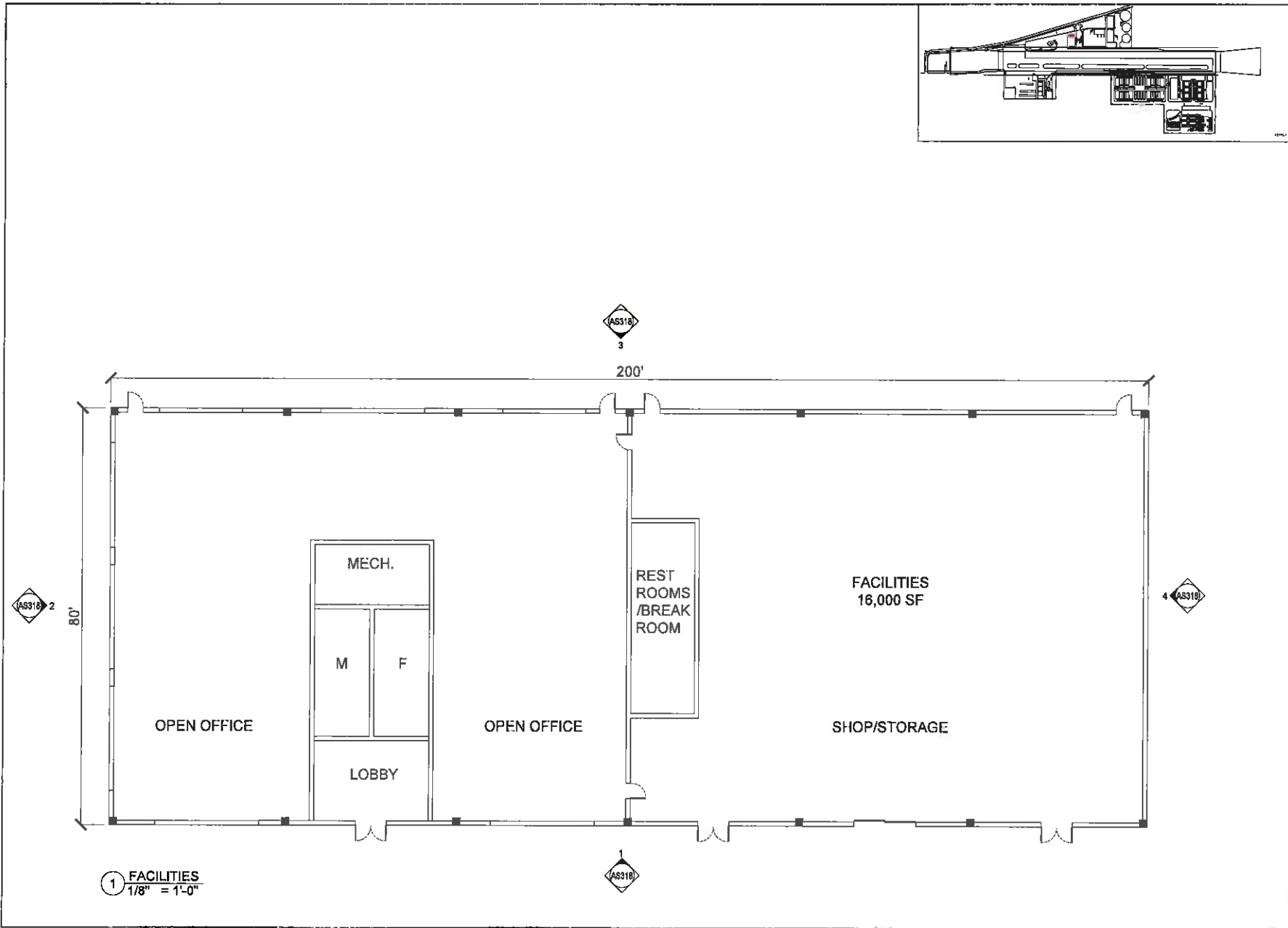
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 1/16" = 1'-0"

DATE: 01/20/2019
 20125 A5217

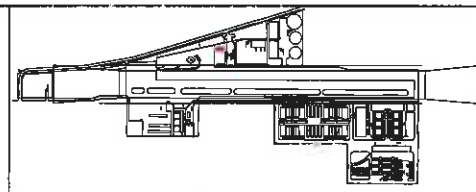


1 STAGE - DOME 17
 1/16" = 1'-0"

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1 FACILITIES
 1/8" = 1'-0"



GSEB ARCHITECTS & INTERIORS, P.C.
 ARCHITECTS & INTERIORS
 1000 N. MISSION BLVD., SUITE 100
 SAN ANTONIO, TEXAS 78207
 TEL: 214.520.1234
 WWW.GSEBARCH.COM

PROJECT NO.

CLIENT
 P.O. CRANDALL
 CIVIL/REAL ESTATE

PROJECT
 GRANDA I CAPITAL
 VIL RUDON ISLAS
 SAN DIEGO, CA

DATE
 08/01/2019

NO. 1
 20 018

NO. 2
 20 018

NO. 3
 20 018

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NO. 14
 20 018

NO. 15
 20 018

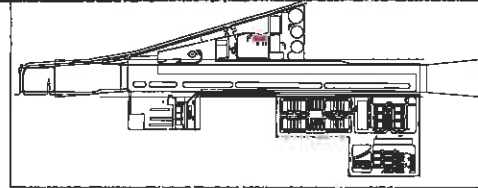
NO. 16
 20 018

ARCHITECTURAL
 20125 20218

DATE 20125

PROJECT AS218

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 10000 LA JOLLA VILLAGE ROAD
 SAN DIEGO, CA 92121
 WWW.GSEARCHITECTS.COM

PROJECT NO.
 SHEET NO.

PROJECT NAME
 GRANDDAVE CAPITAL
 GRANDDAVE STUDIOS
 SAN DIEGO, CA

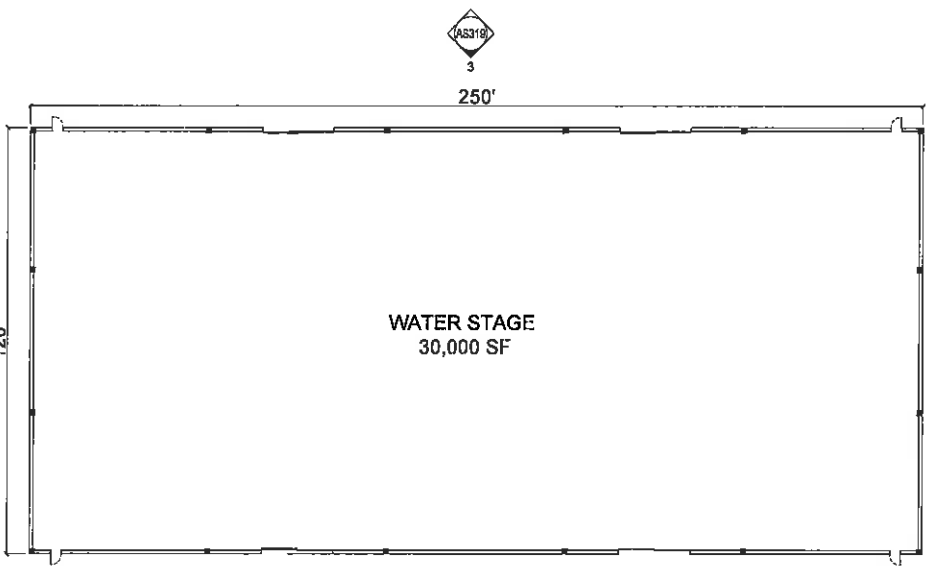
PROJECT LOCATION
 GRANDDAVE CAPITAL
 MR. RUBEN ISLAS
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
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2	REVISED	2019-04-01
3	REVISED	2019-04-01
4	REVISED	2019-04-01
5	REVISED	2019-04-01
6	REVISED	2019-04-01
7	REVISED	2019-04-01
8	REVISED	2019-04-01
9	REVISED	2019-04-01
10	REVISED	2019-04-01
11	REVISED	2019-04-01
12	REVISED	2019-04-01

ARCHITECT
 GRANDDAVE STUDIOS AT BANING
 BANING, CA

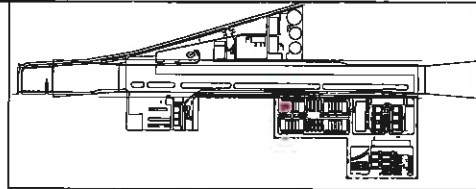
PROJECT NAME
 WATER STAGE

ARCHITECTURAL
 20125 105077
 20125 AS219



1 WATER STAGE
 1/16" = 1'-0"

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CSR ARCHITECT & INTERIORS, INC.
 1100 AVENUE C, SUITE 100
 SAN DIEGO, CA 92101
 TEL: 619.594.1100
 WWW.CSRARCHITECT.COM

DATE: 05/15/19

PROJECT: GRANDAVE CAPITAL



GRANDAVE CAPITAL
 VIK RUBEN GLAS
 SAN DIEGO, CA

NO. 1: STAGE, FLEX AND PRODUCTION OFFICE
 NO. 2: PRODUCTION OFFICE - SECOND FLOOR
 NO. 3: PRODUCTION OFFICE - THIRD FLOOR

DATE: 05/15/19

SCALE: 1/16" = 1'-0"

DATE: 05/15/19

DATE: 05/15/19

DATE: 05/15/19

DATE: 05/15/19

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DATE: 05/15/19

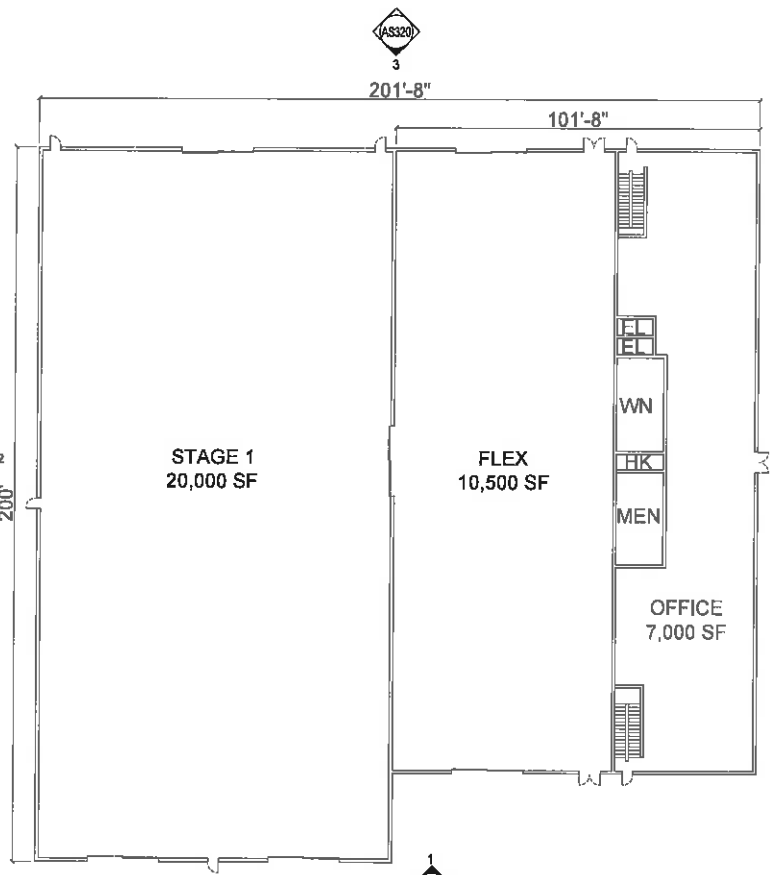
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DATE: 05/15/19

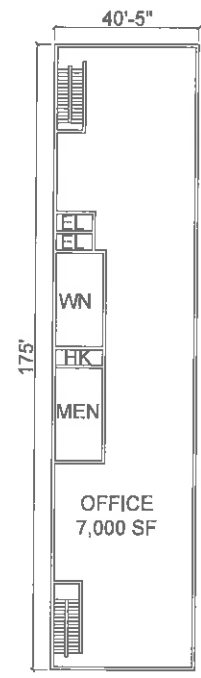
DATE: 05/15/19

DATE: 05/15/19

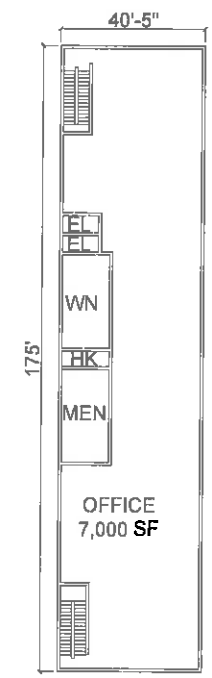
DATE: 05/15/19



1 STAGE, FLEX AND PRODUCTION OFFICE
 1/16" = 1'-0"



2 PRODUCTION OFFICE - SECOND FLOOR
 1/16" = 1'-0"



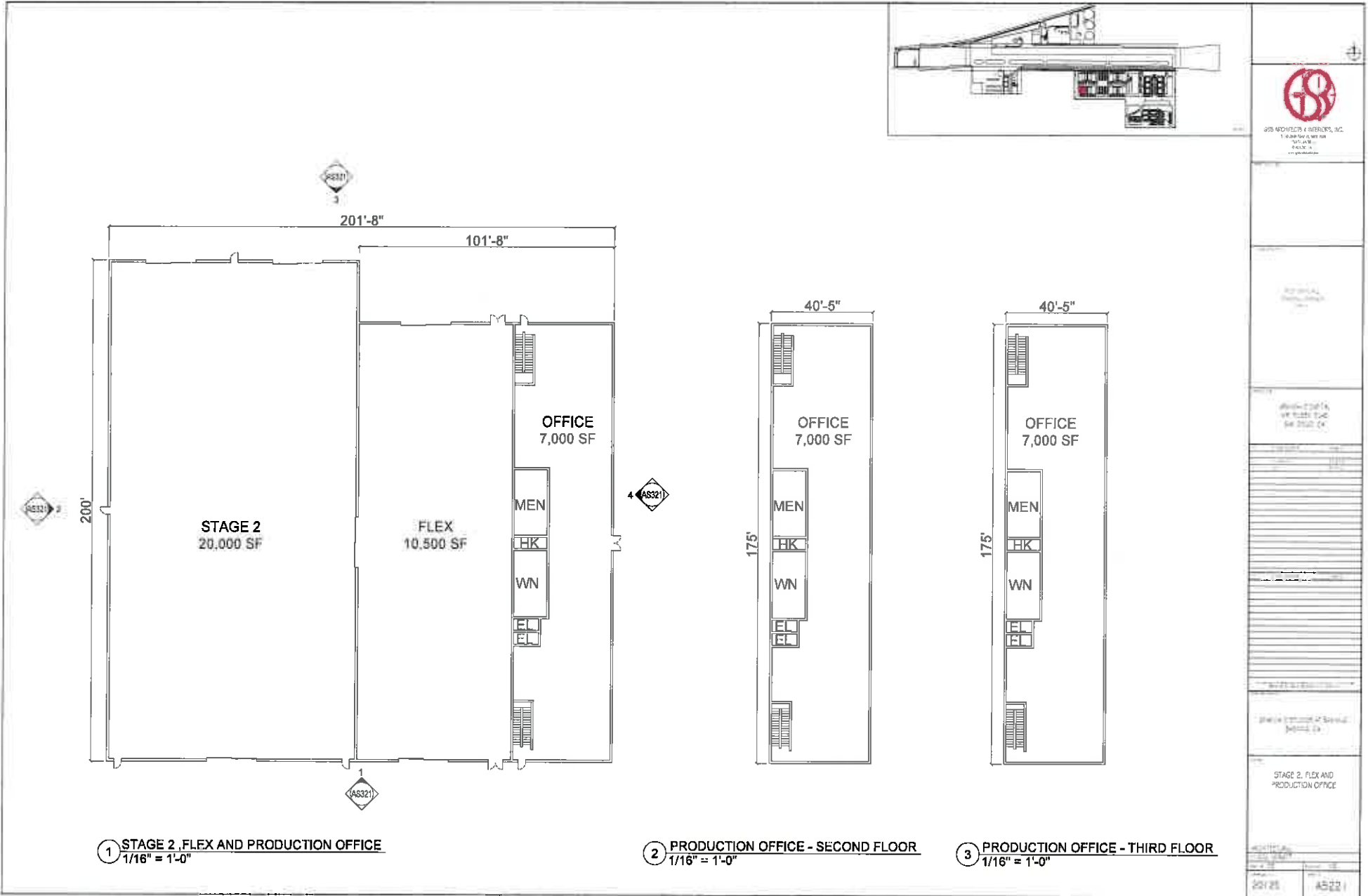
3 PRODUCTION OFFICE - THIRD FLOOR
 1/16" = 1'-0"

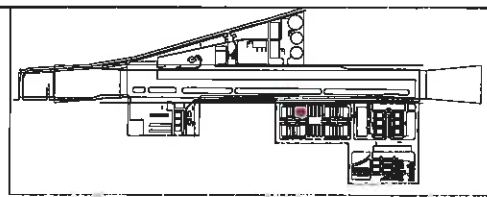
ARCHITECTURAL
 05/15/2019

NO. 35 P. 18 OF 38

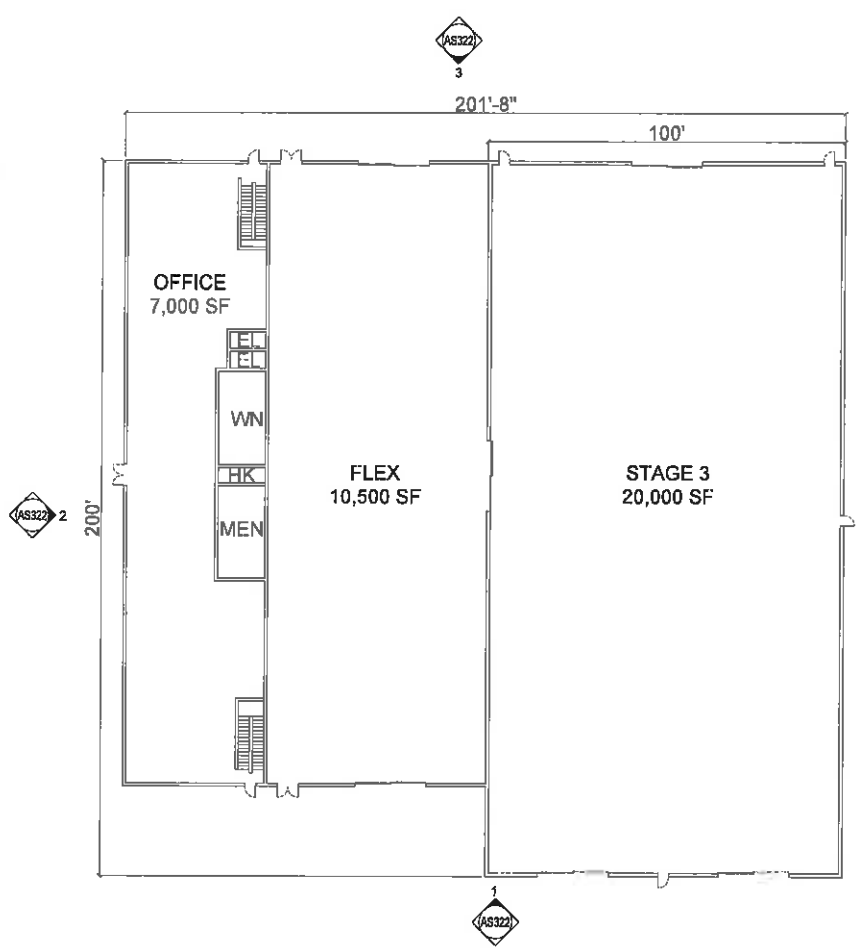
20125 AS220

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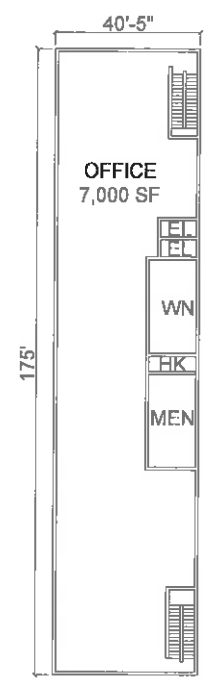




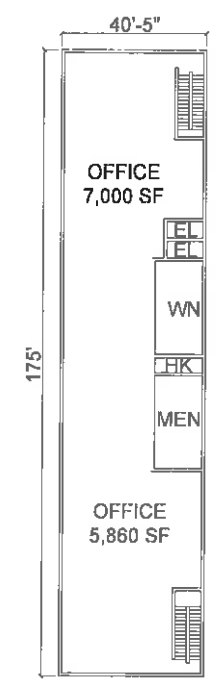
GSB ARCHITECTS & INTERIORS, INC.
11900 SAN MARINO RD.
SAN MARINO, CA 91766
TEL: 909.449.1111
WWW.GSBARCH.COM



1 STAGE 3, FLEX AND PRODUCTION OFFICE
1/16" = 1'-0"



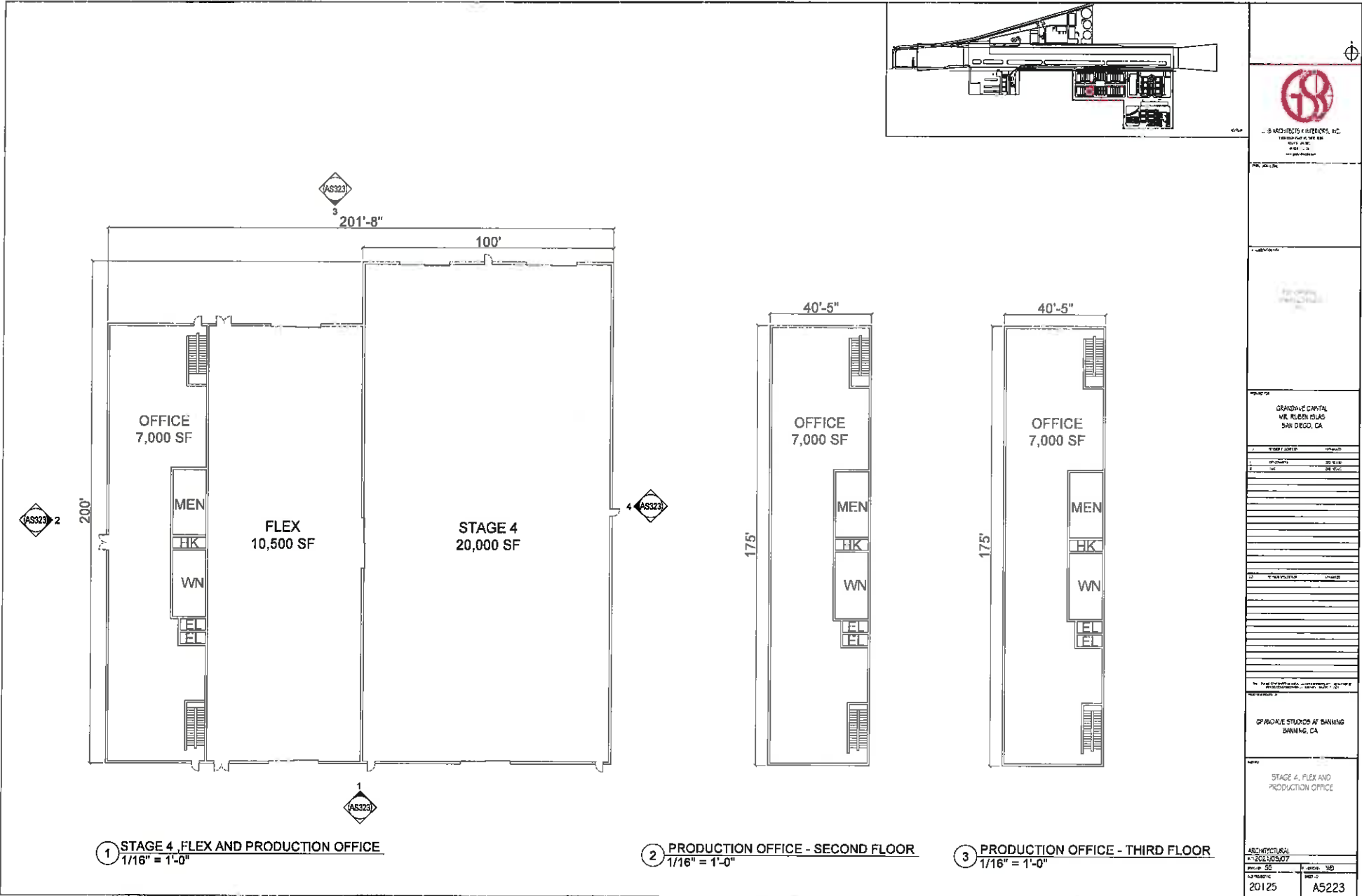
2 PRODUCTION OFFICE - SECOND FLOOR
1/16" = 1'-0"



3 PRODUCTION OFFICE - THIRD FLOOR
1/16" = 1'-0"

PROJECT NO.	
11900 SAN MARINO RD.	
SAN MARINO, CA 91766	
DATE: 11/15/17	
PROJECT: GRAND JAY CAPITAL	
MC RUBEN ISLAS	
SAN DIEGO, CA	
NO.	DESCRIPTION
1	11/15/17
2	11/15/17
3	11/15/17
4	11/15/17
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99	11/15/17
100	11/15/17
ARCHITECTURAL	
DATE: 11/15/17	
NO. 02	PROJ. 11900
10/10/16	REV. 0
20125	AS222



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① **STAGE 4, FLEX AND PRODUCTION OFFICE**
 1/16" = 1'-0"

② **PRODUCTION OFFICE - SECOND FLOOR**
 1/16" = 1'-0"

③ **PRODUCTION OFFICE - THIRD FLOOR**
 1/16" = 1'-0"

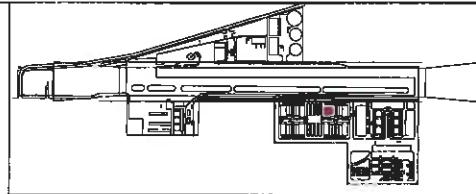
GSI ARCHITECT & INTERIOR, INC.
 10000 LA JOLLA VILLAGE DRIVE
 SUITE 100
 SAN DIEGO, CA 92125
 TEL: 619.451.1000
 WWW.GSI-ARCHITECT.COM

PROJECT: GRAND AVE CAPITAL
 VIK RUBEN KLUG
 SAN DIEGO, CA

NO. 1	DATE	DESCRIPTION
1	08/15/18	ISSUE FOR PERMITS
2	08/22/18	ISSUE FOR PERMITS
3	09/05/18	ISSUE FOR PERMITS
4	09/12/18	ISSUE FOR PERMITS
5	09/19/18	ISSUE FOR PERMITS
6	09/26/18	ISSUE FOR PERMITS
7	10/03/18	ISSUE FOR PERMITS
8	10/10/18	ISSUE FOR PERMITS
9	10/17/18	ISSUE FOR PERMITS
10	10/24/18	ISSUE FOR PERMITS
11	10/31/18	ISSUE FOR PERMITS
12	11/07/18	ISSUE FOR PERMITS
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16	12/05/18	ISSUE FOR PERMITS
17	12/12/18	ISSUE FOR PERMITS
18	12/19/18	ISSUE FOR PERMITS
19	12/26/18	ISSUE FOR PERMITS
20	01/02/19	ISSUE FOR PERMITS
21	01/09/19	ISSUE FOR PERMITS
22	01/16/19	ISSUE FOR PERMITS
23	01/23/19	ISSUE FOR PERMITS
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57	09/18/19	ISSUE FOR PERMITS
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65	11/13/19	ISSUE FOR PERMITS
66	11/20/19	ISSUE FOR PERMITS
67	11/27/19	ISSUE FOR PERMITS
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69	12/11/19	ISSUE FOR PERMITS
70	12/18/19	ISSUE FOR PERMITS
71	12/25/19	ISSUE FOR PERMITS
72	01/01/20	ISSUE FOR PERMITS
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95	06/11/20	ISSUE FOR PERMITS
96	06/18/20	ISSUE FOR PERMITS
97	06/25/20	ISSUE FOR PERMITS
98	07/02/20	ISSUE FOR PERMITS
99	07/09/20	ISSUE FOR PERMITS
100	07/16/20	ISSUE FOR PERMITS

ARCHITECTURAL
 PROJECT: GRAND AVE CAPITAL
 SHEET: A5223
 DATE: 08/15/18
 DRAWN BY: JMB
 CHECKED BY: JMB
 PROJECT NO: 20125
 SHEET NO: A5223

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GSB ARCHITECTS & INTERIORS, INC.
 100 S. LA JOLLA BLVD.
 SAN DIEGO, CA 92161
 (619) 594-1100

FILE ORIGINAL
 GRAPHICALLY
 READ...

GRANDAVE CAPITAL
 M. RUBEN BLAS
 SAN DIEGO, CA

NO. 1
 DATE 02/25/2019

NO. 2
 DATE 02/25/2019

NO. 3
 DATE 02/25/2019

NO. 4
 DATE 02/25/2019

NO. 5
 DATE 02/25/2019

NO. 6
 DATE 02/25/2019

NO. 7
 DATE 02/25/2019

NO. 8
 DATE 02/25/2019

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 DATE 02/25/2019

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 DATE 02/25/2019

NO. 17
 DATE 02/25/2019

NO. 18
 DATE 02/25/2019

NO. 19
 DATE 02/25/2019

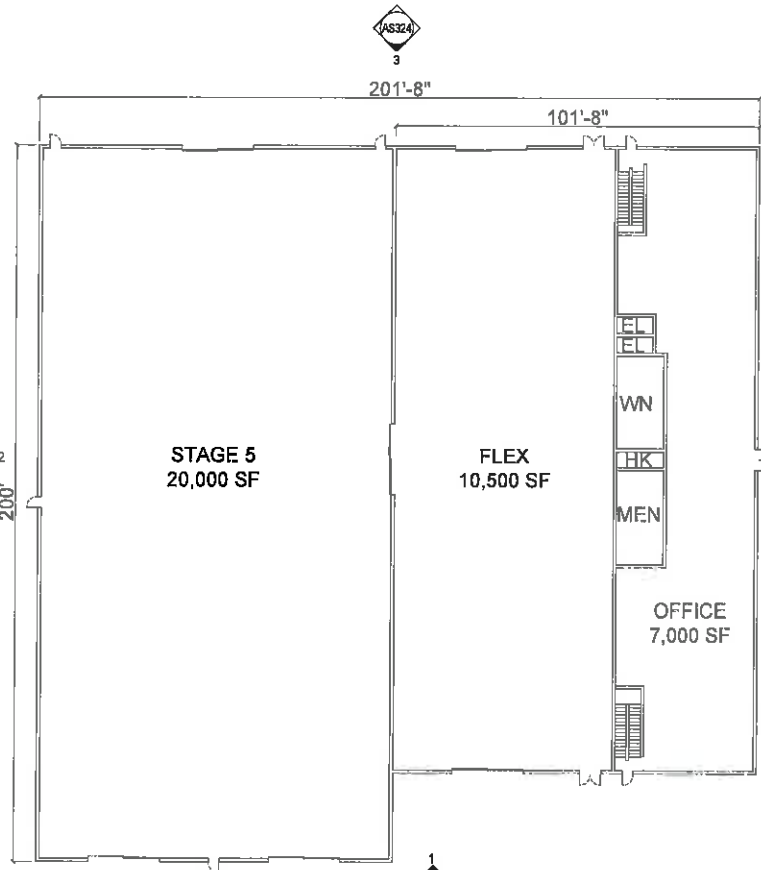
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 DATE 02/25/2019

ARCHITECTURAL
 1-2019 10/5/2019

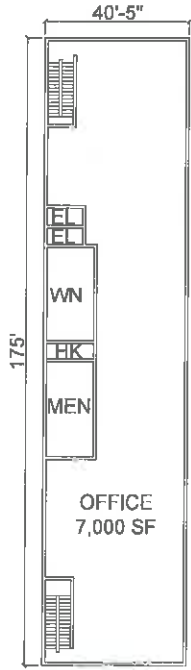
DATE 02/25/2019

NO. 20125

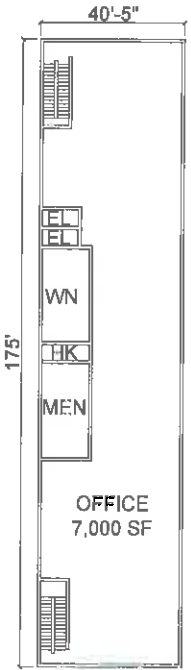
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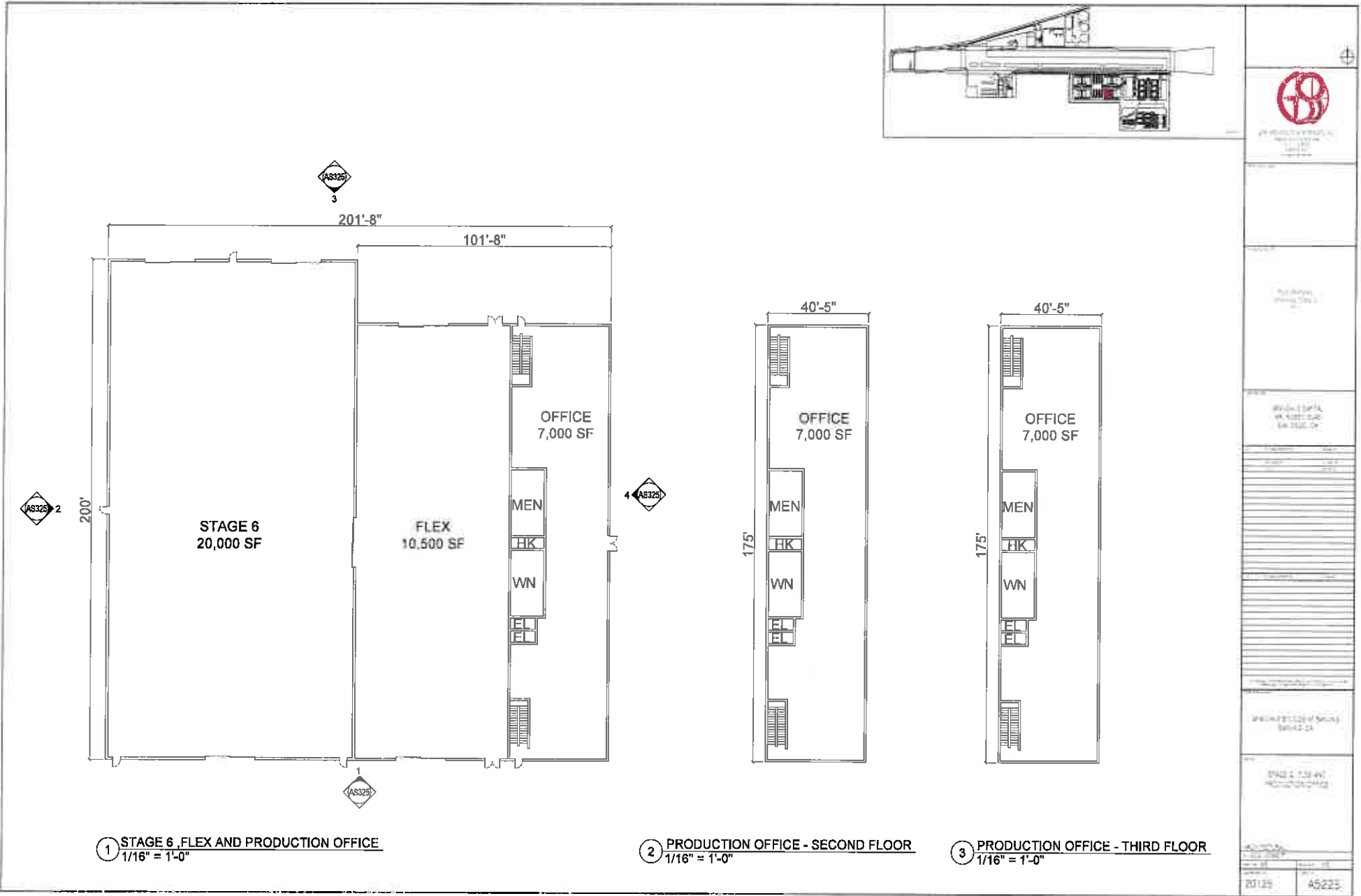
1 STAGE 5, FLEX AND PRODUCTION OFFICE
 1/16" = 1'-0"



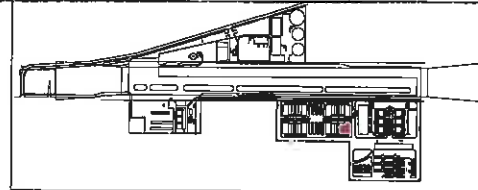
2 PRODUCTION OFFICE - SECOND FLOOR
 1/16" = 1'-0"



3 PRODUCTION OFFICE - THIRD FLOOR
 1/16" = 1'-0"



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GSB ARCHITECTS & INTERIORS, INC.
 1000 AVENUE OF THE STARS
 SUITE 100
 SAN DIEGO, CALIFORNIA 92108

PROJ: 24132

DATE: 04/19/19

STAGE 8, FLEX AND PRODUCTION OFFICE

PROJ: 24132

GRANDVIEW CAPITAL
 1400 RUISEN BLVD
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
1	PRELIMINARY	04/19/19
2	REVISED	04/19/19
3	REVISED	04/19/19

NO.	DESCRIPTION	DATE
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2	REVISED	04/19/19
3	REVISED	04/19/19

NO.	DESCRIPTION	DATE
1	PRELIMINARY	04/19/19
2	REVISED	04/19/19
3	REVISED	04/19/19

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1	PRELIMINARY	04/19/19
2	REVISED	04/19/19
3	REVISED	04/19/19

NO.	DESCRIPTION	DATE
1	PRELIMINARY	04/19/19
2	REVISED	04/19/19
3	REVISED	04/19/19

NO.	DESCRIPTION	DATE
1	PRELIMINARY	04/19/19
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2	REVISED	04/19/19
3	REVISED	04/19/19

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2	REVISED	04/19/19
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2	REVISED	04/19/19
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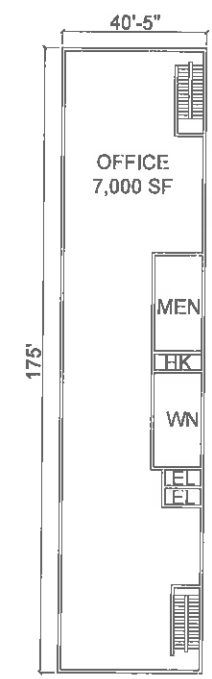
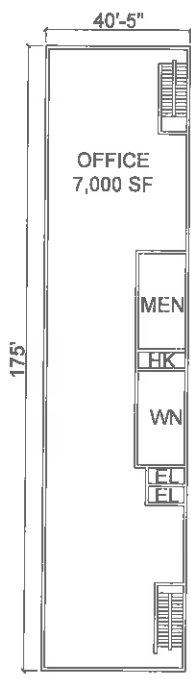
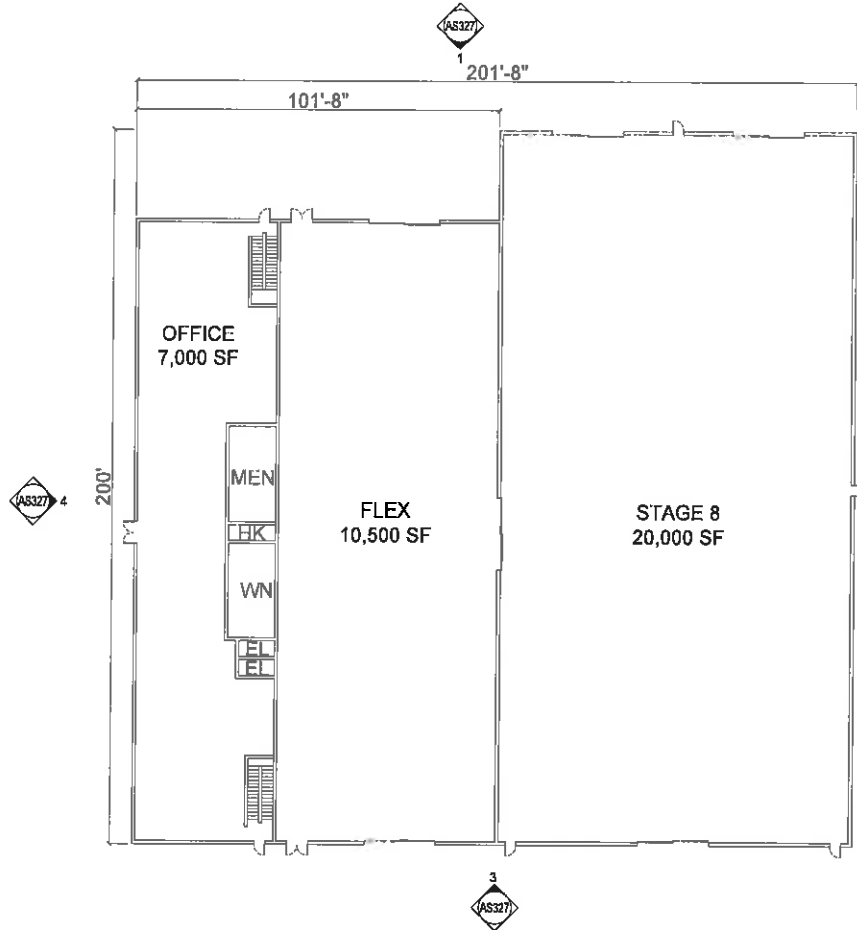
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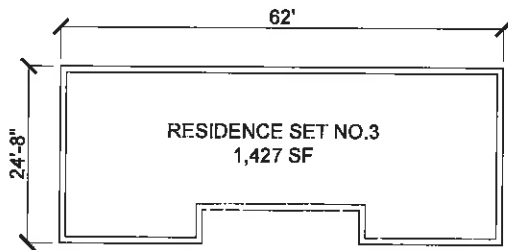


1 STAGE 8, FLEX AND PRODUCTION OFFICE
 1/16" = 1'-0"

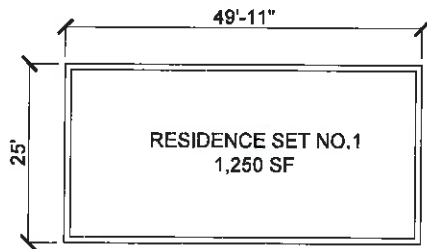
2 PRODUCTION OFFICE - SECOND FLOOR
 1/16" = 1'-0"

3 PRODUCTION OFFICE - THIRD FLOOR
 1/16" = 1'-0"

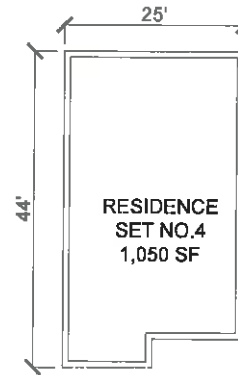
ARCHITECTURAL
 STAGE 8, FLEX AND PRODUCTION OFFICE
 PROJECT NO. 24132
 DATE 04/19/19
 20125 AS227



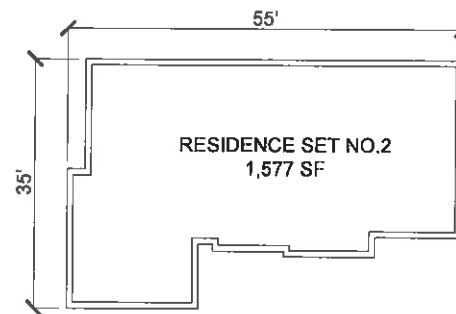
3 RESIDENCE SET NO.3
 1/8" = 1'-0"



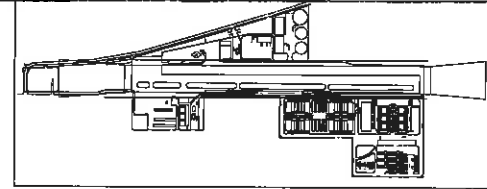
1 RESIDENCE SET NO.1
 1/8" = 1'-0"



4 RESIDENCE SET NO.4
 1/8" = 1'-0"



2 RESIDENCE SET NO.2
 1/8" = 1'-0"



GSB ARCHITECT & INTERIORS, C.C.
 1001 AVENUE 68
 SAN DIEGO, CA 92108
 TEL: 619.591.1000
 WWW.GSBARCHITECT.COM

PROJECT NAME	
CLIENT	
DATE	
SCALE	
DATE	

PROJECT #
 GRANDVIEW CAPITAL
 MK RUBEN ISLAS
 SAN DIEGO, CA

NO.	DESCRIPTION	DATE
1		
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PROJECT # STUDIOS AT BANNING
 BANNING, CA

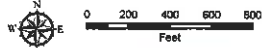
RESIDENCES

ARCHITECTURAL PROJECT NO. 07	NUMBER 118
DATE 20125	REVISION A5226

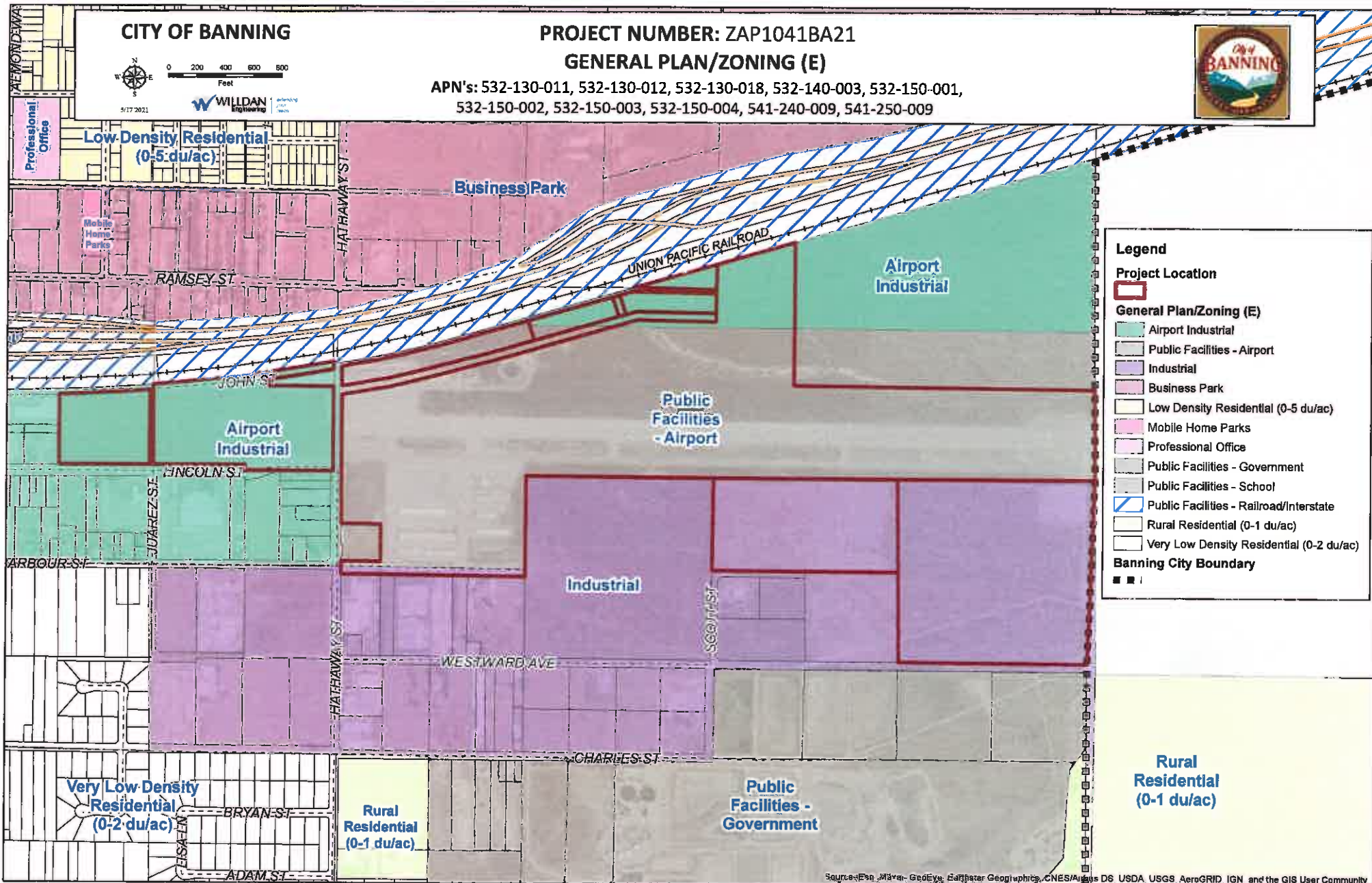
CITY OF BANNING

PROJECT NUMBER: ZAP1041BA21 GENERAL PLAN/ZONING (E)

APN's: 532-130-011, 532-130-012, 532-130-018, 532-140-003, 532-150-001,
532-150-002, 532-150-003, 532-150-004, 541-240-009, 541-250-009



WILLDAN Engineering



Legend

Project Location
[Red outline]

General Plan/Zoning (E)

- Airport Industrial
- Public Facilities - Airport
- Industrial
- Business Park
- Low Density Residential (0-5 du/ac)
- Mobile Home Parks
- Professional Office
- Public Facilities - Government
- Public Facilities - School
- Public Facilities - Railroad/Interstate
- Rural Residential (0-1 du/ac)
- Very Low Density Residential (0-2 du/ac)

Banning City Boundary
[Dashed line]

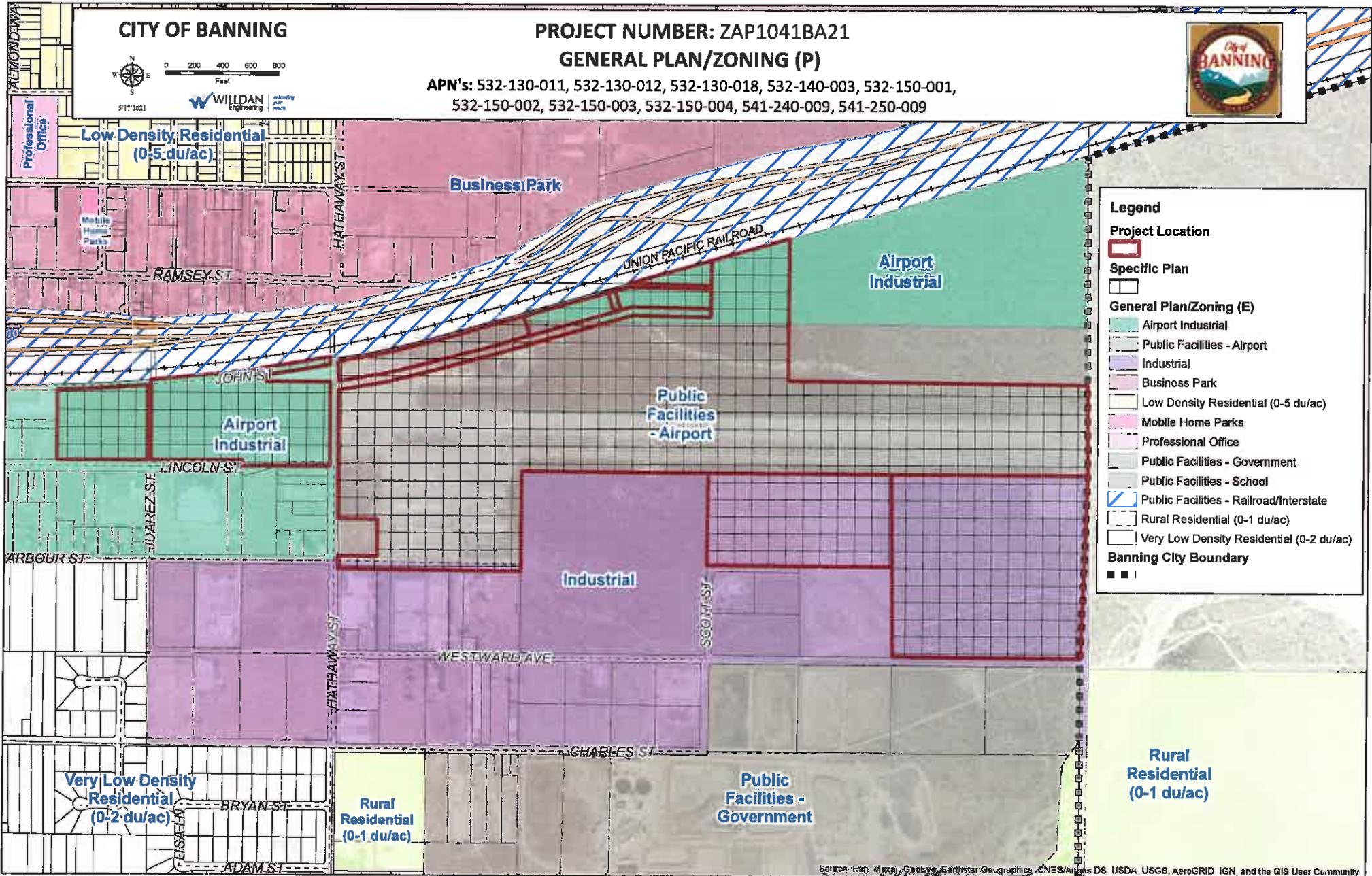
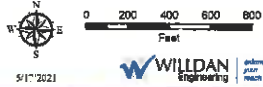
Source: Esri, Mapbox, GeoEye, IGN, AerGRID, IGN, and the GIS User Community

CITY OF BANNING

PROJECT NUMBER: ZAP1041BA21

GENERAL PLAN/ZONING (P)

APN's: 532-130-011, 532-130-012, 532-130-018, 532-140-003, 532-150-001, 532-150-002, 532-150-003, 532-150-004, 541-240-009, 541-250-009



Legend

Project Location
[Red outline]

Specific Plan
[White box]

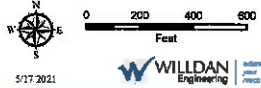
General Plan/Zoning (E)

- [Green box] Airport Industrial
- [Grey box] Public Facilities - Airport
- [Purple box] Industrial
- [Pink box] Business Park
- [Light green box] Low Density Residential (0-5 du/ac)
- [Light pink box] Mobile Home Parks
- [Light purple box] Professional Office
- [Light grey box] Public Facilities - Government
- [Light blue box] Public Facilities - School
- [Blue diagonal lines] Public Facilities - Railroad/Interstate
- [Light yellow box] Rural Residential (0-1 du/ac)
- [Light green box] Rural Residential (0-2 du/ac)
- [Light blue box] Very Low Density Residential (0-2 du/ac)

Banning City Boundary
[Black dashed line]

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

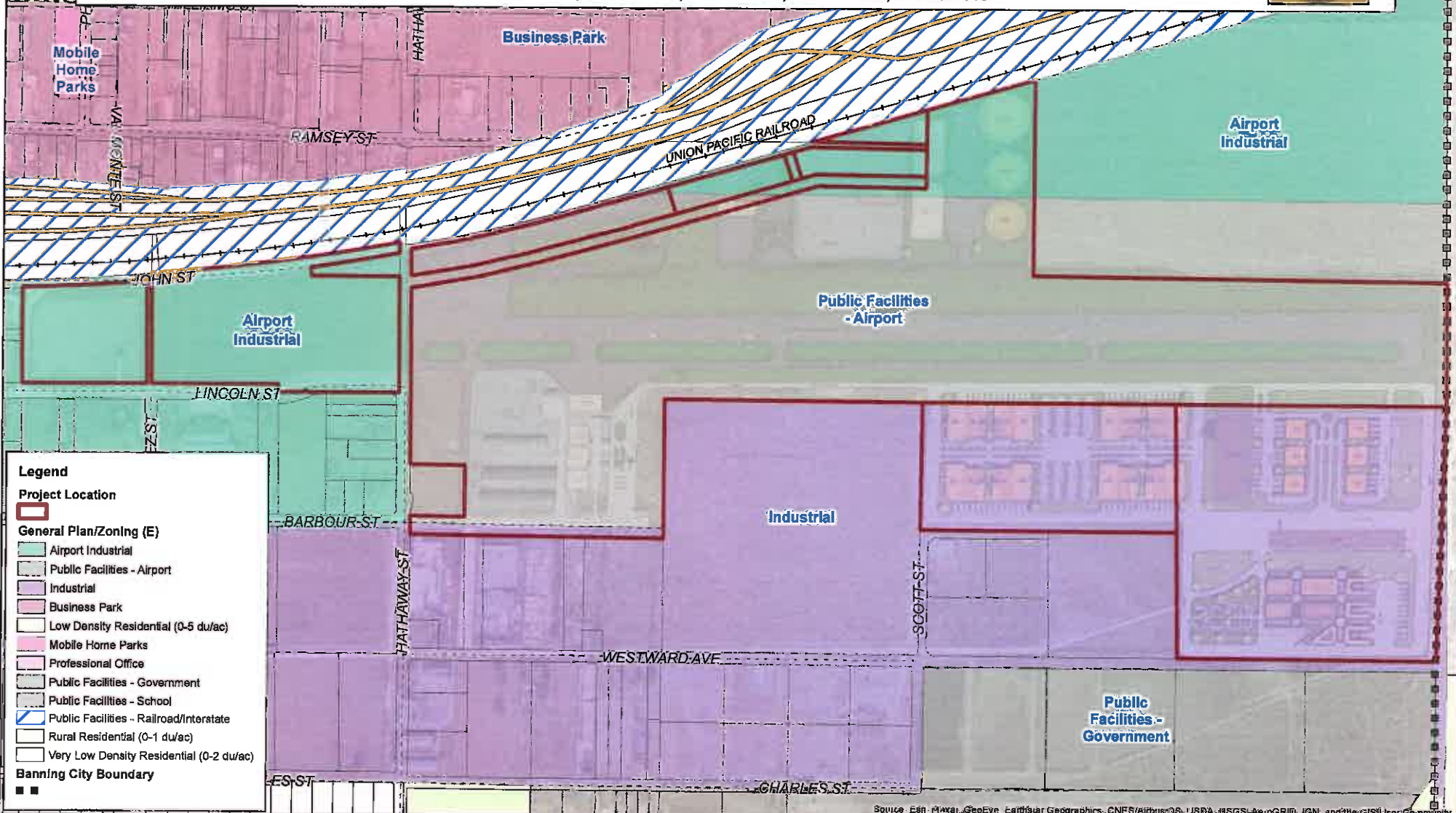
CITY OF BANNING



PROJECT NUMBER: ZAP1041BA21

GENERAL PLAN/ZONING (E)

APN's: 532-130-011, 532-130-012, 532-130-018, 532-140-003, 532-150-001,
532-150-002, 532-150-003, 532-150-004, 541-240-009, 541-250-009



Legend

Project Location
 Project Location

General Plan/Zoning (E)

- Airport Industrial
- Public Facilities - Airport
- Industrial
- Business Park
- Low Density Residential (0-5 du/ac)
- Mobile Home Parks
- Professional Office
- Public Facilities - Government
- Public Facilities - School
- Public Facilities - Railroad/Interstate
- Rural Residential (0-1 du/ac)
- Very Low Density Residential (0-2 du/ac)

Banning City Boundary
 Banning City Boundary

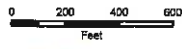
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

CITY OF BANNING

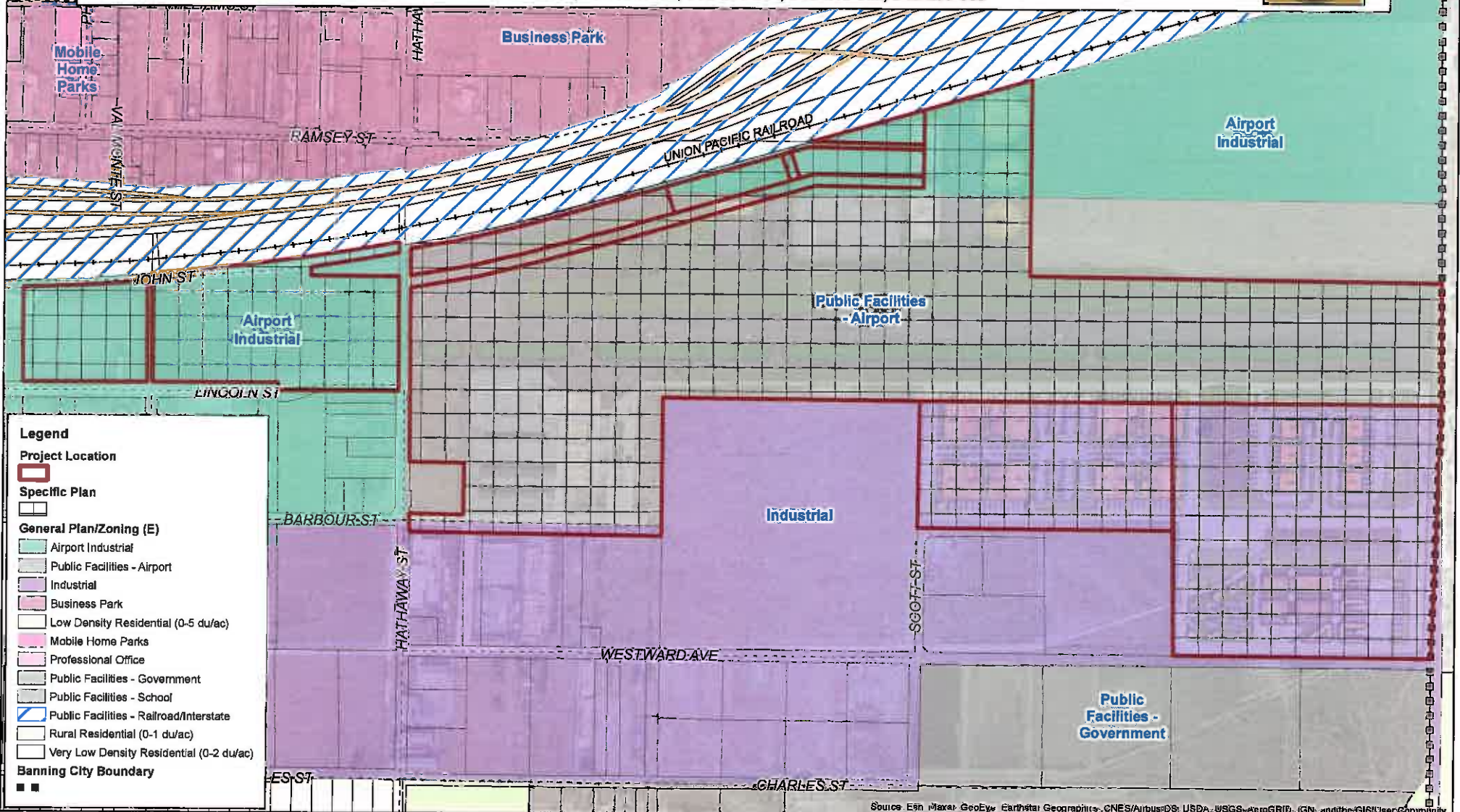
PROJECT NUMBER: ZAP1041BA21

GENERAL PLAN/ZONING (P)

APN's: 532-130-011, 532-130-012, 532-130-018, 532-140-003, 532-150-001,
532-150-002, 532-150-003, 532-150-004, 541-240-009, 541-250-009



5/17/2021



Legend

Project Location



Specific Plan



General Plan/Zoning (E)

Airport Industrial

Public Facilities - Airport

Industrial

Business Park

Low Density Residential (0-5 du/ac)

Mobile Home Parks

Professional Office

Public Facilities - Government

Public Facilities - School

Public Facilities - Railroad/Interstate

Rural Residential (0-1 du/ac)

Very Low Density Residential (0-2 du/ac)

Banning City Boundary



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



City of Banning

Community Development Department

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed.

Existing Land Use (describe)

Banning Municipal Airport (BMA) is a city-owned airport one mile southeast of Banning, in Riverside County, California. The BMA covers 166.5 acres at an elevation of 2,222 feet (677 m). It currently has one runway, measured at 4,955 by 100 feet (1,510 x 30 m) asphalt. Currently, BMA houses hangars and single engine planes, and is home to a local skydiving business.

With operation costs subsidized by the local community for use of plane owners who reside outside of this economically underserved area, the airport serves an opportunity for development and regional revitalization. Furthermore, take-offs, landings, and fuel sales have steadily declined over the past decade. As aviation-related businesses are difficult to recruit due to their highly specialized and regulated nature, the airport continues to be a depreciating asset.

Proposed Land Use (Describe)

In a joint-application, the City of Banning and Grandave Capital proposes the construction of Grandave Studios at BMA, which would include building 16 sound stages, a water tank for filming underwater scenes, brownstone facilities (entire mock-ups of cityscapes to mimic street scenes), storage facilities, a tour office, and a security office/command center. Sound stages will vary in size from 10,000 square feet to 30,000 square feet, for a combined 300,000 planned square feet of sound stages and production facilities. The airport will remain open, and both the City and Grandave Studios will work to ensure that operations would not hinder the ability and safety of planes to land and take off. The project does not anticipate any negative impact on current air traffic or businesses at the site, including maintaining hangar space for planes currently parked at the airport. In addition to the studios, BMA will have increased security features and enhancements to existing hangars. The proposed project and the studios would also offer training scenarios for law enforcement and public safety institutions, including active shooter scenes with actors and simulated wounds, an emergency vehicle operations course for first responders to practice driving, and fire suppression operation support to assist as an evacuation site during regional fires or natural disasters. The design of the proposed project anticipates minimal electrical interference, glare, and other potential hazards to flight from being created on the property. Grandave Studios continues to work with the City of Banning, Riverside County, and the Federal Aviation Administration (FAA) and various stakeholders in the preparation of the project's NEPA and CEQA documents. The tallest anticipated building is 55', with the majority of stages at or below 55'. Flex buildings, offices, storage, mills, are anticipated to be shorter in height. The domes inside of the

studio will also be around 55'. The current airport houses 9 hangar structures and are being rented out to 16 planes. Of the 9 hangar structures, 5 have been condemned by the City and are slated for demolition. All of the hangars to the west of the entry are being rented out. Grandave Studios will work with the current occupants of the rental space to ensure appropriate housing and prevent any local displacement.

For other land uses, hours of operation, and number of people on site (include method of calculation):

Height Data Site Elevation (above mean sea level) ft.: Ground Elevations vary between 2102 to 2256 feet above MSL.

Height of buildings or structures (from the ground) ft.: Building Elevations vary between 2157 to 2,311 feet above MSL.

Flight Hazards: Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?

The project does not involve any design that would create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight. The proposed project is anticipated to use undergrounding requirements for newer buildings, while also meeting the National Electrical Code of delivering underground circuits. There are no satellite dishes, solar panels, extended length antennas or other systems or permanent infrastructure that would interfere with aircraft landing, as well as emergency deviations from the runway.

The soundstages located adjacent to the runway will meet the clearing space necessary as outlined by the Open Land requirements. All site lighting and buildings will adhere to applicable State, Federal, and local construction codes and will be as low intensity as possible, with no lighting directed upward into the sky.

Compatibility with Riverside ALUC Requirements.

The proposed project is not authorized by the Public Facilities – Airport (PF-A) General Plan Land Use Designation and the PF-A Zoning Classification, which are indicated on the City of Banning general plan land use map and the ALUC land use compatibility criteria. The proposed nonresidential development intends to achieve conformance all applicable density requirements as set by the ALUC. There will not be any changes to the airport layout, runway, and taxiway design. The attached project application meets the Open Space/Plan Requirement 4.2.4; and the design team has put considerations in ample open space and separation, meeting the Obstacle Free Zone (OFZ) and Runway OFZ requirements by FAA. The proposed project also meets FAA Advisory Circulars related to the standards for Runway Safety Areas (RSA), and the design ensures adequate space so that vehicular and non-vehicular traffic are controlled and separated in the event of an undershoot, overshoot, or excursion from the runway.

The proposed project also meets the following:

99 E. Ramsey Street • P.O. Box 998 • Banning, CA 92220-0998 • (951) 922-3100

2.1 Compatibility Zone D Nonresidential Intensities: (The criteria set forth in Countywide Policies 3.1.1, 3.1.4, and 4.2.5(b)(5) and the Basic Compatibility Criteria matrix (Table 2A) notwithstanding, the following usage intensity criteria shall apply within Airport Compatibility Zone D)

The proposed project meets the requirement that an average of 200 people per acre shall be allowed on a site and up to 800 people shall be allowed to occupy any single acre of a site. While the sound stages and office building will meet the Riverside County Fire Marshal requirements and the Grandave Studios Operational and Business Plan. In permitted events, the proposed project will meet the requirement that single-acre occupancies up to 1,000 people, as indicated within the Countywide ALUC Policies.

2.2 Calculation of Concentration of People in Retail Sales Establishments:

The planned project will have a restaurant/café space that meets the maximum space requirement of one person per 115 square feet of gross floor area. The project sponsors will work with the Riverside County Fire Marshal to ensure that occupancy load, certificates of occupancy, and other commercial property safety requirements are met and publicly available.

Business Operations, Security, and Evacuation Plans:

Grandave Studios anticipates that the physical components of the project will align with standardized studio business operations, including having a studio lot that is physically secured, specific gates and security points of entry to ensure safety and control vehicular and pedestrian movement, as well as accompanying sound stages and office space for both studio staff and production companies.

In addition to these basic components, the Grandave Studios is expected to offer full-service enterprise and services (production and post-production) necessary to create a motion picture, including costumes, props, cameras, sound recording, crafts, sets, lighting, special effects, cutting, editing, mixing, and scoring. In ensuring the safety of both people and aircraft, Grandave Studios will use modern airport warning systems to prevent injuries, casualties, and damages to both planes and studio infrastructure. While the airport remains to be open, its runway length of less than 5,000 feet, and its pavement index will enable the studio to foreseeably limit the types of aircraft takeoffs and landings. The studios will work with the FAA and partners to ensure that runways and taxiways are clear of any obstruction and that pedestrian and vehicular traffic are kept on the minimum during hours of operation. Because filming may happen during different hours of the day, the studios will maintain security, safety, and emergency personnel in the event of an accident.

Security personnel will be in place at adequate intervals to monitor the barricades and fencing. Personnel will be in place at all times to monitor the spectator access points (e.g., spectator vehicular entry, spectator access to/from spectator parking/spectator area) and any allowed vehicle access point. All allowed vehicles and trailers will first receive a safety inspection prior to being allowed official entry to the studios. Studio-related traffic will not impede or use the runway or taxiway. In the event that the studios use the runway for training or filming, a comprehensive inspection will be made of all surfaces before and after any usage to allow an accurate damage assessment to the pavement and facilities. The inspection shall include emphasis on the presence of Foreign Object Debris (FOD) that could

damage aircraft. Appropriate notification to the FAA of the runway and taxiways closure will occur to ensure adequate setup, event, and teardown/cleanup. All appropriate NOTAMS will be issued well in advance to both stakeholders and tenants and mitigate any negative impacts to aeronautical use without the degradation of the airports system efficiency and operations.

Airport Emergency Plan and Evacuation Plan:

Grandave Studios will work with the City of Banning and the FAA to create and maintain a detailed airport emergency plan (AEP) to help the community and occupants deal with the aftermath of an emergency or disaster. The airport emergency plan involves several different components and is usually created and will be implemented by the studio manager or an emergency response coordinator. This plan will combine references to material provide by the City of Banning, Transportation Security Administration (TSA), Customs and Border Protection (CBP), Occupational Safety Health Administration (OSHA), CalOSHA, and other pertinent agencies.

An evacuation plan will be created in support of the AEP and is necessary to ensure the safety of both employees and the traveling public during an Airport evacuation event. Events of this nature include, but are not limited to, an act of terrorism, earthquake, fire, bomb threat, power outage, or plane crash. An evacuation may be for a single work area or for the entire airport. Once the airport has been evacuated, neither personnel, nor passengers will be permitted to return without the authorization of the Incident Commander or other authorized personnel. Grandave Studios will use the Standardized Emergency Management System (SEMS) and National Incident Management System (NIMS) formats whenever possible when developing new or updating existing plans. The plan will be revisited annually by Emergency Management to ensure it is kept current.

Staff Responsibilities:

Studio and airport staff will assist when possible in the evacuation process. It is important to assist the traveling public in finding exit routes and avoiding hazards. Staff should be familiar with the building layout and exit routes from their area to the nearest assembly area locations. Staff will ensure they are familiar with the location of the closest fire alarm pull stations, exit routes, etc.

Incident Command:

Grandave Studios will use the Incident Command System to manage evacuations. Employees, tenants, and passengers must evacuate any location that is found to be hazardous, or is projected to be unsafe, and move to the nearest assembly area. Fire and Police, assisted by other workgroups and agencies, will aid others in evacuation or may provide perimeter security to prevent unauthorized entry to the hazardous area.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION
www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Banning Planning Department should be contacted on non-ALUC issues. For more information please contact City of Banning Planner Mr. Adam Rush at (951) 922-3131.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website www.rcaluc.org. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to prull@rivco.org. Individuals with disabilities requiring reasonable modifications or accommodations, please telephone Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: July 8, 2021

TIME OF HEARING: 9:30 A.M.

Pursuant to Executive Order N-29-20, this meeting will be conducted by teleconference and at the Place of Hearing, as listed above. Public access to the meeting location will be allowed, but limited to comply with the Executive Order. Information on how to participate in the hearing will be available on the ALUC website at www.rcaluc.org

CASE DESCRIPTION:

ZAP1041BA21 – City of Banning/Grandave Studios (Representative: Fernando Huerta – City of Banning Case Nos. GPA21-2502 (General Plan Amendment), ZC21-3502 (Zone Change), DR21-7001 (Design Review). A proposal to establish a Grandave Movie Studio including 51 buildings (some with mezzanines)-structures totaling 963,465 square feet, to be used as production stages, sound stages, water sound stages, warehouse storage facilities, offices, café, security stations, aircraft hangars, and two outdoor filming areas with building facades on 207.55 net acres (217.84 gross parcel acreage), generally located southerly of Interstate 10, easterly of Hargrave Avenue, and northerly of Westward Avenue/Charles Street. The applicant also proposes to amend the sites General Plan land use designation and zoning from Public Facilities Airport, Airport Industrial, and Industrial, to Public Facilities, Airport Industrial and Industrial Specific Plan overlay (Airport Compatibility Zones A, B1, B2, C, and D of the Banning Airport Influence Area).



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1041BAZ1 DATE SUBMITTED: April 9, 2021

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	City of Banning - Grandave Studios	Phone Number	(951) 922-3131
Mailing Address	99 East Ramsey Street Banning, CA 92220	Email	arush@banningca.gov

Representative	Fernando Huerta	Phone Number	(619) 990-6858
Mailing Address	6977 Navajo Road, #180	Email	fhuerta.sfdc@gmail.com

Property Owner	City of Banning - Public Works Dept. (ATTN: Art Vela, PE)	Phone Number	(951) 922-3134
Mailing Address	99 East Ramsey Street, Banning, CA 92220	Email	avela@banningca.gov

LOCAL JURISDICTION AGENCY

Local Agency Name	City of Banning	Phone Number	(951) 922-3131
Staff Contact	Mr. Adam B. Rush, M.A., AICP	Email	arush@banningca.gov
Mailing Address	99 East Ramsey Street Banning, CA 92880	Case Type	GPA, SP, CZ, & Design Review
Local Agency Project No	Design Review (DR) 21-7001 <u>GPA 21-2502, CZ 21-3502</u>	<input checked="" type="checkbox"/>	General Plan / Specific Plan Amendment
		<input type="checkbox"/>	Zoning Ordinance Amendment
		<input type="checkbox"/>	Subdivision Parcel Map / Tentative Tract
		<input type="checkbox"/>	Use Permit
		<input checked="" type="checkbox"/>	Site Plan Review/Plot Plan
		<input type="checkbox"/>	Other

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	Located southerly of Interstate 10 freeway, northerly of Barbour St., easterly of Hargrave St., and westerly of the City of Banning corporate limits		
Assessor's Parcel No.	532-130-012; 541-250-009; 541-240-009; 532-130-011; 532-130-018	Gross Parcel Size	166.50 Gross Acres
Subdivision Name	MB 18/8; MB 14/186	Nearest Airport and distance from Airport	Zero Feet
Lot Number	N/A		

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	The existing land use includes the Banning Municipal Airport (BMA) which provides a 4,800-foot runway, administrative offices, private and public use hangers, and various airport-related uses and operations that are ancillary to the primary airport use.
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BANNING
ZONE A,
B1, B2, C1
D

Proposed Land Use (describe)	SEE ATTACHED PROJECT NARRATIVE	
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	N/A
For Other Land Uses (See Appendix C)	Hours of Operation	The Banning Airport/Grandave Studios project will operation as a 24/7 facility in order to preserve aeronautical uses.
	Number of People on Site	2,500
	Maximum Number	2,608
	Method of Calculation	Occupancy load versus ALUC occupancy standards
Height Data	Site Elevation (above mean sea level)	Ground Elevations vary between 2102 to 2256 feet above MSL. ft.
	Height of buildings or structures (from the ground)	Building Elevations vary between 2157 to 2,311 feet above MSL. ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes
	If yes, describe	<input checked="" type="checkbox"/> No

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
- 1. Completed ALUC Application Form
 - 1. ALUC fee payment
 - 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
 - 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 - 1. CD with digital files of the plans (pdf)
 - 1. Vicinity Map (8.5x11)
 - 1. Detailed project description
 - 1. Local jurisdiction project transmittal
 - 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 - 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. **(Only required if the project is scheduled for a public hearing Commission meeting)**

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

5.1 Director's Approvals.

- A. During the period of May 16, 2021, through June 15, 2021, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Paul Rull reviewed four non-legislative cases within Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area, one non-legislative case within Zone D of Bermuda Dunes Airport Influence Area, and one non-legislative case within Zone E of Palm Springs International Airport Influence Area.

ZAP1473MA21 (March Air Reserve Base/Inland Port Airport Zone E) pertains to City of Moreno Valley Case No. PEN20-0202 (Plot Plan), a proposal to construct two Cannabis Cultivation Warehouse buildings totaling 43,308 square feet on 8.83 acres located northerly of Cactus Avenue, easterly of Graham Street, southerly of Alessandro Boulevard, and westerly of Heacock Street. The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density and non-residential intensity are not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 9,141 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,680 feet AMSL. The project site elevation is 1,569 feet AMSL, and the tallest proposed structure is 24 feet, for a maximum top point elevation of 1,593 feet AMSL. There are no proposed changes to the existing building height. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

ALUC Director Paul Rull issued a determination of consistency for this project on May 26, 2021.

ZAP1474MA21 (March Air Reserve Base/Inland Port Airport Zone E) pertains to County of Riverside Case No. PPT190038 (Plot Plan Amended), a proposal to establish an RV storage yard on 2.23 acres and to allow for the operation of a pod storage facility on approximately 10.09 acres of the 32.68 acre site located on the southeast corner of Briggs Road and Grand Avenue. (A proposal to establish an RV storage yard on 2.9 acres of the site was found consistent under ZAP1413MA20, and a following proposal to permit a mulch material storage yard on 11.49 acres of the site was found consistent under ZAP1427MA20). The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its southerly terminus. At a

distance of 29,100 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,705 feet AMSL. The project site elevation is 1456 feet AMSL. With a maximum structure height of 8 feet, the top point elevation would be 1,464 feet AMSL. Therefore, review of the structures by the FAA Obstruction Evaluation Service (FAA OES) is not required.

ALUC Director Paul Rull issued a determination of consistency for this project on June 3, 2021.

ZAP1475MA21 (March Air Reserve Base/Inland Port Airport Zone D) pertains to City of Moreno Valley Case No. PEN20-0213 (Conditional Use Permit), a proposal to construct a four story 19,087 square foot hotel on 2.19 acres located southerly of Gateway Drive, westerly of Memorial Way, northerly of Eucalyptus Avenue, and easterly of Bay Street. The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 13,634 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,671 feet AMSL. The project site elevation is 1,590 feet AMSL, and the tallest proposed structure height is 53 feet, for a maximum top point elevation of 1,643 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

ALUC Director Paul Rull issued a determination of consistency for this project on June 1, 2021.

ZAP1477MA21 (March Air Reserve Base/Inland Port Airport Zone E) pertains to County of Riverside Case No. TTM37665 (Tentative Tract Map), a proposal to divide 48 acres into 36 single family residential lots located northerly of Rancho Sonado Road and southerly of Mockingbird Canyon Road. The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (AMSL). At a distance of 39,100 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review could be required for any structures with a top of roof exceeding 1,926 feet AMSL. The project's site elevation is 1,277 feet AMSL, and a maximum building height of 40 feet, resulting in a top point elevation of 1,317 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) was not required.

ALUC Director Paul Rull issued a determination of consistency for this project on June 15, 2021.

ZAP1084BD21 (Bermuda Dunes Airport Zone D) pertains to County of Riverside Case No. PPT200020 (Plot Plan), a proposal to construct a multifamily residence consisting of three dwelling units on 0.25 acres, located northerly of Runaway Bay Drive, westerly of Coral Drive, southerly of 42nd Avenue, and easterly of Lima Hall Road. Pursuant to the Bermuda Dunes Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D of the Bermuda Dunes Airport Influence Area, where residential density is restricted to either below 0.2 dwelling units per acre or above 5 dwelling units per acre. The project proposes 3 dwelling units on 0.25 gross acres, resulting in a density of 12 dwelling units per acre, which is consistent with the Zone D residential density criteria.

The elevation of Runway 10-28 at Bermuda Dunes Airport at its westerly terminus is approximately 73 feet above mean sea level (AMSL). At a distance of approximately 3,680 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top point exceeding 110 feet AMSL. The site's elevation is 84 feet AMSL, and the height of the tallest proposed building is 23.4 feet, resulting in a maximum top point elevation of 107.4 feet AMSL. Therefore, review by the FAA OES was not required.

ALUC Director Paul Rull issued a determination of consistency for this project on May 27, 2021.

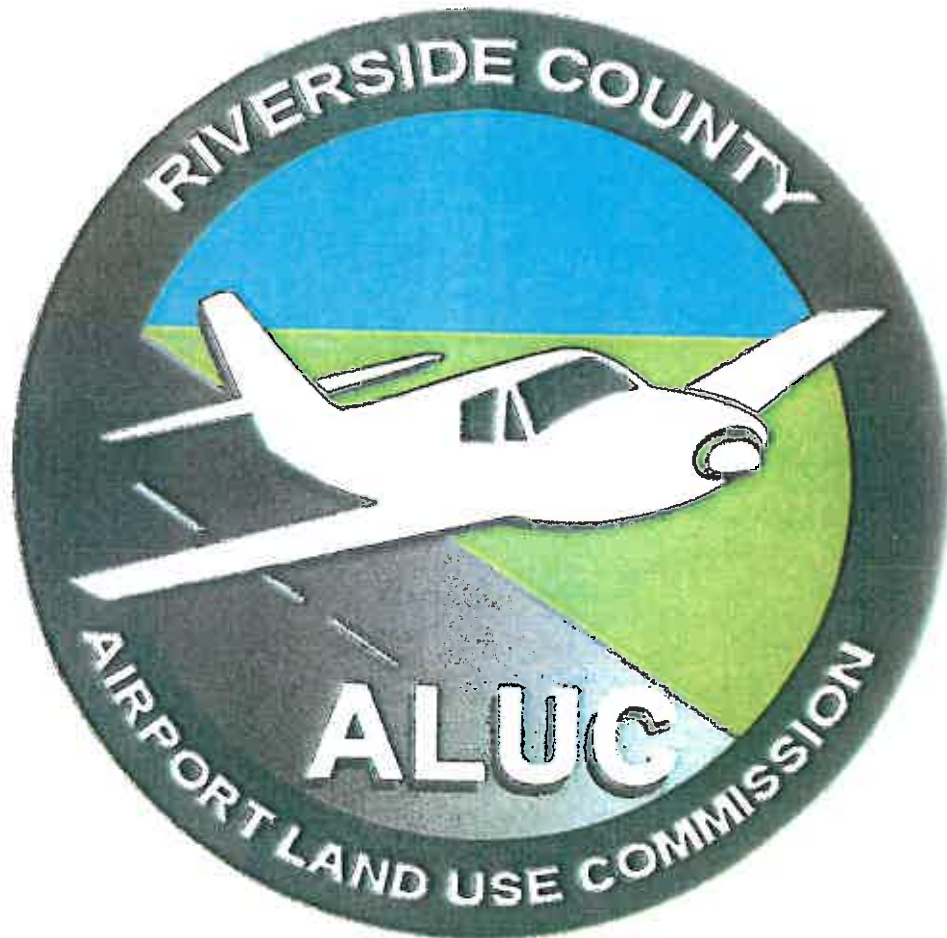
ZAP1095PS21 (Palm Springs International Airport Zone E) pertains to City of Cathedral City Case No. CUP20-025 (Conditional Use Permit), a proposal to construct a 3,669 square foot car wash tunnel on 0.75 acres located on the northwest corner of Vista Chino and Landau Boulevard. The site is located within Airport Compatibility Zone E of the Palm Springs International Airport Influence Area (AIA). Within Compatibility Zone E of the Palm Springs International Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 13R-31L at Palm Springs International Airport at its northerly terminus is approximately 474 feet above mean sea level (AMSL). At a distance of approximately 11,000 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top point exceeding 584.4 feet AMSL. The site's elevation is 425 feet AMSL, and the height of the tallest proposed building is 29 feet, resulting in a maximum top point elevation of 454 feet AMSL. Therefore, review by the FAA OES was not required.

ALUC Director Paul Rull issued a determination of consistency for this project on June 4, 2021.

5.2 Update March Air Reserve Base Compatibility Use Study (CUS)
Presentation by Project Director Simon Housman or his designee.

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



May 26, 2021

Mr. Sean Kelleher, Project Planner
City of Moreno Valley Planning Department
14177 Frederick Street
Moreno Valley CA 92552

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Manos
Lake Elsinore

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Paul Rull

Simon A Housman
Daniel Zerda
Barbara Santos

County Administrative Center
4030 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

File No.: ZAP1473MA21
Related File No.: PEN20-0202 (Plot Plan)
APN: 297-180-007
Airport Zone: Compatibility Zone E

Dear Mr. Kelleher:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed PEN20-0202 (Plot Plan) a proposal to construct two Cannabis Cultivation Warehouse buildings totaling 43,308 square feet on 8.83 acres located northerly of Cactus Avenue, easterly of Graham Street, southerly of Alessandro Boulevard, and westerly of Heacock Street.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density and non-residential intensity are not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 9,141 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,680 feet AMSL. The project site elevation is 1,569 feet AMSL, and the tallest proposed structure is 24 feet, for a maximum top point elevation of 1,593 feet AMSL. There are no proposed changes to the existing building height. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33B).

www.rcaluc.org

AIRPORT LAND USE COMMISSION

Although the nearest portion of the proposed project is located within 10,000 feet of the runway (approximately 9,141), the project utilizes underground detention systems which will not contain surface water or attract wildlife and, therefore, would not constitute a hazard to flight.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Other Hazards to flight.
4. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
5. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall

AIRPORT LAND USE COMMISSION

not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Jefferson Choi (applicant)
Justin Barth, Synarc Studio (representative)
Naji Doumit (property owner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Doug Waters, Deputy Base Civil Engineer, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAPI473MA21\ZAPI473MA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

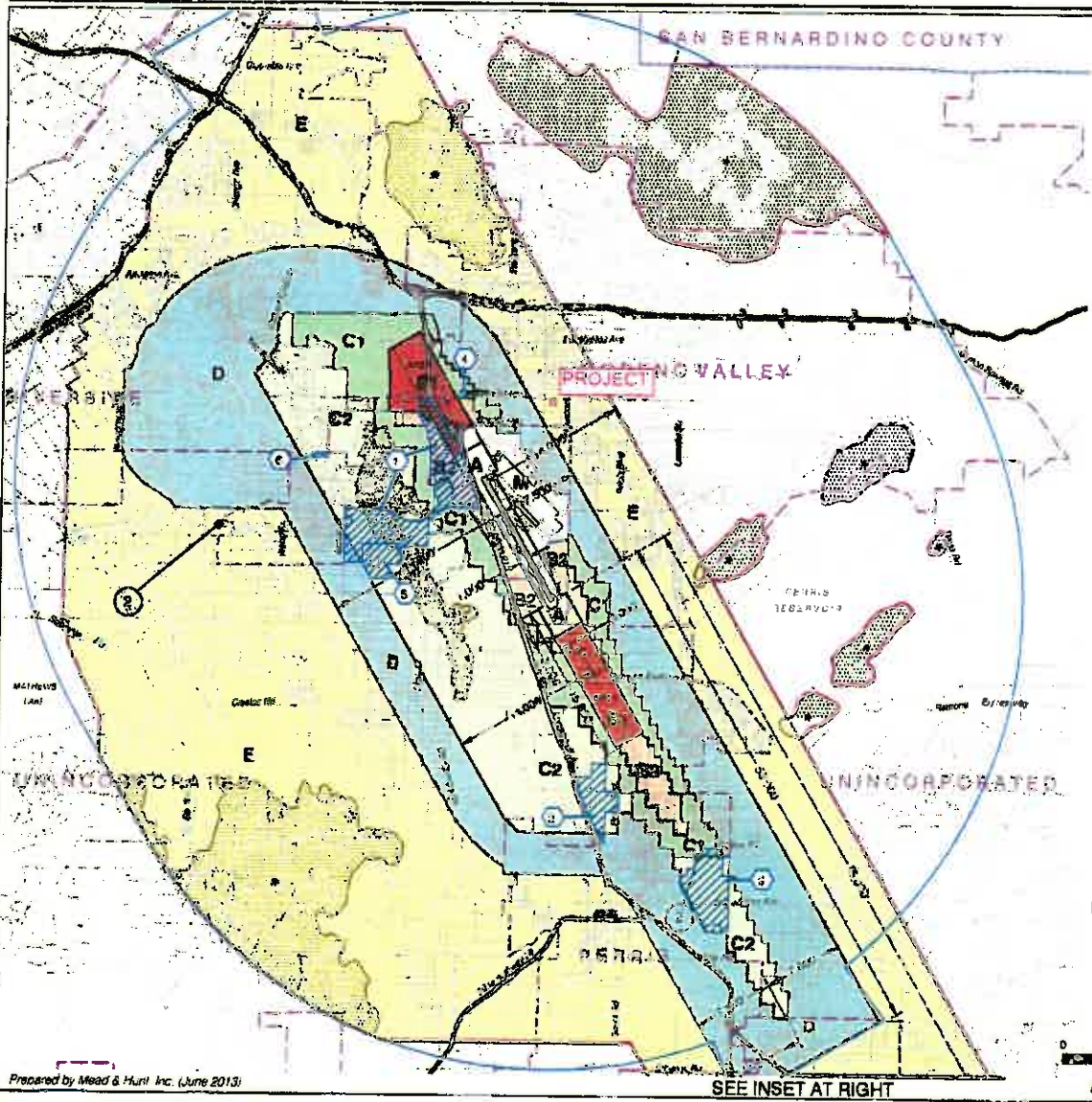
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

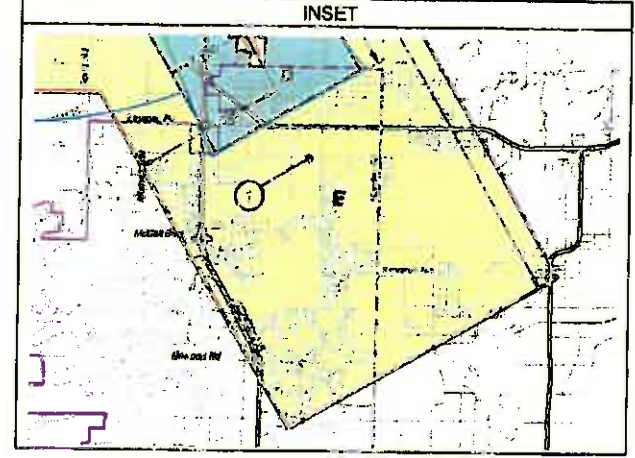
Boundary Lines

- March Air Reserve Base / Air Port Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① March JPA March Business Center/Meridian
- ② Perris Harvest Landing
- ③ Perris Park West
- ④ Moreno Valley Affordable Housing
- ⑤ March JPA Ben Clark Training Center
- ⑥ Riverside Ridge Crest Subdivision

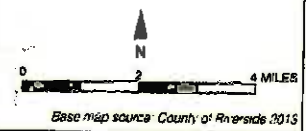
① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)

Note:
 All dimensions are measured from
 runway ends and centerlines.



Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

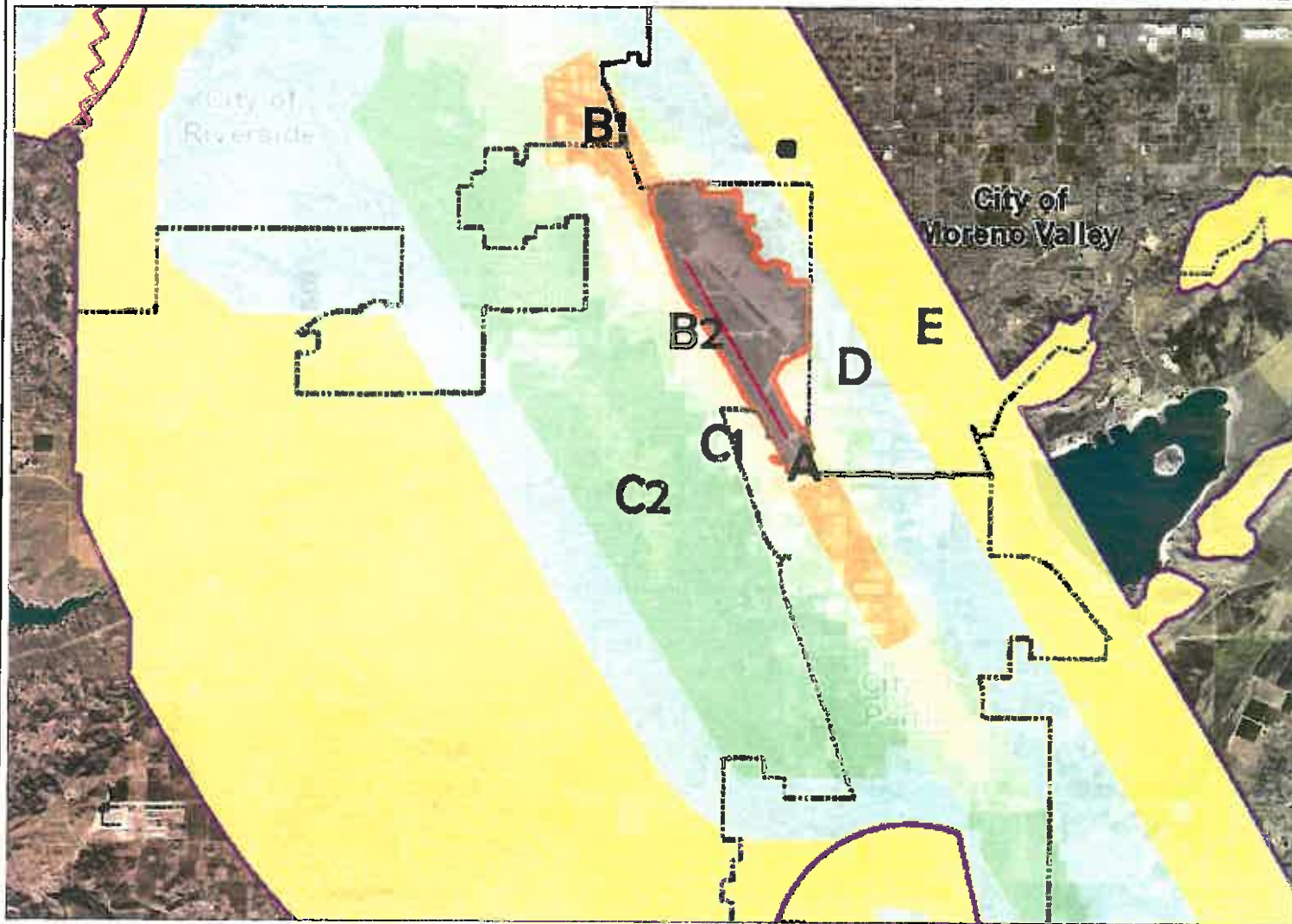
Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6

Notes



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Map My County Map

Los Angeles

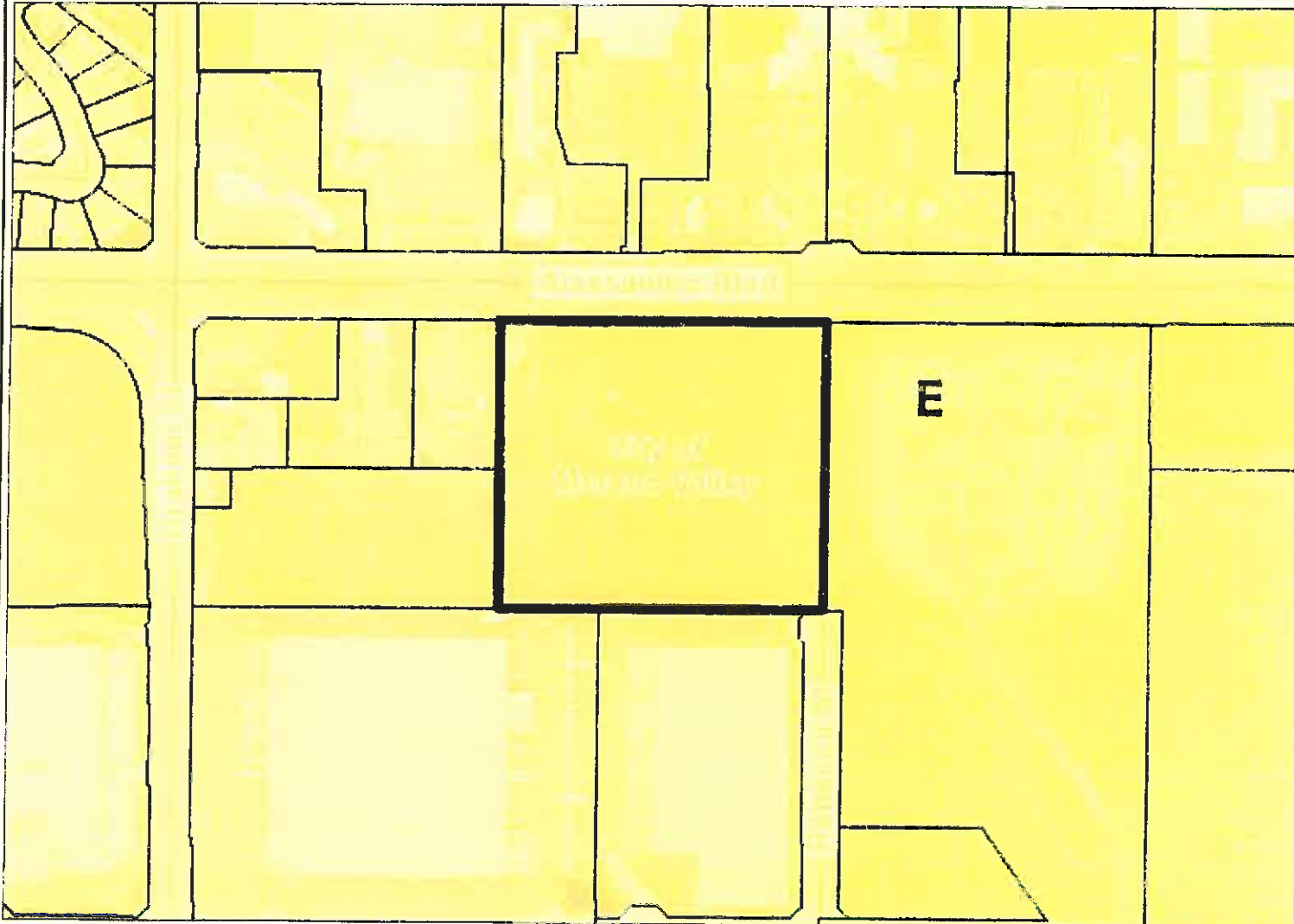


San Diego

Tijuana - Mexico

Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5



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Notes

Map My County Map

Los Angeles



San Diego

Tijuana

Mexical

Legend

-  Parcels
-  County Centerline Names
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



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Notes

Map My County Map

Los Angeles



San Diego

Tijuana

Mexico

Legend

- County Centerlines
- Blueline Streams
- City Areas
- World Street Map

Notes



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Map My County Map

Los Angeles



San Diego

Tijuana

Maxwell

Legend

- County Centerlines
- Blueline Streams
- City Areas
- World Street Map

Notes



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Map My County Map

Los Angeles



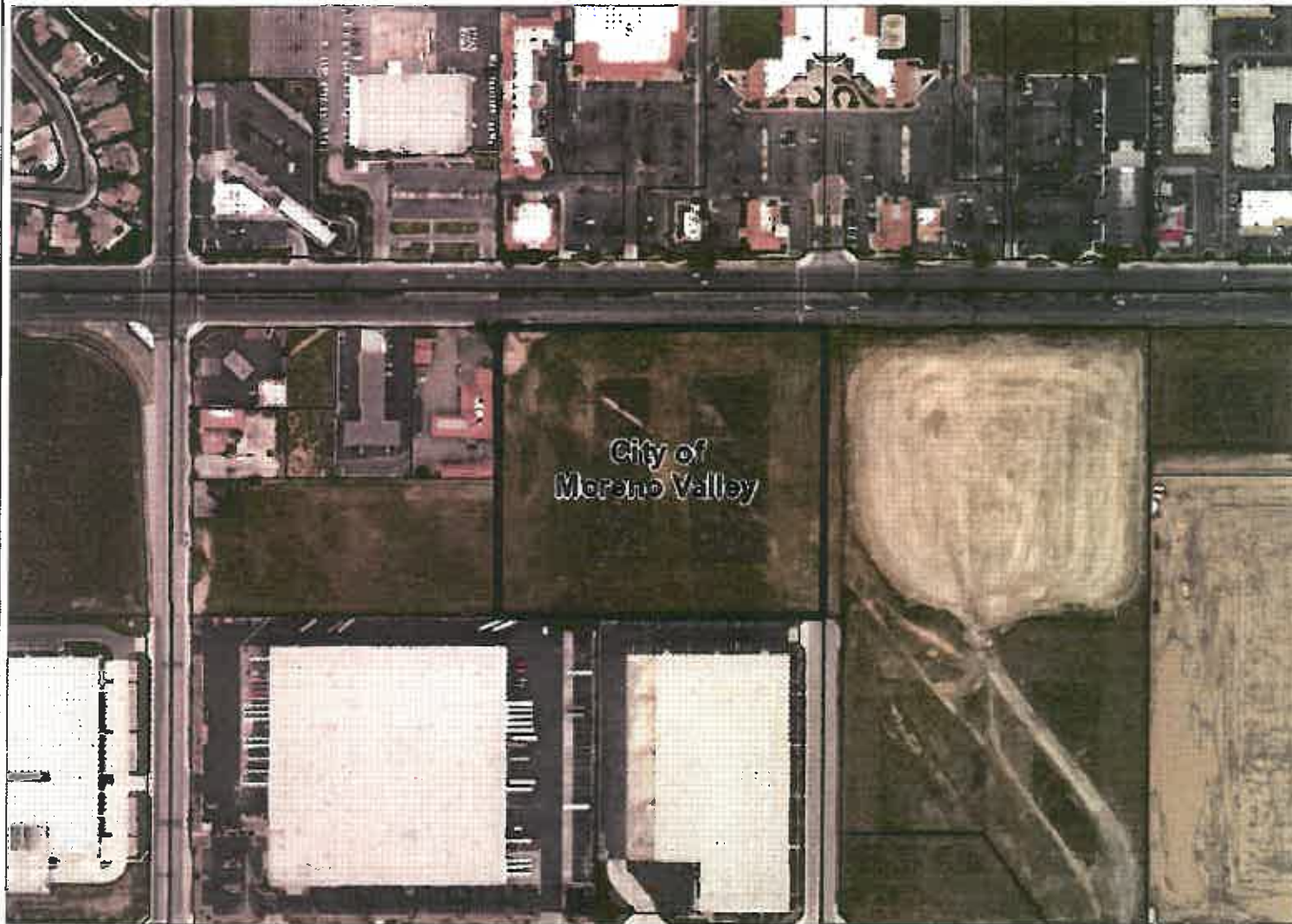
San Diego

Tijuana

Mexicali

Legend

- Parcels
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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Notos

NEW CONSTRUCTION ALESSANDRO BUSINESS PARK PHASE I & II

ALESSANDRO BLVD., MORENO VALLEY, CA 92553 (APN:297-180-007)

DRAWING INDEX

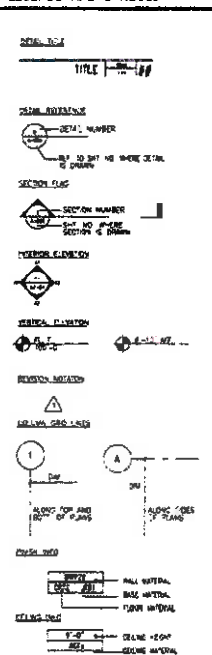
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001-1	ARCHITECTURAL	
002-1	GENERAL NOTES	
003-1	FOUNDATION	
004-1	FOUNDATION	
005-1	FOUNDATION	
006-1	FOUNDATION	
007-1	FOUNDATION	
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PROJECT OWNER: ALESSANDRO BUSINESS PARK, 15210 AVENUE 28, MORENO VALLEY, CA 92553
ARCHITECT: SYMARC STUDIO, 17230 RED HILL AVENUE, IRVINE, CA 92614
ENGINEER: CH2M HILL, 1400 WEST 60TH AVENUE, DENVER, CO 80231
GENERAL CONTRACTOR: [REDACTED]
CONTRACTOR: [REDACTED]
DESIGNER: [REDACTED]
DATE: 04/15/2021

ABBREVIATIONS

AC	ARCHITECTURAL
AD	ASBESTOS
AE	ASBESTOS EXPOSURE
AF	ASBESTOS FLOOR
AG	ASBESTOS
AL	ASBESTOS
AM	ASBESTOS
AN	ASBESTOS
AO	ASBESTOS
AP	ASBESTOS
AQ	ASBESTOS
AR	ASBESTOS
AS	ASBESTOS
AT	ASBESTOS
AV	ASBESTOS
AW	ASBESTOS
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BR	ASBESTOS
BS	ASBESTOS
BT	ASBESTOS
BV	ASBESTOS
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BX	ASBESTOS
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BZ	ASBESTOS
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CB	ASBESTOS
CC	ASBESTOS
CD	ASBESTOS
CE	ASBESTOS
CF	ASBESTOS
CG	ASBESTOS
CH	ASBESTOS
CI	ASBESTOS
CJ	ASBESTOS
CK	ASBESTOS
CL	ASBESTOS
CM	ASBESTOS
CN	ASBESTOS
CO	ASBESTOS
CP	ASBESTOS
CQ	ASBESTOS
CR	ASBESTOS
CS	ASBESTOS
CT	ASBESTOS
CU	ASBESTOS
CV	ASBESTOS
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CX	ASBESTOS
CY	ASBESTOS
CZ	ASBESTOS
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GA	ASBESTOS

LEGENDS AND SYMBOLS



GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

FIRE NOTES

- THE FIRE DEPARTMENT EMERGENCY VEHICLE ACCESS ROAD SHALL BE FULLY MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL ACCESS SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

PROPOSED BUILDING ANALYSIS:

BLDG AREA	1,200 SF
FLOOR AREA	2,400 SF
TOTAL FLOOR AREA	4,800 SF
TOTAL BLDG AREA	4,800 SF

PROPOSED PARKING ANALYSIS:

PROPOSED PARKING SPACES	30
REQUIRED PARKING SPACES	30
AVAILABLE PARKING SPACES	30

BUILDING CODE SUMMARY

1. ZONING	BP BUSINESS PARK
2. LAND USE	OFFICE
3. CONSTRUCTION TYPE	TYPE I - CONCRETE
4. NUMBER OF STOREYS	1 - STORY
5. BUILDING HEIGHT	10'-0" (ALLOWABLE BUILDING HEIGHT BY CBC 101-1)
6. BUILDING AREA	1,200 SF (ALLOWABLE BUILDING AREA BY CBC 101-1)
7. OCCUPANCY	F-1 (OFFICE)
8. OCCUPANT LOAD	100 SF
9. APN	297-180-007
10. FLOOR ZONE	ZONE 4 (AREAS DETERMINED TO BE OUTSIDE THE ZONED AREA)

PROPOSED OCCUPANT LOAD ANALYSIS:

PHASE I	1,200 SF / 100 SF = 12
PHASE II	1,200 SF / 100 SF = 12
TOTAL	24

PROJECT DESCRIPTION

CONSTRUCTION OF NEW TWO (2) BARRIERRA CALIFORNIA WAREHOUSES PHASE I & II. PHASE I IS 100,000 SF AND PHASE II IS 100,000 SF. TOTAL CONSTRUCTION AREA IS 200,000 SF. THE PROJECT IS LOCATED AT ALESSANDRO BLVD. AND 28TH STREET IN MORENO VALLEY, CA. THE PROJECT IS A PART OF THE ALESSANDRO BUSINESS PARK DEVELOPMENT.

LEGAL DESCRIPTION

THE PROJECT IS SITUATED IN THE CITY OF MORENO VALLEY IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
 LOT 2 IN BLOCK 247 OF MAP NO. 284-10-101 AND ALESSANDRO DEVELOPMENT, INC. IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP OF THE RECORD IN PLAT 28 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
 EXISTING OCCUPANTS MUST REMAIN EXPOSED TO THE COUNTY OF RIVERSIDE BY DEED RECORDS MAY BE TO BE REVIEWED AS NECESSARY. NO OTHER OFFICIAL RECORDS.
 APN: 297-180-007-03

PROJECT DATA

MIN. REQUIRED FRONT SETBACK	25'-0"
MIN. REQUIRED STREET SIDE SETBACK	33'-0"
MIN. REQUIRED REAR SETBACK	NONE ON 3' FROM PROPERTY LINE
MIN. REQUIRED INTERIOR SETBACK	NONE ON 3' FROM PROPERTY LINE
PROPOSED FRONT SETBACK	25'-0"
PROPOSED STREET SIDE SETBACK	33'-0"
PROPOSED REAR SETBACK	3'-0"
PROPOSED FINISH FLOOR AREA	9,790 SF

VICINITY MAP



Alessandro Business Park | Alessandro Blvd., Moreno Valley, CA 92553 (APN: 297-180-007)

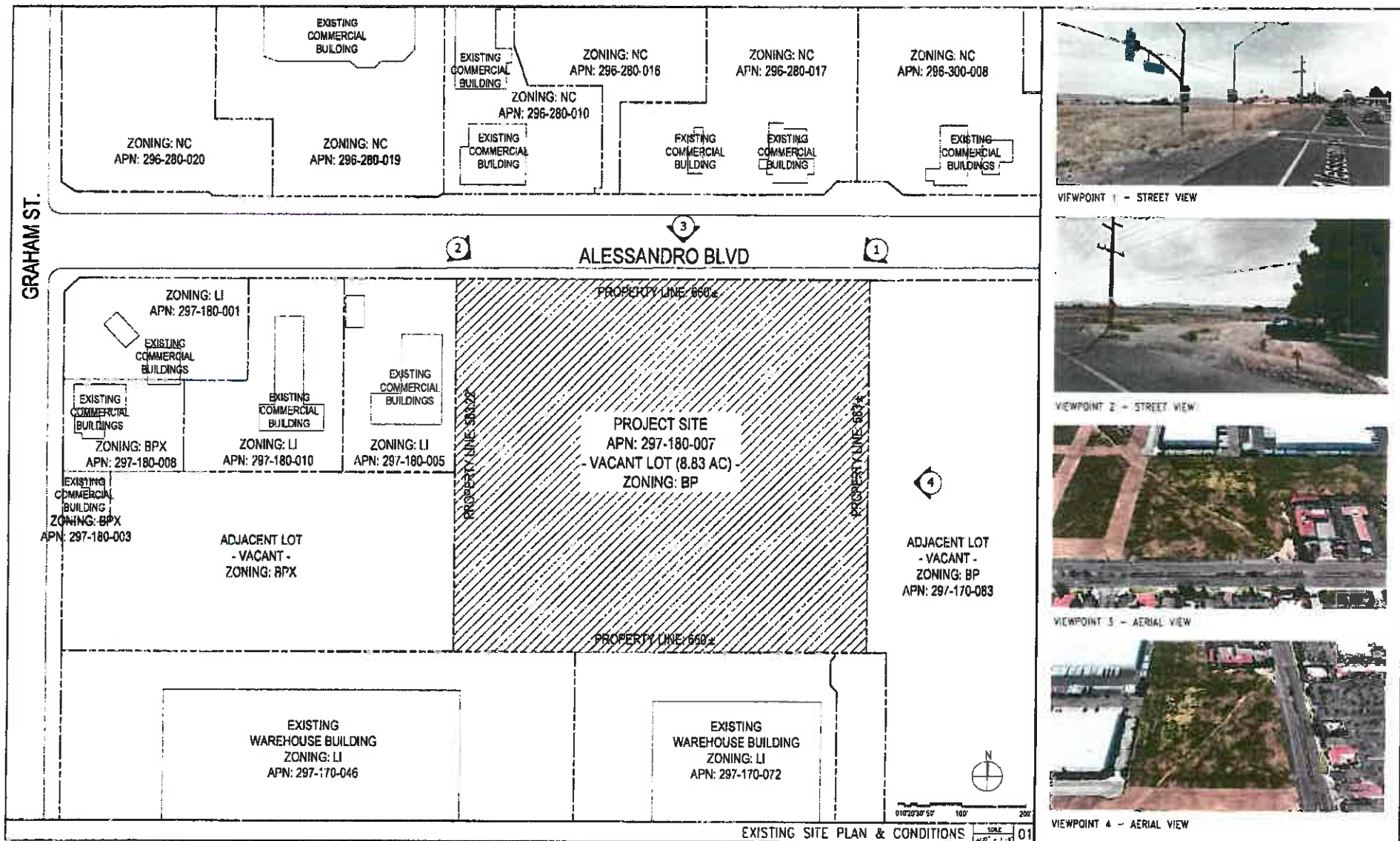
17230 Red Hill Ave, Irvine, CA 92614
 Tel: 949-396-1298 | Tel: 949-233-1126
 info@SymArcStudio.com | PN: 21_101

Cover Sheet / Vicinity Map

CUP Submittal
 04/15/2021

A-CUP1.0

CITY RECORD # PEN19-0101



Alessandro Business Park | Alessandro Blvd., Moreno Valley, CA 92553 (APN: 297-180-007)

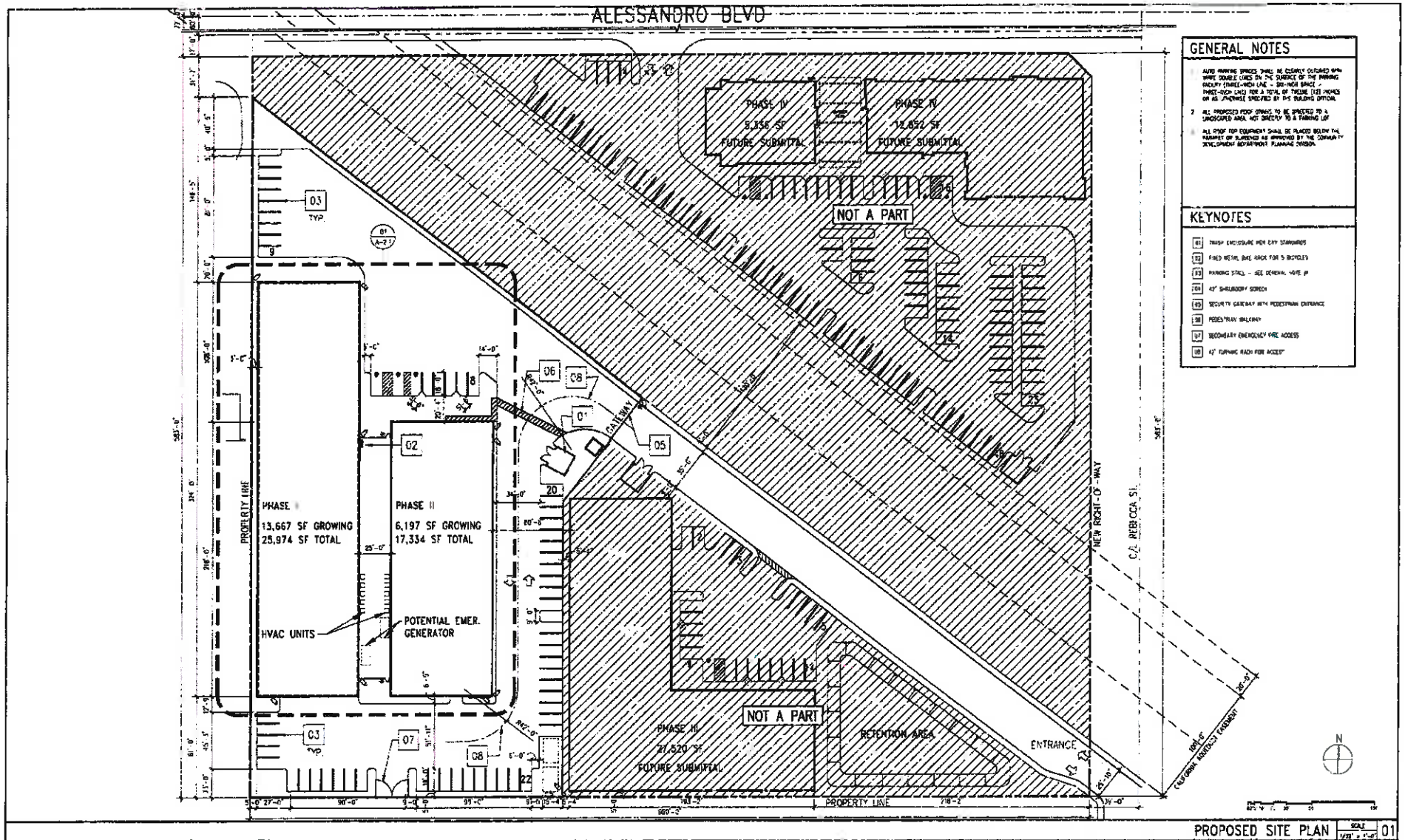
17200 Red Hill Ave, Irvine, CA 92614
 w: 949-396-4288 | m: 949-233-1126
 john@SynArcStudio.com | FN: 21_101

Existing Site Plan & Conditions

CITY RECORD # PEN19-0101

A-CUP1.1

CIP Submittal
 03/12/2021



Alessandro Business Park

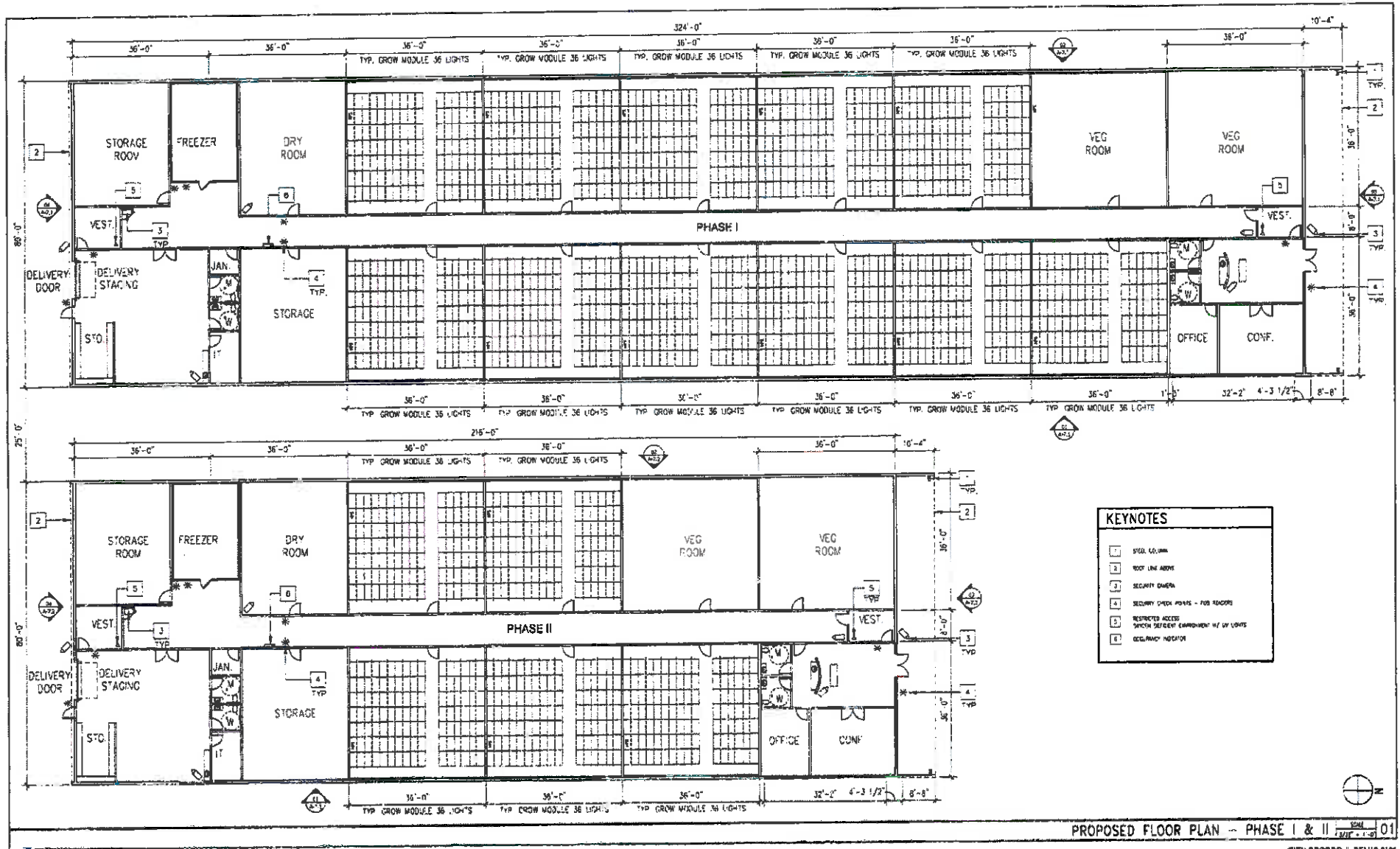
Alessandro Blvd., Moreno Valley, CA 92553 (APN: 297-180-007)

17300 Red Hill Ave, Irvine, CA 92614
 w: 949-596-4295 | m: 949-333-1126
 jchoi@SynArcStudio.com | PN: 21_101

Proposed Site Plan

A-CUP1.3

CUP Submittal
 04/15/2021



KEYNOTES	
1	STEEL COLUMN
2	ROOF LINE ADJUST
3	SECURITY CAMERA
4	SECURITY CHECK POINTS - FOB READERS
5	RESTRICTED ACCESS THROUGH SECURITY ENVIRONMENT W/ BY LIGHTS
6	DECK/RAMP INDICATOR

PROPOSED FLOOR PLAN -- PHASE I & II SCALE: 1/8" = 1'-0"

CITY RECORD #: PEN19-0101

Alessandro Business Park | Alessandro Blvd., Moreno Valley, CA 92553 (APN: 297-180-007)

Proposed Floor Plan - Phase I & II



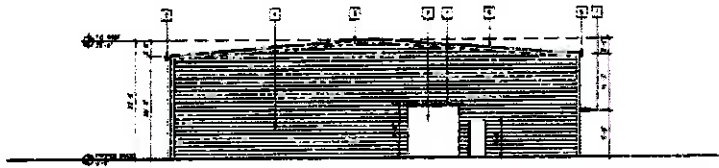
17200 Red Hill Ave, Irvine, CA 92614
 w: 949-246-4296 | m: 949-233-1126
 jchoi@SynArcStudio.com | PN: 21_101

CUP Submittal
 03/17/2021

A-CUP.2.1

KEYNOTES

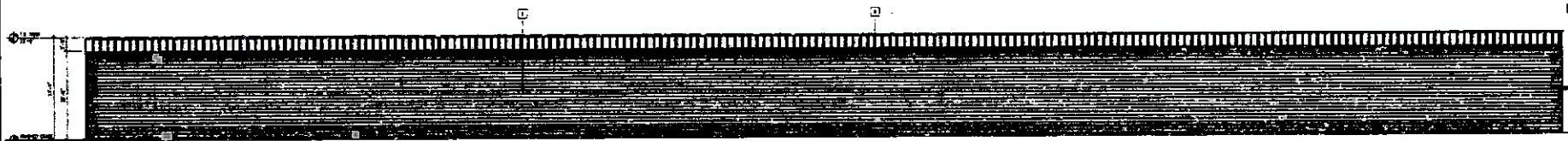
- 1 OVERPAINT
- 2 4'-0" x 8'-0" WINDOWS
- 3 METAL TRUSS STRUCTURE
- 4 CORRUGATED METAL WALL
- 5 GUTTER
- 6 EXPOSING SEAM METAL ROOF
- 7 ROLL-UP DOOR
- 8 CHARCOAL GRAY PAINTED
- 9 4'-0" x 8'-0" WINDOWS
- 10 METAL FINISH



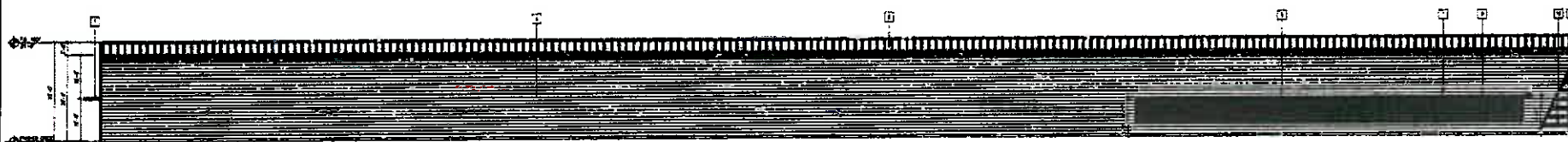
ELEVATION - PHASE I SCALE 1/8"=1'-0" 04



ELEVATION - PHASE I SCALE 1/8"=1'-0" 03



ELEVATION - PHASE I SCALE 1/8"=1'-0" 02



ELEVATION - PHASE I SCALE 1/8"=1'-0" 01

CITY RECORD #: PEN19-0101

Alessandro Business Park | Alessandro Blvd., Moreno Valley, CA 92553 (APN: 297-180-007)

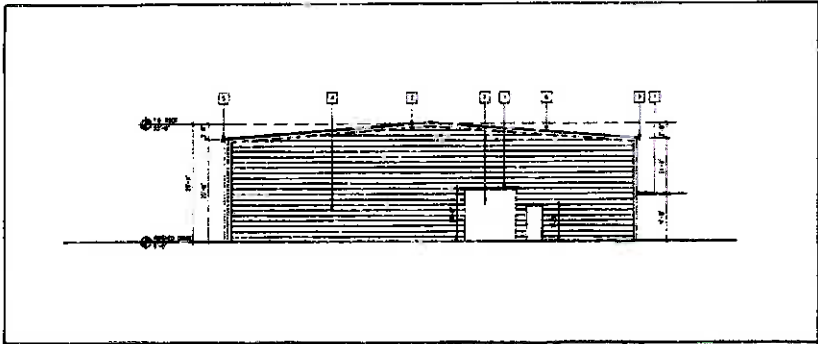
17200 Red Hill Ave, Irvine, CA 92614
 w: 949-296-4238 | m: 949-233-1126
 xhor@SynArcStudio.com | PN_21_01

SYNARC STUDIO

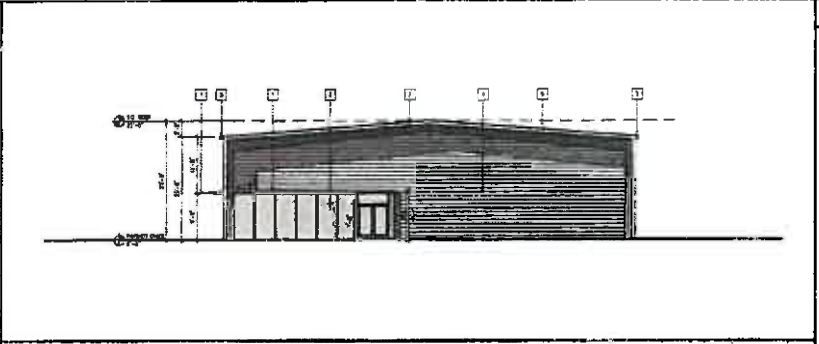
Elevations - Phase I

A-CUP7.1

CUP Submittal
 05/12/2021



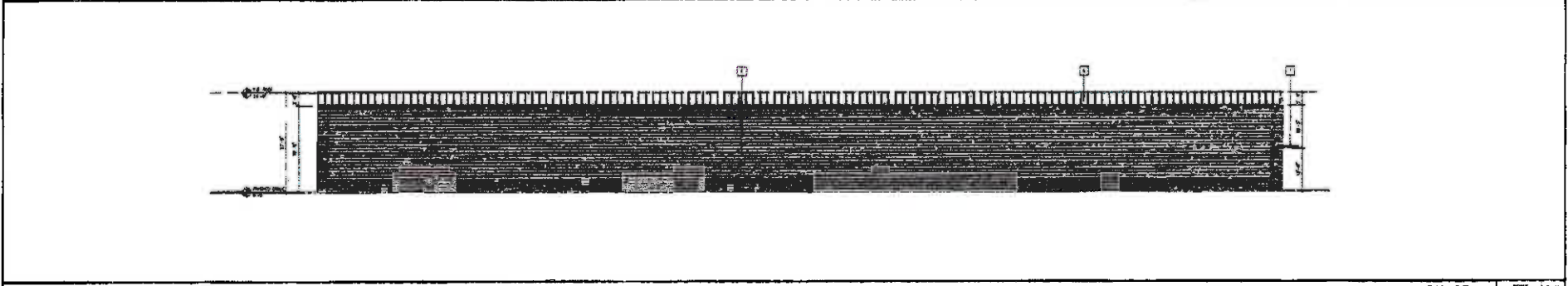
ELEVATION - PHASE II SCALE 1/8"=1'-0" 04



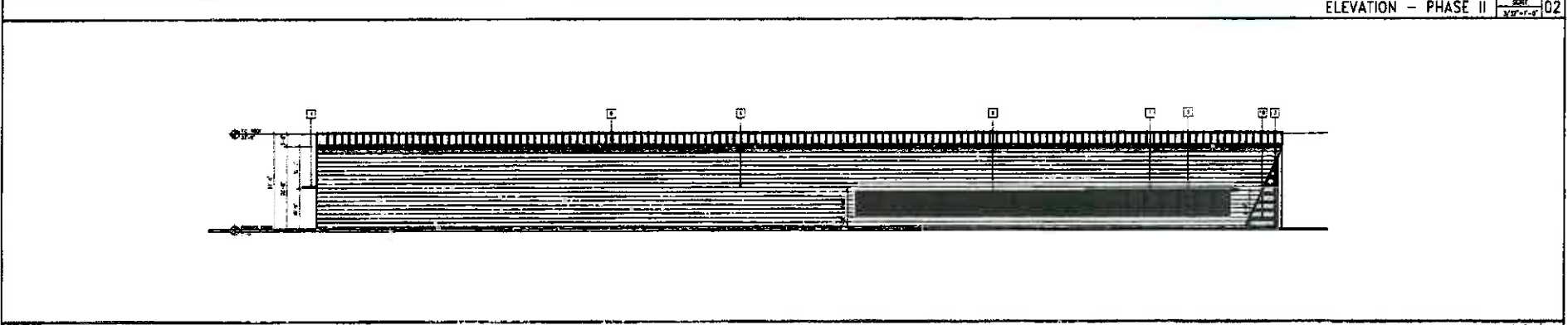
ELEVATION - PHASE II SCALE 1/8"=1'-0" 03

KEYNOTES

- 1 GROUND
- 2 4'-0" x 8'-0" WOODS
- 3 METAL BEAM STRUCTURE
- 4 CORRUGATED METAL WALL
- 5 CURB
- 6 STANDING SEAM METAL ROOF
- 7 ROLL-UP DOOR
- 8 CHARCOAL GRIP PAINTED
- 9 4'-0" x 8'-0" WOODS
- 10 METAL FINISH



ELEVATION - PHASE II SCALE 1/8"=1'-0" 02



ELEVATION - PHASE II SCALE 1/8"=1'-0" 01

CITY RECORD #: PEN19-0101



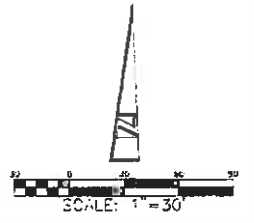
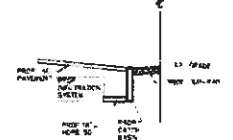
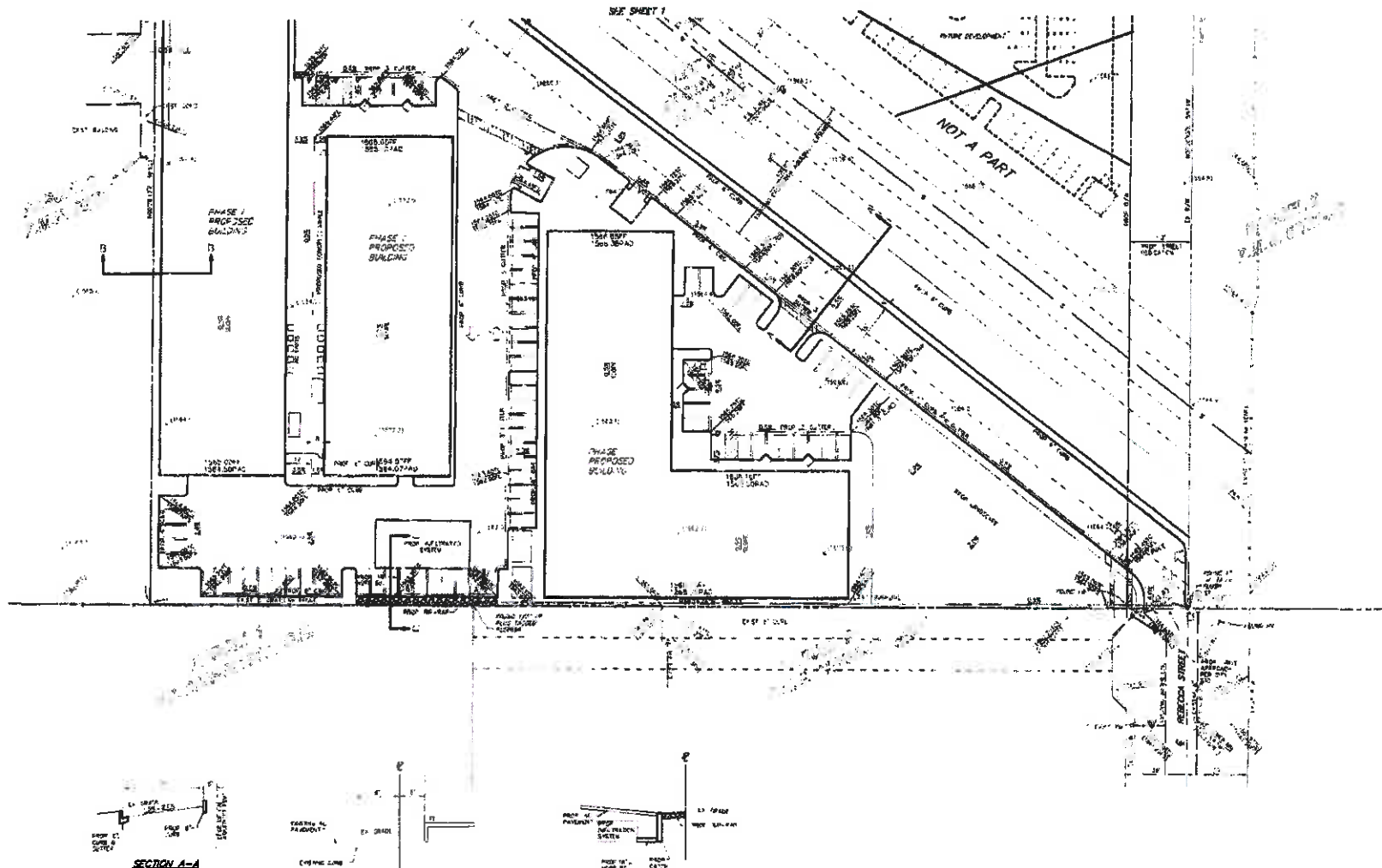
Alessandro Business Park | Alessandro Blvd., Moreno Valley, CA 92553 (APN: 297-180-007)

17300 Red Hill Ave, Irvine, CA 92614
 p: 949-446-4288 | m: 949-433-1126
 info@SynArcStudio.com | PN: 21_101

Elevations - Phase II

A-CUP7.2

CUP Submittal
 05/12/2021



DIGALERT
 DIAL TOLL FREE
 811
 AT LEAST TWO DAYS
 BEFORE YOU DIG
 UNIFORMED REQUEST SERVICE OF CALIFORNIA



BENCHMARK: 4412' 40" 00"
 17' 00" 00" ON 18' 00" ON SE
 CORNER OF ALESSANDRO
 AND ALEXANDER ROAD 29
 FILED: 1/10/10 BY:

NO.	REVISIONS

PREPARED UNDER THE SUPERVISION OF:
 DATE: 1/10/10
 DRAWN BY: J. J. RIOS
 CHECKED BY: J. J. RIOS

PRELIMINARY GRADING PLAN
 SUE
 15400 W. 15th St., Suite 100
 Northridge, CA 91324
 (818) 344-7700
 PREPARED FOR:
 15400 W. 15th St., Suite 100
 Northridge, CA 91324
 (818) 344-7700

DATE:	3/10/2010
DESIGNER:	JJR
NO.:	10-00
RESPONSIBLE:	JJR
DATE:	3/10/2010
PROJECT:	15400 W. 15th St., Suite 100
SHEET NO.:	01
TOTAL SHEETS:	2

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

June 3, 2021

Ms. Deborah Bradford, Project Planner
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside CA 92501

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Mason
Lake Elsinore

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW - DIRECTOR'S DETERMINATION

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Paul Ruff

Simon A. Housman
Denise Zerda
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 885-6132

File No.: ZAP1474MA21
Related File No.: PPT190038 (Plot Plan Amended)
APN: 461-140-050
Airport Zone: Compatibility Zone E

Dear Ms. Bradford:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. PPT190038 (Amended Plot Plan), a proposal to establish an RV storage yard on 2.23 acres and to allow for the operation of a pod storage facility on approximately 10.09 acres of the 32.68 acre site located on the southeast corner of Briggs Road and Grand Avenue.

(A proposal to establish an RV storage yard on 2.9 acres of the site was found consistent under ZAP1413MA20, and a following proposal to permit a mulch material storage yard on 11.49 acres of the site was found consistent under ZAP1427MA20).

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its southerly terminus. At a distance of 29,100 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,705 feet AMSL. The project site elevation is 1456 feet AMSL. With a maximum structure height of 8 feet, the top point elevation would be 1,464 feet AMSL. Therefore, review of the structures by the FAA Obstruction Evaluation Service (FAA OES) is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

www.aluc.com

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. **Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.**
2. **The following uses/activities are not included in the proposed project and shall be prohibited at this site.**
 - (a) **Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.**
 - (b) **Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.**
 - (c) **Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)**
 - (d) **Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.**
 - (e) **Hazards to flight.**
3. **The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.**
4. **Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.**

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

AIRPORT LAND USE COMMISSION

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

If you have any questions, please feel free to contact me at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Rocket Shell (applicant)
Rich Soltysiak (representative)
Thomas Williams (property owner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
David Shaw, Base Civil Engineer, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1474MA21\ZAP1474MA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

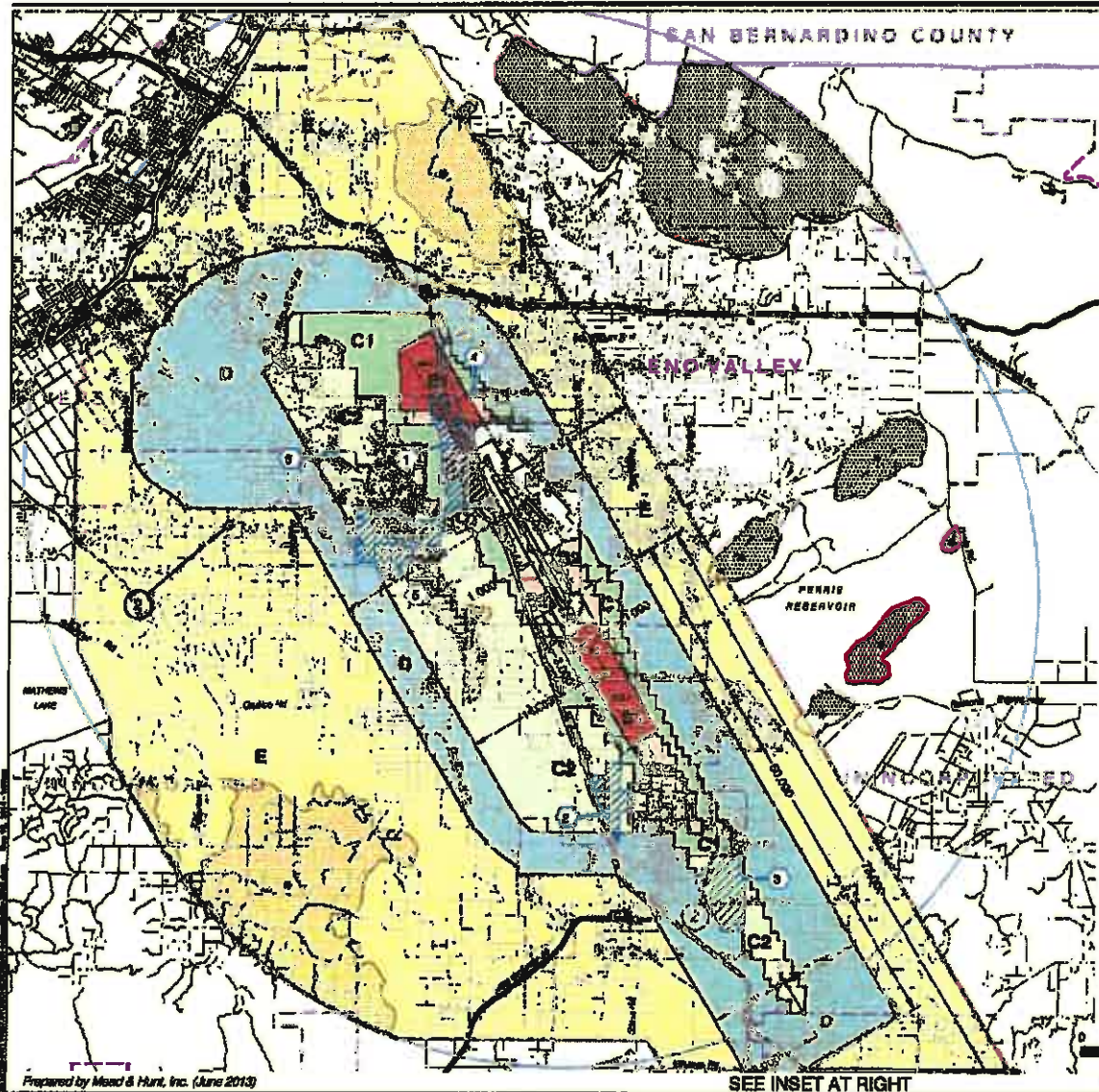
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Obstacle Horizontal Surface Limits
- FAR Part 77 Notification Area

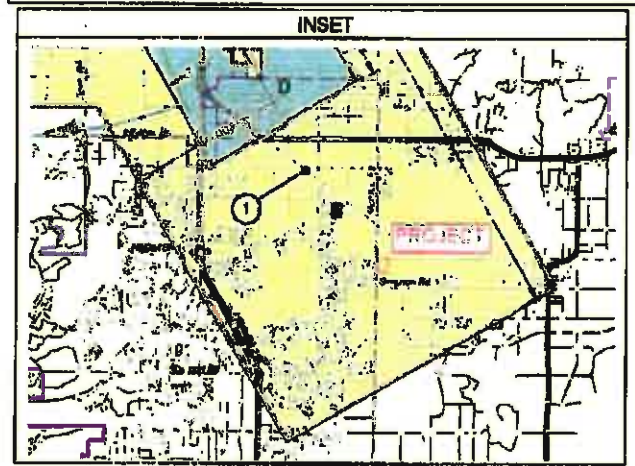
Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,536 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

Site-Specific Exceptions (existing local agency commitments to development projects)

- March JPA: March Business Center/Meridian
- Perris: Harvest Landing
- Perris: Park West
- Morano Valley: Affordable Housing
- March JPA: Ben Clark Training Center
- Riverside: Ridge Creek Subdivision



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)

Note:
 All dimensions are measured from
 runway ends and centerlines.



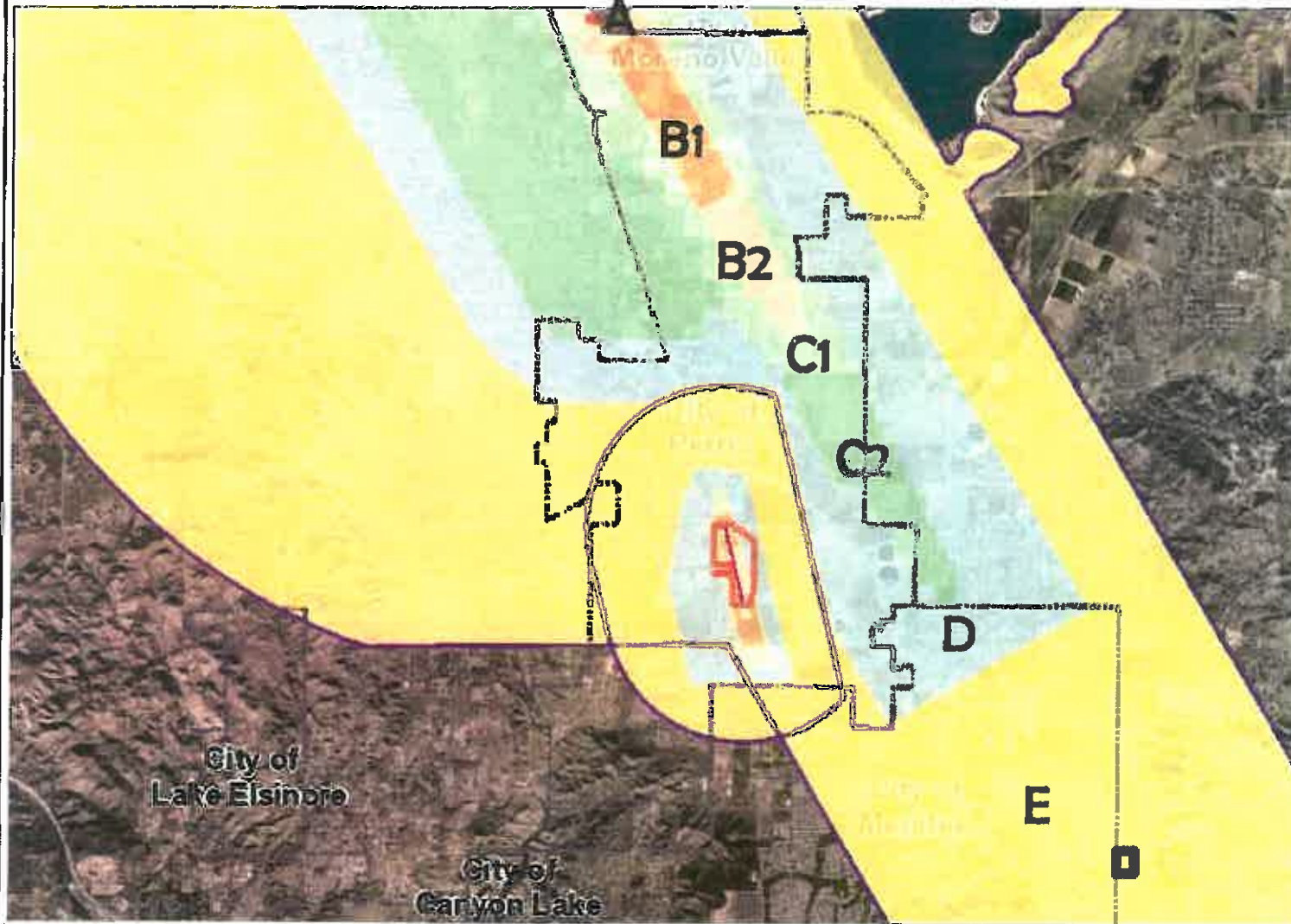
Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Base map source: County of Riverside 2013

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8

Notes



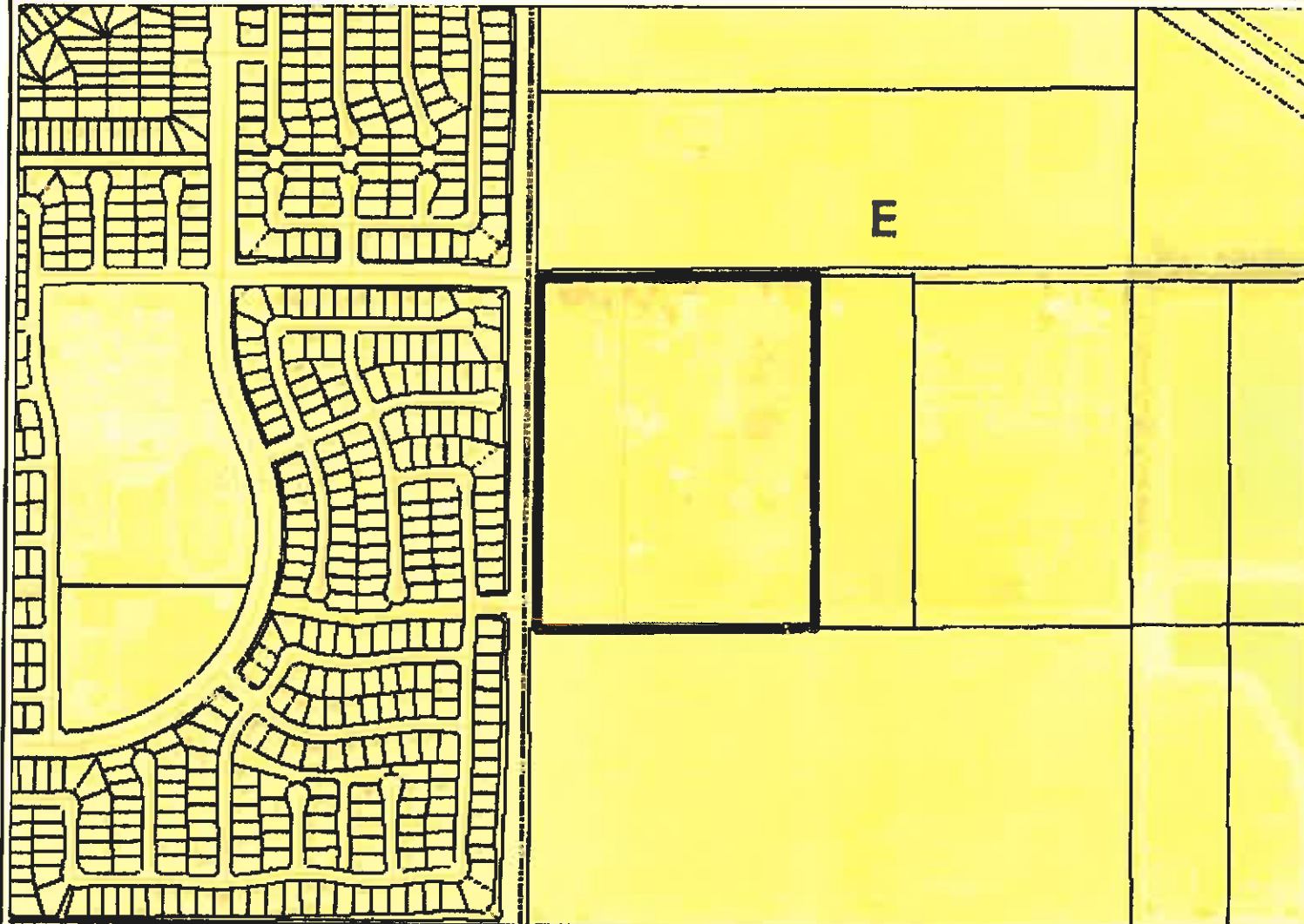
"IMPORTANT" Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas

Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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0 752 1,505 Feet

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Notes

Map My County Map



Legend

- Parcels
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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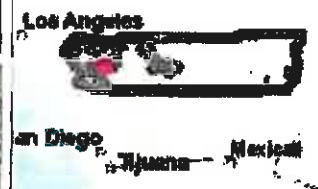
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Notes

Map My County Map



Legend

- Blue line Streams
- City Areas
- World Street Map



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Notes

Map My County Map

Los Angeles



San Diego

Tijuana

Mexicali



Legend

- County Centerlines
- Blue Line Streams
- City Areas
- World Street Map

Notes



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 3,000 6,019 Feet

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Map My County Map



Legend

- Parcels
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map

Notes



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 752 1,505 Feet

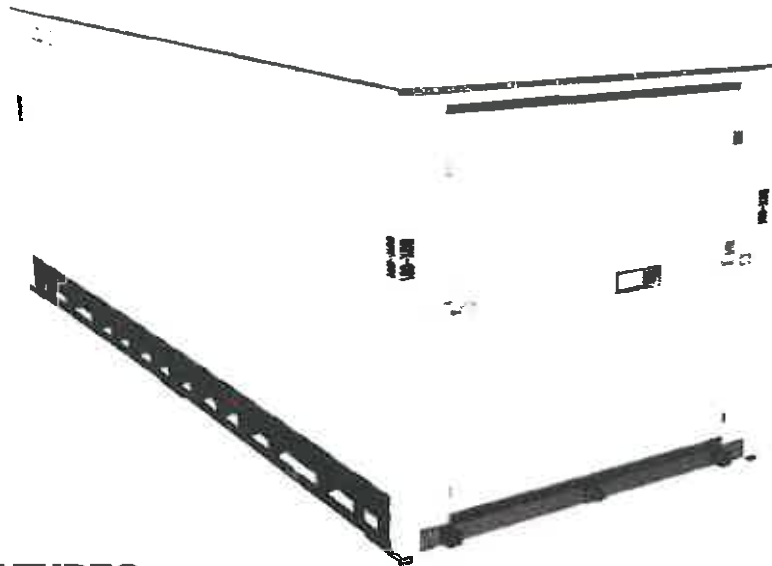
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boxwellCo
303-317-5850

PORTABLE STORAGE 16' UNIT SPECIFICATIONS



Dimensions:

- Exterior: 194" L x 96" W x 96" H
- Interior: 189" L x 90" W x 91" H
- Door Opening: 68" W x 78" H

Weight:

- Tare: 2,800 lbs
- Max Cargo: 10,000 lbs
- Max Gross: 12,800 lbs

FEATURES

Structure:

- 10,000 lbs on base, 120 mph wind resistant, 60 psf snow load on roof
- 20+ year lifespan (with proper care and maintenance)
- Easy to build - 24 total nuts and bolts
- Stackable 3-high, fully loaded
- Multiple fixtures for relocating the unit - heavy duty d-rings, fork pockets, receiver tubes, and rubber base pads
- Defect and workmanship protection - 1 year warranty
- Water, wind, dust, and pest-proof
- 2 wall vents allow for proper air flow

Interior:

- 6 vertical e-track and 20 tie-down rings (rings are 1m and 1.5m off floor, welded)
- Anti-condensation spray on ceiling
- Safety and informational stickers

Steel:

- Highest grade and best quality steel, SPA-H and SPA-C
- All hardware is stainless steel, won't rust
- Wall panel thickness: 1.0mm (19ga) galvanized steel painted white
- Roof: 4.0mm (6ga) corrugated steel, "ISO Style" steel
- Corrugated roof will not sag and mitigates water pooling

Door:

- Stainless steel door lock construction, welded and rivet, with solid locking pin
- Exterior t-latches secure door in open position for easy loading
- Interior emergency release cable with glow-in-the-dark safety sticker
- Waterproof gasketing along top and bottom seams

Exterior Signage:

- Serial Numbers - 3M brand vinyl decals, 2 on each corner guard (8 total)
- Logos/Artwork: 3M brand vinyl decal available on all 4 sides - 7 year warranty
- Paint: customizable to any color - 5 year warranty

Floor:

- 19mm marine grade plywood (standard)
- Sealed with polyurethane: water based, non-slip, non-toxic, non-odorous coating
- Diamond plate flooring (optional)

Our containers are constantly being upgraded and improved. Exact specifications may change without notice. Boxwell units are fully customizable - additional options available.

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



June 1, 2021

Mr. Jeff Bradshaw, Project Planner
City of Moreno Valley Planning Department
14177 Frederick Street
Moreno Valley CA 92552

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Mancos
Lake Elsinore

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Batts
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Paul Rull

Simon A. Housman
Daniel Zerda
Barbara Santos

County Administrative Center
4080 Lamon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.aluc.org

File No.: ZAP1475MA21
Related File No.: PEN20-0213 (Conditional Use Permit)
APN: 291-650-004
Airport Zone: Compatibility Zone D

Dear Mr. Bradshaw:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. PEN20-0213 (Conditional Use Permit), a proposal to construct a four story 19,087 square foot hotel on 2.19 acres located southerly of Gateway Drive, westerly of Memorial Way, northerly of Eucalyptus Avenue, and easterly of Bay Street.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 13,634 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,671 feet AMSL. The project site elevation is 1,590 feet AMSL, and the tallest proposed structure height is 53 feet, for a maximum top point elevation of 1,643 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

AIRPORT LAND USE COMMISSION

2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Hazards to flight.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This

AIRPORT LAND USE COMMISSION

stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include, but are not limited to, radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

If you have any questions, please feel free to contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Inland Hotel LLC (applicant/property owner)
Jigish Shah (representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Doug Waters, Deputy Base Civil Engineer, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1475MA21\ZAP1475MA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

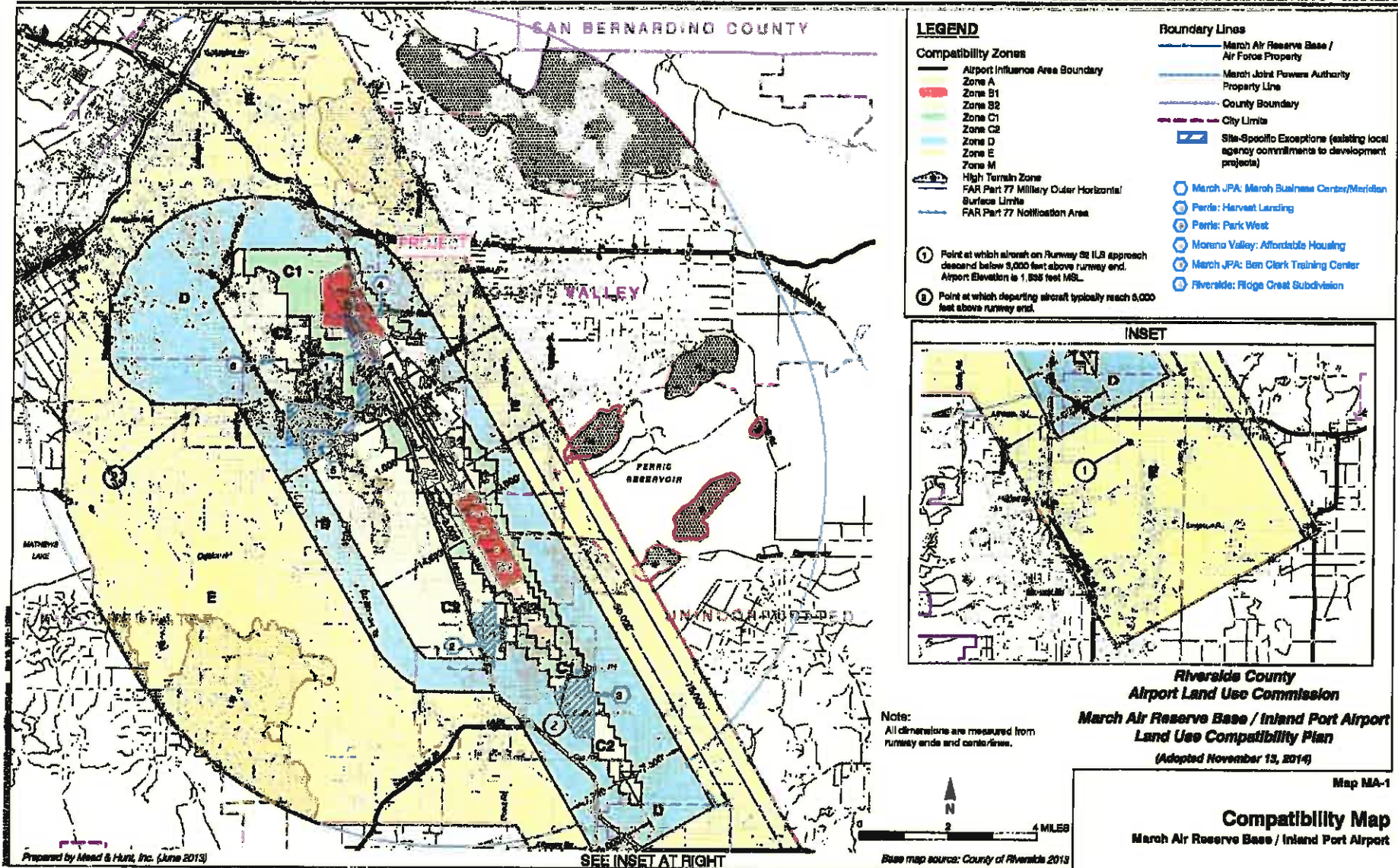
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



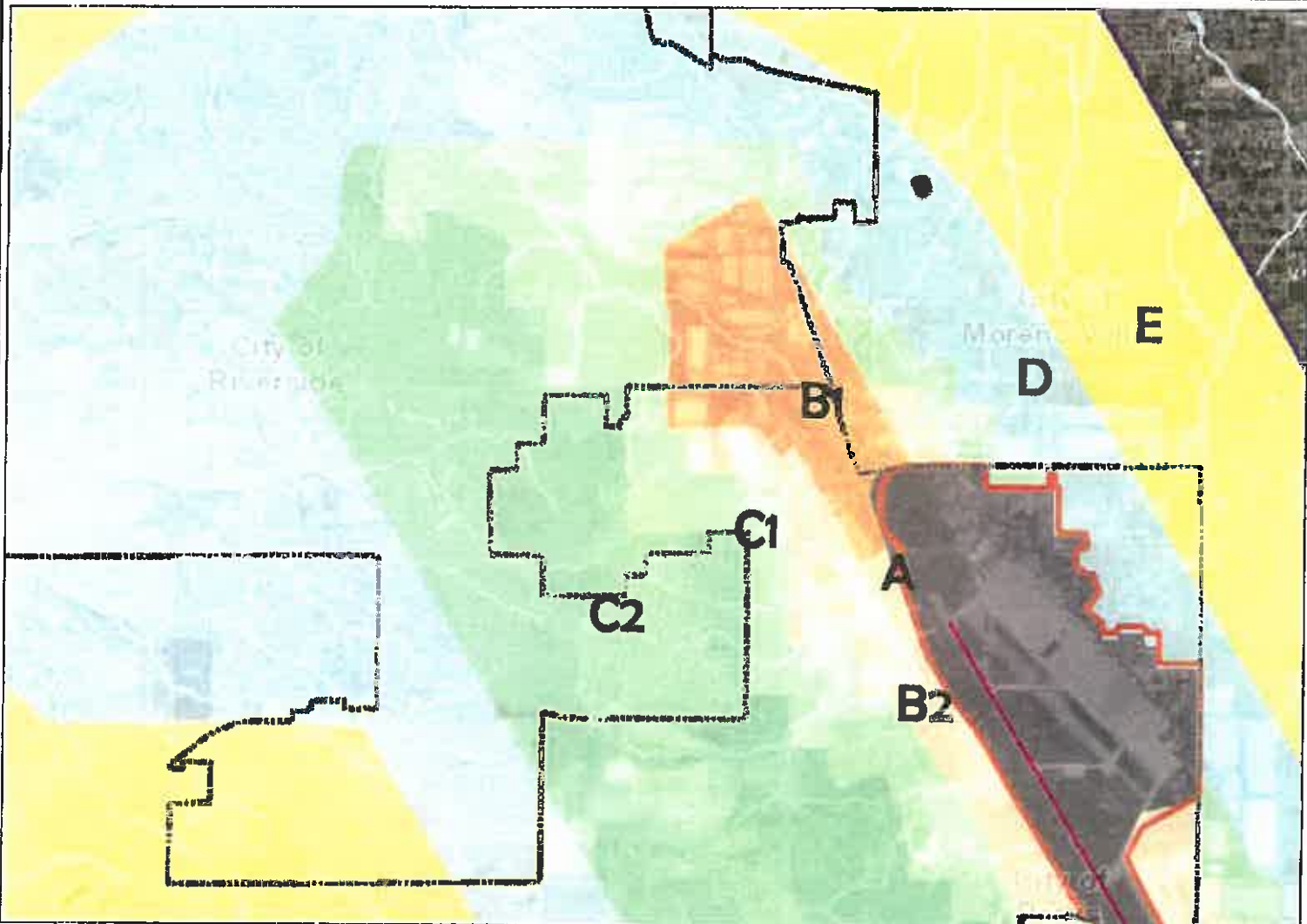
IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



Map My County Map



- Legend**
- Runways
 - ▣ Airports
 - ▣ Airport Influence Areas
 - Airport Compatibility Zones**
 - ▣ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

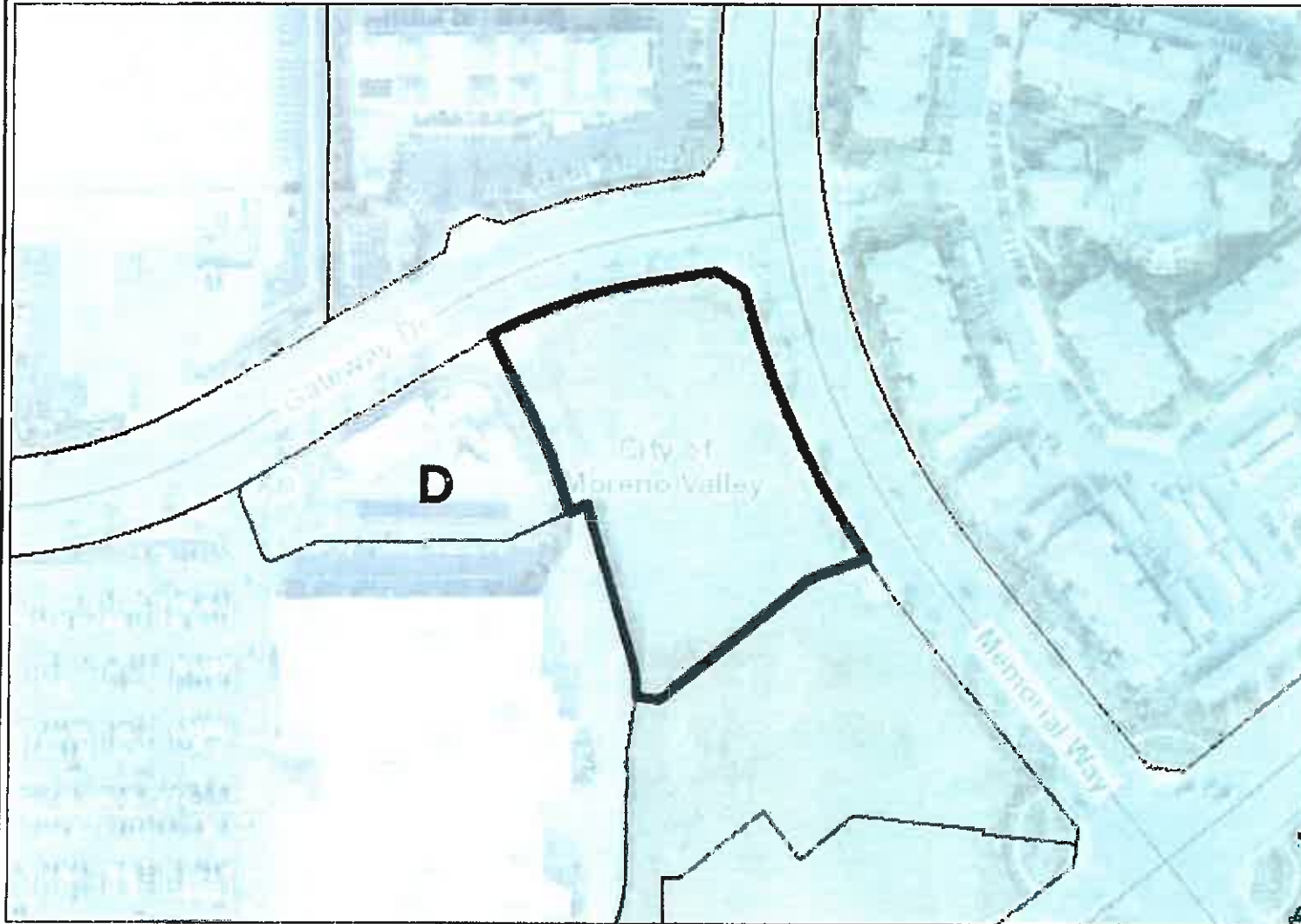


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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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Notes

Map My County Map

Los Angeles



San Diego

Tijuana

Mexico



Legend

-  Parcels
-  County Centerline Names
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



"IMPORTANT" Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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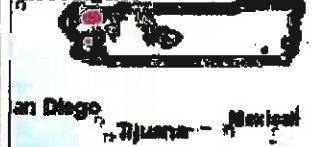
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Notes

Map My County Map

Los Angeles



Legend

- Blueline Streams
- City Areas
- World Street Map

Notes



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Map My County Map



Los Angeles



Legend

- Parcels
- County Centerlines
- Blue Line Streams
- ▣ City Areas
- World Street Map



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Notes

Map My County Map

Los Angeles








San Diego

Phoenix

Mexico



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



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Notes

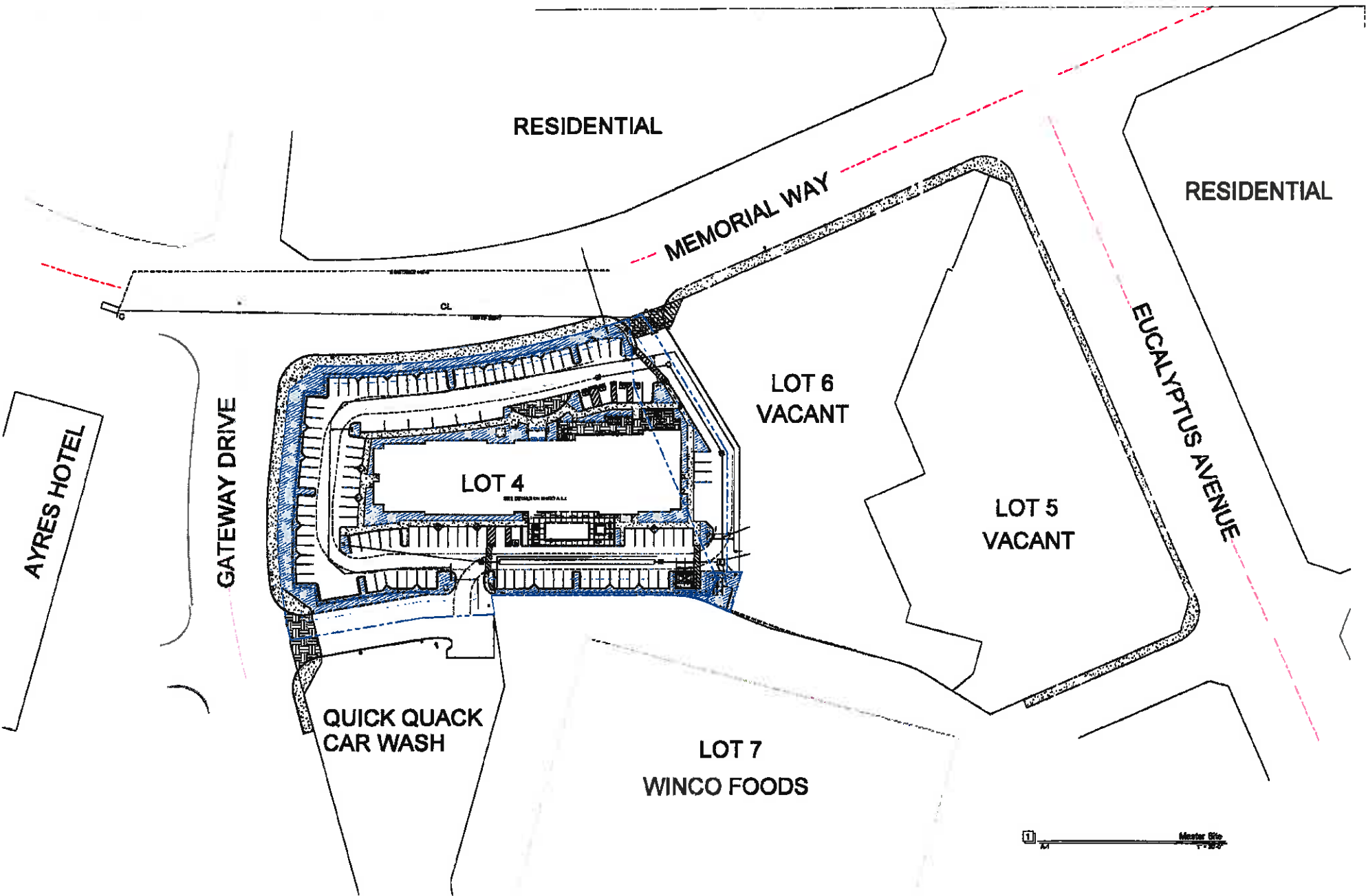


landscape architect
 Linda Fish Landscape
 4073 Patchwork Court
 Turlock, CA 95382
 Linda Fish
 (209) 656-7177
 fishlandscape@sbcglobal.net

civil engineer:
 Omega Engineering Consultants
 4340 Viewridge Ave. Suite B
 San Diego, CA 92123
 Andrew Kann
 858 634-8620
 andrew@omega-consultants.com

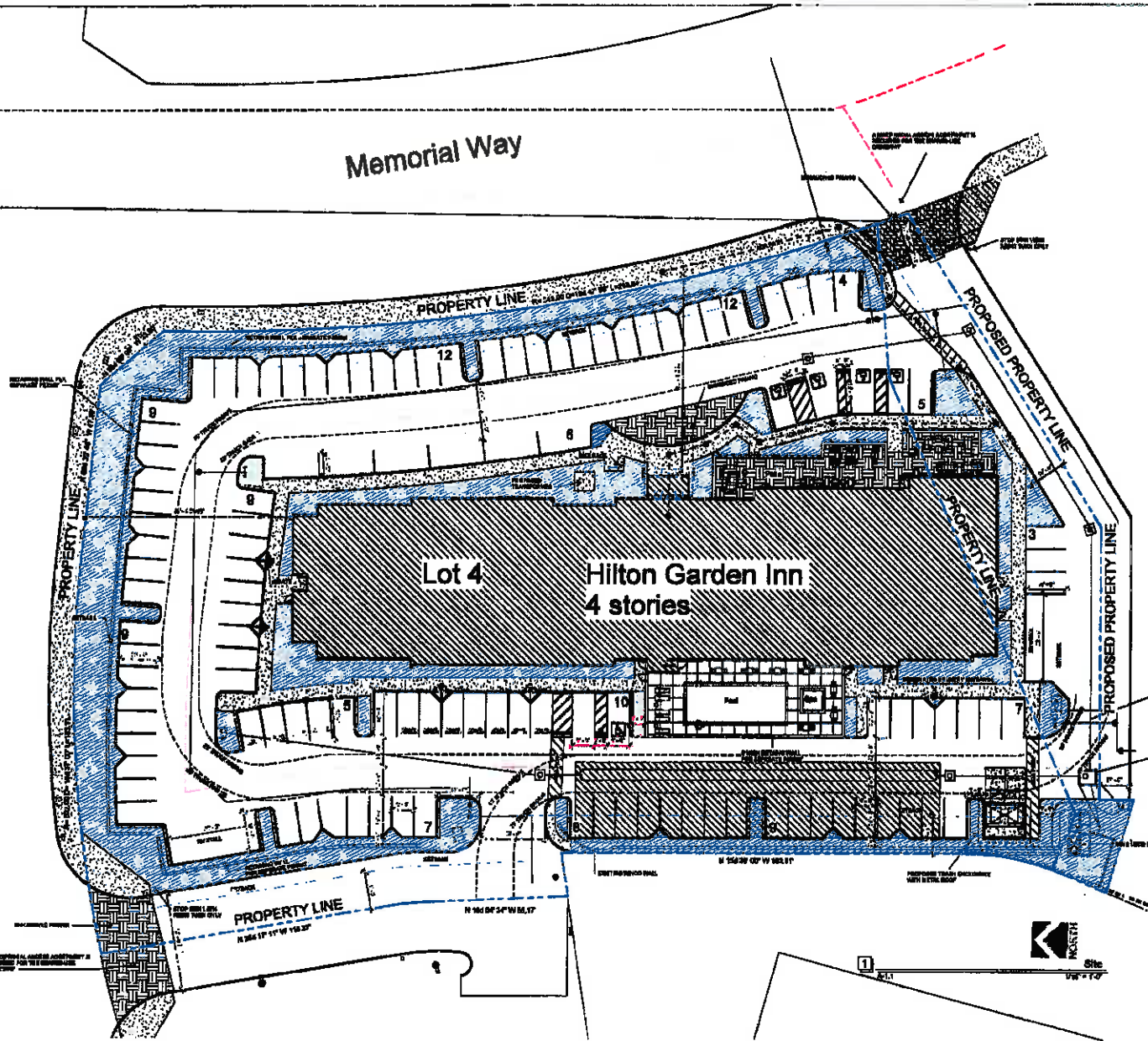
architect:
 Robert F. Tuttle Architect, Inc.
 33533 Pebble Brook Circle
 Temecula, CA 92592
 Bob Tuttle
 952 302-5444
 robert.tuttle@rftarch.com

owner:
 Mid-Continent Hospitality
 405 State Hwy 121, Suite C140
 Lewisville, TX 75067
 Mike Ladiwalla
 925 250 2246
 mike@mid-continenthospitality.com



Memorial Way

Gateway Drive



Site Statistics

Lot 4
 APN 201650004-08
 Zoning Office Commercial
 General Plan Office
 Specific Plan 200

Lot 4 area: 85,184.25 SF
 1.9 acres
 Additional Area: 10,031.80 SF
 Total Proposed 95,228.15 SF
 2.19 acres

Bldg. Coverage: 19,087 SF (20%)

Hilton Garden Inn Hotel
 4 stories
 Type V-A Construction
 126 rooms

FAA Building numbers
 reqd. on the roof

Height Requirement None
 Proposed Height 53' - 3"
 Septic None

Occupancy Use R-1 hotel

parking required 1:1 = 126 stalls
 parking provided 115 stalls
 (includes 2 RV stalls)

Open Space 4,448.07 SF
 Asphalt/Parking 46,283.52 SF
 Landscape 15,788.44 SF

Adjacent Properties APN numbers
 North: 201650028
 South: 201650005
 East: 201110017
 West: 201650002 and 201650003

Area of proposed project Building		
Level	Area	Occupancy
Level 1	18,288 SF (100% - 2000)	
Level 2	17,748 SF (100% - 2000)	
Level 3	17,748 SF (100% - 2000)	
Level 4	17,748 SF (100% - 2000)	

Guest Room Count				
Name	Count	Level	Occupancy	Bed
ADA Accessible Guest	4	Level 1	Guest Rooms	160
Standard Guest	4	Level 1	Guest Rooms	160
Pool	8	Level 1	Guest Rooms	160
Executive Suite	1	Level 1	Guest Rooms	160
ADA Suite	1	Level 2	Guest Rooms	160
ADA King Premium	1	Level 2	Guest Rooms	160
Executive Suite	2	Level 2	Guest Rooms	160
Pool	10	Level 2	Guest Rooms	160
Executive Suite	4	Level 2	Guest Rooms	160
ADA Suite	1	Level 3	Guest Rooms	160
ADA King Premium	1	Level 3	Guest Rooms	160
Executive Suite	2	Level 3	Guest Rooms	160
Pool	10	Level 3	Guest Rooms	160
Executive Suite	4	Level 3	Guest Rooms	160
ADA Suite	1	Level 4	Guest Rooms	160
ADA King Premium	1	Level 4	Guest Rooms	160
Executive Suite	2	Level 4	Guest Rooms	160
Pool	10	Level 4	Guest Rooms	160
Executive Suite	4	Level 4	Guest Rooms	160
Grand total	126			

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Mid Continent Hospitality
 Dallas, Texas

Hilton Garden Inn Moreno Valley

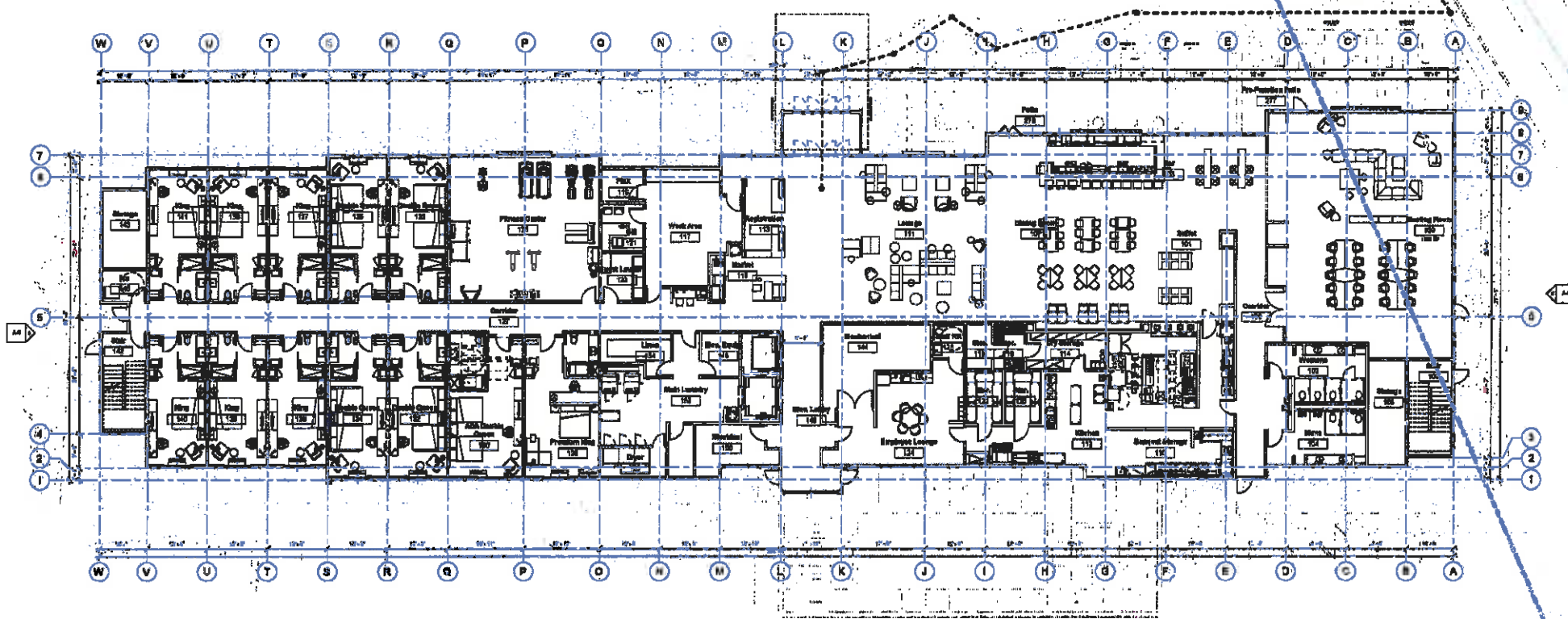
April 7, 2021

Robert F. Tuttle Architects, Inc.

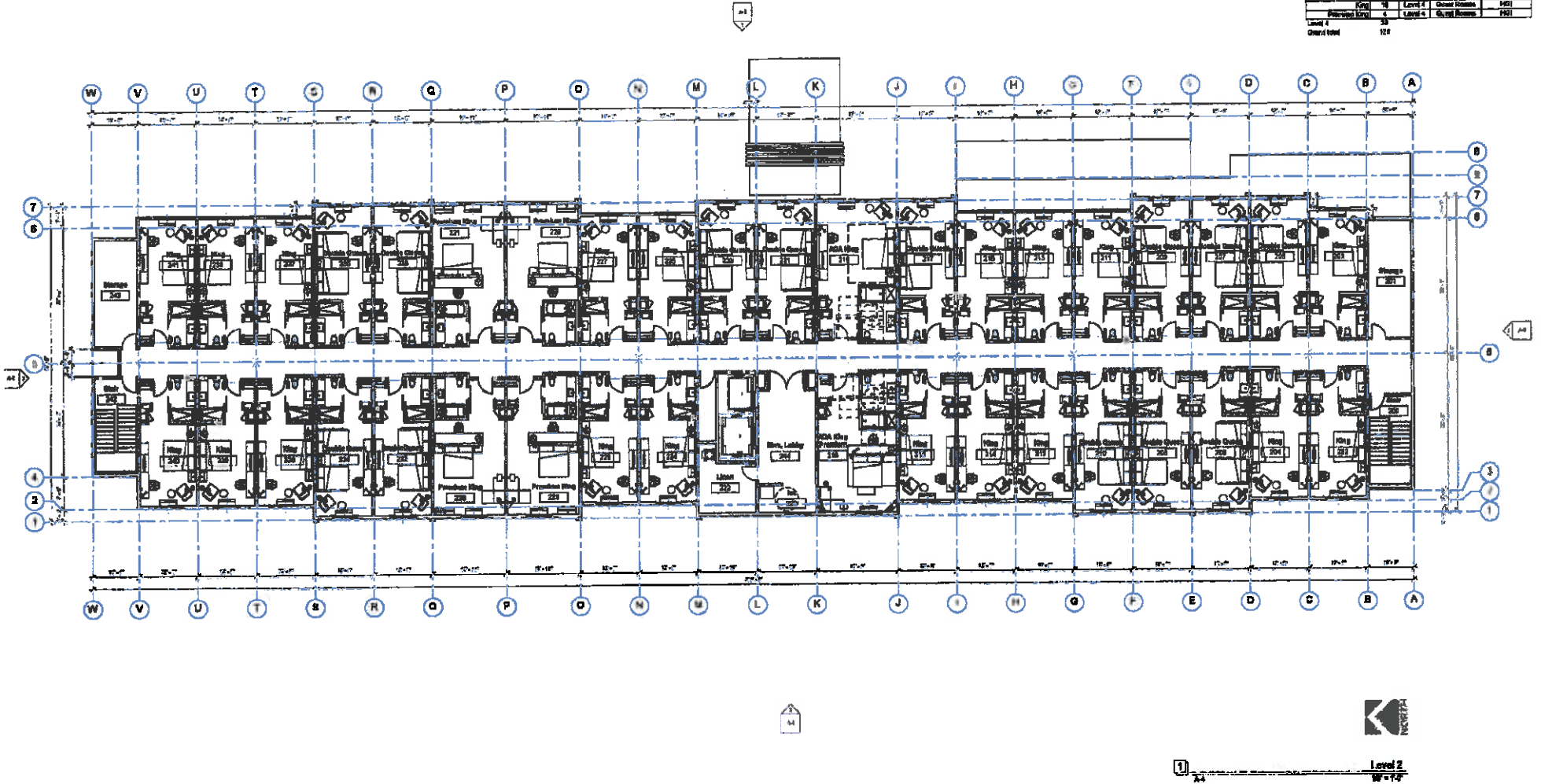
Memorial Way, Moreno Valley, California

Preliminary Site Plan

Guest Room Count				
Name	Count	Level	Room Type	Count
AAA Studio Suite	1	Level 1	Guest Room	101
AAA Suite	1	Level 1	Guest Room	102
AAA Suite	1	Level 1	Guest Room	103
AAA Suite	1	Level 1	Guest Room	104
AAA Suite	1	Level 1	Guest Room	105
AAA Suite	1	Level 1	Guest Room	106
AAA Suite	1	Level 1	Guest Room	107
AAA Suite	1	Level 1	Guest Room	108
AAA Suite	1	Level 1	Guest Room	109
AAA Suite	1	Level 1	Guest Room	110
AAA Suite	1	Level 1	Guest Room	111
AAA Suite	1	Level 1	Guest Room	112
AAA Suite	1	Level 1	Guest Room	113
AAA Suite	1	Level 1	Guest Room	114
AAA Suite	1	Level 1	Guest Room	115
AAA Suite	1	Level 1	Guest Room	116
AAA Suite	1	Level 1	Guest Room	117
AAA Suite	1	Level 1	Guest Room	118
AAA Suite	1	Level 1	Guest Room	119
AAA Suite	1	Level 1	Guest Room	120
AAA Suite	1	Level 1	Guest Room	121
AAA Suite	1	Level 1	Guest Room	122
AAA Suite	1	Level 1	Guest Room	123
AAA Suite	1	Level 1	Guest Room	124
AAA Suite	1	Level 1	Guest Room	125
AAA Suite	1	Level 1	Guest Room	126
AAA Suite	1	Level 1	Guest Room	127
AAA Suite	1	Level 1	Guest Room	128
AAA Suite	1	Level 1	Guest Room	129
AAA Suite	1	Level 1	Guest Room	130
AAA Suite	1	Level 1	Guest Room	131
AAA Suite	1	Level 1	Guest Room	132
AAA Suite	1	Level 1	Guest Room	133
AAA Suite	1	Level 1	Guest Room	134
AAA Suite	1	Level 1	Guest Room	135
AAA Suite	1	Level 1	Guest Room	136
AAA Suite	1	Level 1	Guest Room	137
AAA Suite	1	Level 1	Guest Room	138
AAA Suite	1	Level 1	Guest Room	139
AAA Suite	1	Level 1	Guest Room	140
AAA Suite	1	Level 1	Guest Room	141
AAA Suite	1	Level 1	Guest Room	142
AAA Suite	1	Level 1	Guest Room	143
AAA Suite	1	Level 1	Guest Room	144
AAA Suite	1	Level 1	Guest Room	145
AAA Suite	1	Level 1	Guest Room	146
AAA Suite	1	Level 1	Guest Room	147
AAA Suite	1	Level 1	Guest Room	148
AAA Suite	1	Level 1	Guest Room	149
AAA Suite	1	Level 1	Guest Room	150
AAA Suite	1	Level 1	Guest Room	151
AAA Suite	1	Level 1	Guest Room	152
AAA Suite	1	Level 1	Guest Room	153
AAA Suite	1	Level 1	Guest Room	154
AAA Suite	1	Level 1	Guest Room	155
AAA Suite	1	Level 1	Guest Room	156
AAA Suite	1	Level 1	Guest Room	157
AAA Suite	1	Level 1	Guest Room	158
AAA Suite	1	Level 1	Guest Room	159
AAA Suite	1	Level 1	Guest Room	160
AAA Suite	1	Level 1	Guest Room	161
AAA Suite	1	Level 1	Guest Room	162
AAA Suite	1	Level 1	Guest Room	163
AAA Suite	1	Level 1	Guest Room	164
AAA Suite	1	Level 1	Guest Room	165
AAA Suite	1	Level 1	Guest Room	166
AAA Suite	1	Level 1	Guest Room	167
AAA Suite	1	Level 1	Guest Room	168
AAA Suite	1	Level 1	Guest Room	169
AAA Suite	1	Level 1	Guest Room	170
AAA Suite	1	Level 1	Guest Room	171
AAA Suite	1	Level 1	Guest Room	172
AAA Suite	1	Level 1	Guest Room	173
AAA Suite	1	Level 1	Guest Room	174
AAA Suite	1	Level 1	Guest Room	175
AAA Suite	1	Level 1	Guest Room	176
AAA Suite	1	Level 1	Guest Room	177
AAA Suite	1	Level 1	Guest Room	178
AAA Suite	1	Level 1	Guest Room	179
AAA Suite	1	Level 1	Guest Room	180
AAA Suite	1	Level 1	Guest Room	181
AAA Suite	1	Level 1	Guest Room	182
AAA Suite	1	Level 1	Guest Room	183
AAA Suite	1	Level 1	Guest Room	184
AAA Suite	1	Level 1	Guest Room	185
AAA Suite	1	Level 1	Guest Room	186
AAA Suite	1	Level 1	Guest Room	187
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AAA Suite	1	Level 1	Guest Room	190
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AAA Suite	1	Level 1	Guest Room	192
AAA Suite	1	Level 1	Guest Room	193
AAA Suite	1	Level 1	Guest Room	194
AAA Suite	1	Level 1	Guest Room	195
AAA Suite	1	Level 1	Guest Room	196
AAA Suite	1	Level 1	Guest Room	197
AAA Suite	1	Level 1	Guest Room	198
AAA Suite	1	Level 1	Guest Room	199
AAA Suite	1	Level 1	Guest Room	200



Guest Room Count				
Room	Count	Level	Disposition	Total
ADA Double Queen	1	Level 1	Guest Rooms	101
Double Queen	6	Level 1	Guest Rooms	101
King	6	Level 1	Guest Rooms	101
Presidential King	1	Level 1	Guest Rooms	101
Level 1	14	Level 1	Guest Rooms	101
ADA King	1	Level 2	Guest Rooms	102
ADA King Premium	1	Level 2	Guest Rooms	102
Double Queen	12	Level 2	Guest Rooms	102
Double Queen	1	Level 2	Guest Rooms	102
King	1	Level 2	Guest Rooms	102
King	13	Level 2	Guest Rooms	102
Presidential King	1	Level 2	Guest Rooms	102
Level 2	28	Level 2	Guest Rooms	102
ADA King Premium	1	Level 3	Guest Rooms	103
ADA King Premium	1	Level 3	Guest Rooms	103
Double Queen	13	Level 3	Guest Rooms	103
King	1	Level 3	Guest Rooms	103
Presidential King	1	Level 3	Guest Rooms	103
Level 3	28	Level 3	Guest Rooms	103
ADA King	1	Level 4	Guest Rooms	104
ADA King Premium	1	Level 4	Guest Rooms	104
Double Queen	13	Level 4	Guest Rooms	104
King	1	Level 4	Guest Rooms	104
Presidential King	1	Level 4	Guest Rooms	104
Level 4	28	Level 4	Guest Rooms	104
Grand Total	122			



1/8" = 1'-0"
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Mid Continent Hospitality
 Dallas, Texas

Hilton Garden Inn Moreno Valley

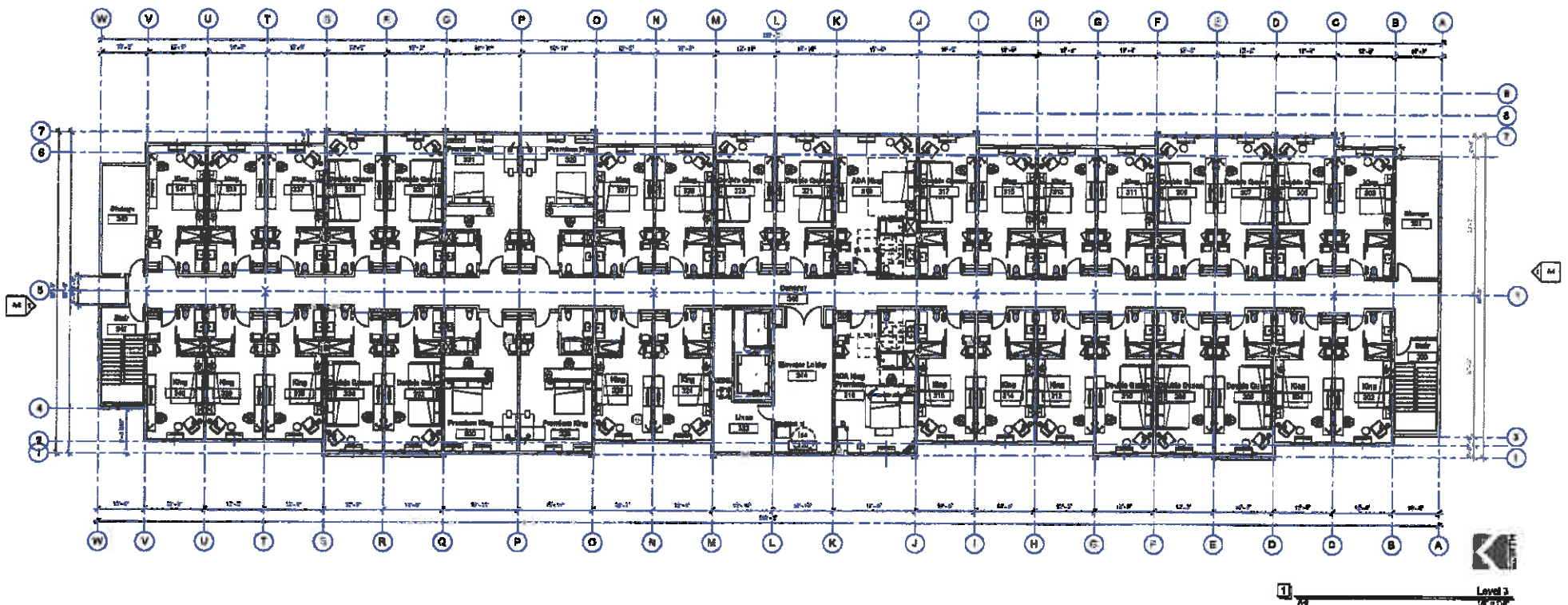
April 7, 2021
 Second Floor Plan

Robert F. Tuttle Architects, Inc.

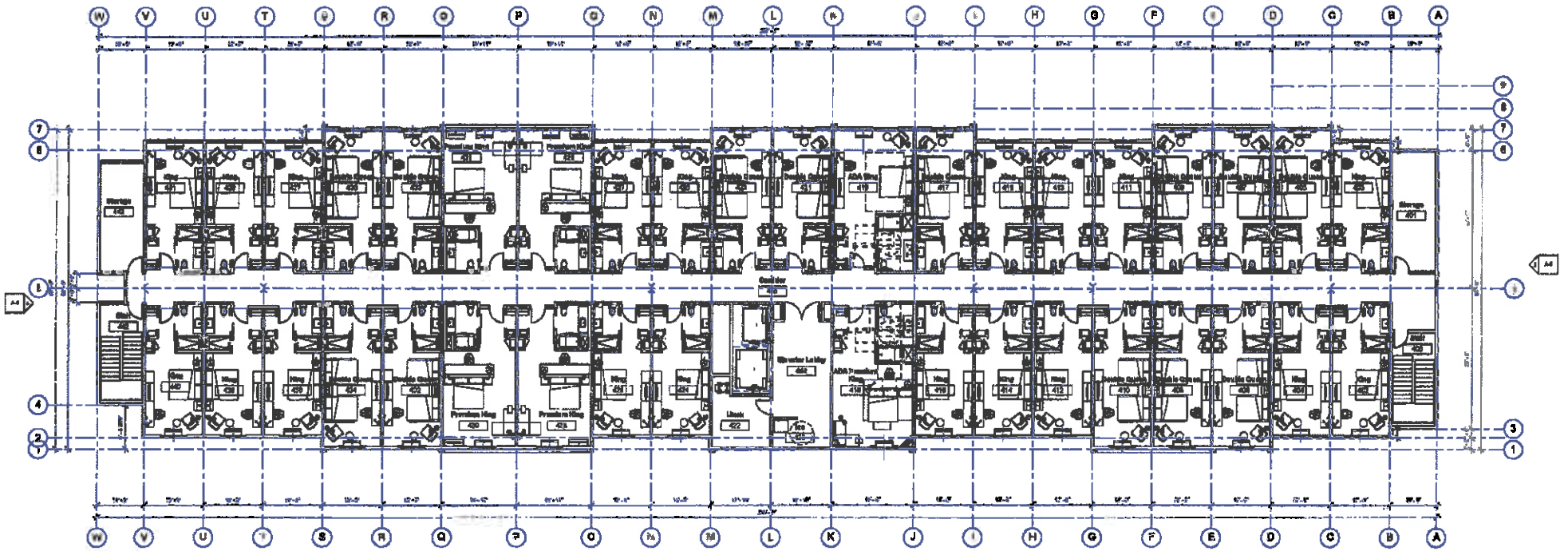
Memorial Way, Moreno Valley, California

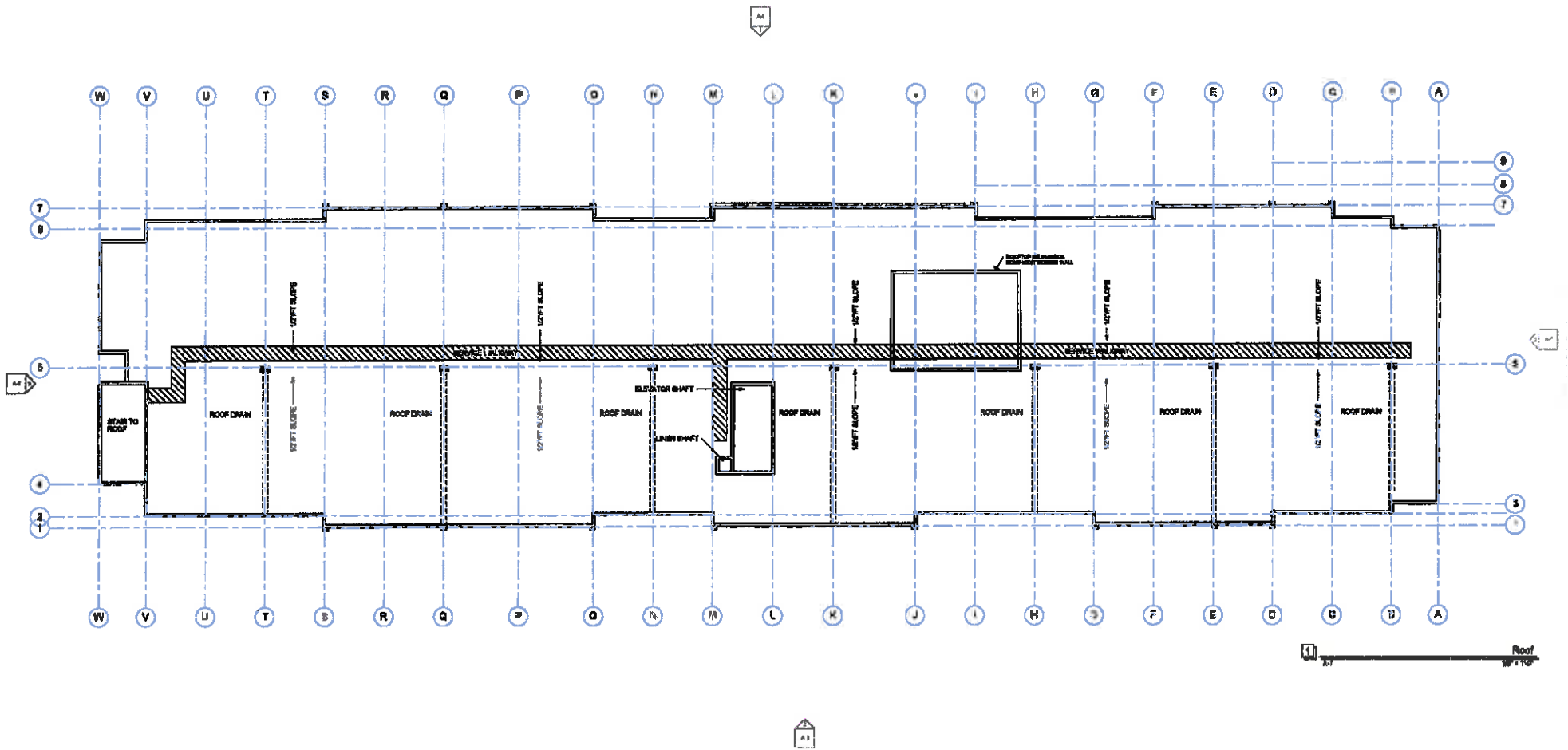
A-4

Guest Room Count				
Name	Floor	Level	Department	Count
ADA Single Rooms	1	Level 1	Guest Rooms	121
Double Rooms	4	Level 1	Guest Rooms	141
Premier King	1	Level 1	Guest Rooms	121
Level 1				
ADA King	1	Level 1	Guest Rooms	121
ADA King Premium	1	Level 1	Guest Rooms	121
Double Queen	12	Level 1	Guest Rooms	121
Double Queen	12	Level 1	Guest Rooms	121
King	12	Level 1	Guest Rooms	121
Premium King	4	Level 1	Guest Rooms	121
Level 2				
ADA King	1	Level 2	Guest Rooms	121
ADA King Premium	1	Level 2	Guest Rooms	121
Double Queen	1	Level 2	Guest Rooms	121
King	12	Level 2	Guest Rooms	121
Premium King	4	Level 2	Guest Rooms	121
Level 3				
ADA King	1	Level 3	Guest Rooms	121
ADA Premium King	1	Level 3	Guest Rooms	121
Double Queen	1	Level 3	Guest Rooms	121
King	12	Level 3	Guest Rooms	121
Premium King	4	Level 3	Guest Rooms	121
Level 4				
ADA King	1	Level 4	Guest Rooms	121
ADA Premium King	1	Level 4	Guest Rooms	121
Double Queen	1	Level 4	Guest Rooms	121
King	12	Level 4	Guest Rooms	121
Premium King	4	Level 4	Guest Rooms	121
Level 5				
ADA King	1	Level 5	Guest Rooms	121
ADA Premium King	1	Level 5	Guest Rooms	121
Double Queen	1	Level 5	Guest Rooms	121
King	12	Level 5	Guest Rooms	121
Premium King	4	Level 5	Guest Rooms	121
Level 6				
ADA King	1	Level 6	Guest Rooms	121
ADA Premium King	1	Level 6	Guest Rooms	121
Double Queen	1	Level 6	Guest Rooms	121
King	12	Level 6	Guest Rooms	121
Premium King	4	Level 6	Guest Rooms	121
Level 7				
ADA King	1	Level 7	Guest Rooms	121
ADA Premium King	1	Level 7	Guest Rooms	121
Double Queen	1	Level 7	Guest Rooms	121
King	12	Level 7	Guest Rooms	121
Premium King	4	Level 7	Guest Rooms	121
Level 8				
ADA King	1	Level 8	Guest Rooms	121
ADA Premium King	1	Level 8	Guest Rooms	121
Double Queen	1	Level 8	Guest Rooms	121
King	12	Level 8	Guest Rooms	121
Premium King	4	Level 8	Guest Rooms	121
Level 9				
ADA King	1	Level 9	Guest Rooms	121
ADA Premium King	1	Level 9	Guest Rooms	121
Double Queen	1	Level 9	Guest Rooms	121
King	12	Level 9	Guest Rooms	121
Premium King	4	Level 9	Guest Rooms	121
Level 10				
ADA King	1	Level 10	Guest Rooms	121
ADA Premium King	1	Level 10	Guest Rooms	121
Double Queen	1	Level 10	Guest Rooms	121
King	12	Level 10	Guest Rooms	121
Premium King	4	Level 10	Guest Rooms	121
Grand Total				
				121



Guest Room Count				
Name	Count	Level	Classification	Bed(s)
ADA Premium King	4	Level 1	Guest Rooms	198
Double Queen	4	Level 1	Guest Rooms	192
King	4	Level 1	Guest Rooms	192
Premium King	4	Level 1	Guest Rooms	192
Level 1	16			774
ADA King	1	Level 2	Guest Rooms	192
ADA Premium King	1	Level 2	Guest Rooms	192
Double Queen	19	Level 2	Guest Rooms	192
King	1	Level 2	Guest Rooms	192
Premium King	1	Level 2	Guest Rooms	192
Level 2	23			2280
ADA King	1	Level 3	Guest Rooms	192
ADA Premium King	1	Level 3	Guest Rooms	192
Double Queen	19	Level 3	Guest Rooms	192
King	1	Level 3	Guest Rooms	192
Premium King	1	Level 3	Guest Rooms	192
Level 3	23			2280
ADA King	1	Level 4	Guest Rooms	192
ADA Premium King	1	Level 4	Guest Rooms	192
Double Queen	19	Level 4	Guest Rooms	192
King	1	Level 4	Guest Rooms	192
Premium King	1	Level 4	Guest Rooms	192
Level 4	23			2280
Grand Total	82			8280





1/8" = 1'-0"
 4/22/21 10:53 AM

Mid Continent Hospitality
 Dallas, Texas

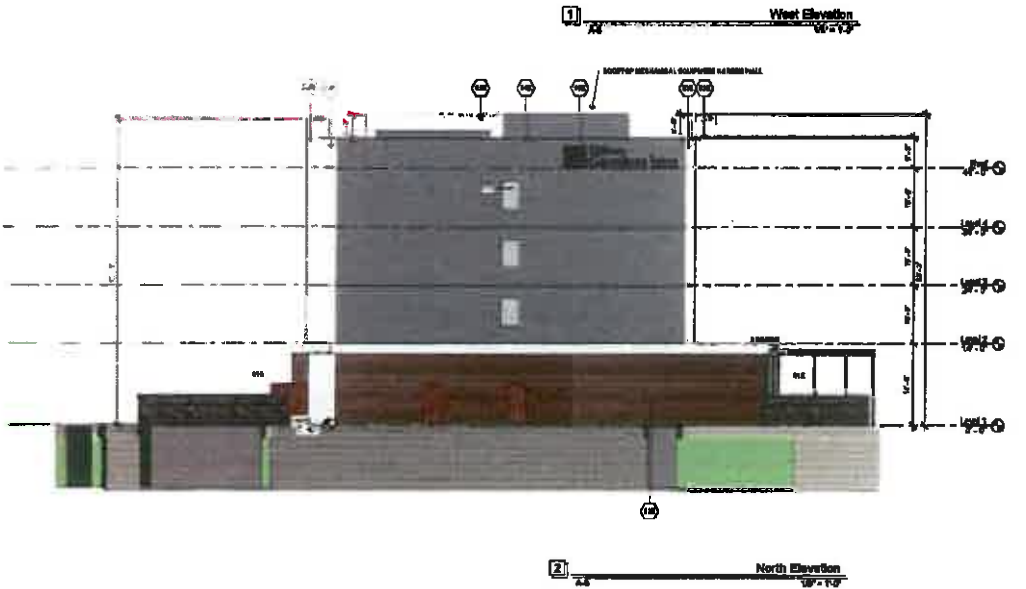
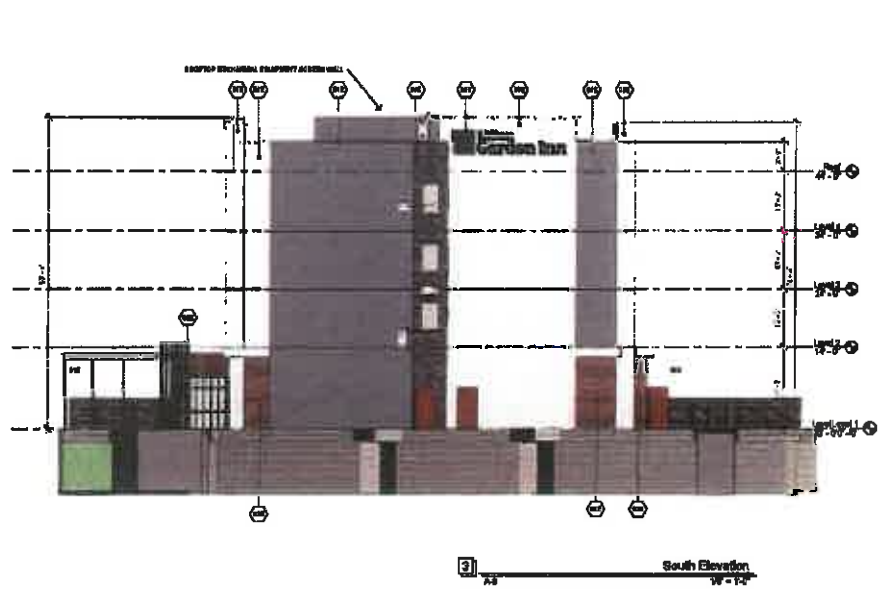
Hilton Garden Inn Moreno Valley
 Memorial Way, Moreno Valley, California

April 7, 2021
 Roof Plan

Robert F. Tuttle Architects, Inc.

051
 A-7

Key Value	Material Legend
01E	1" CHINA GLAZED CERAMIC TILE, 18" X 18" X 1/4"
02E	2" BRICK, RED, 2 1/2" X 8" X 4" (NOMINAL), VENEER WOOD, RED WOOD
03E	3" STUCCO, WHITE, FELD'S TONED STUCCO, LIGHT SAND, PAINT FINISH, BEYOND ROOFLINE, 1/2" X 1/2" X 1/2"
04E	4" STUCCO, GRAY, ACESHI, 1" CORN, STUCCO, LIGHT SAND, PAINT FINISH, BEYOND ROOFLINE, 1/2" X 1/2" X 1/2"
05E	5" STUCCO, RED, ACESHI, 1" CORN, STUCCO, LIGHT SAND, PAINT FINISH, BEYOND ROOFLINE, 1/2" X 1/2" X 1/2"
06E	6" PLASTER, SAND, ACESHI, 1" CORN, STUCCO, LIGHT SAND, PAINT FINISH, BEYOND ROOFLINE, 1/2" X 1/2" X 1/2"
07E	7" PLASTER, SAND, ACESHI, 1" CORN, STUCCO, LIGHT SAND, PAINT FINISH, BEYOND ROOFLINE, 1/2" X 1/2" X 1/2"



1/8" = 1'-0"
4/20/21 5:02:47 PM

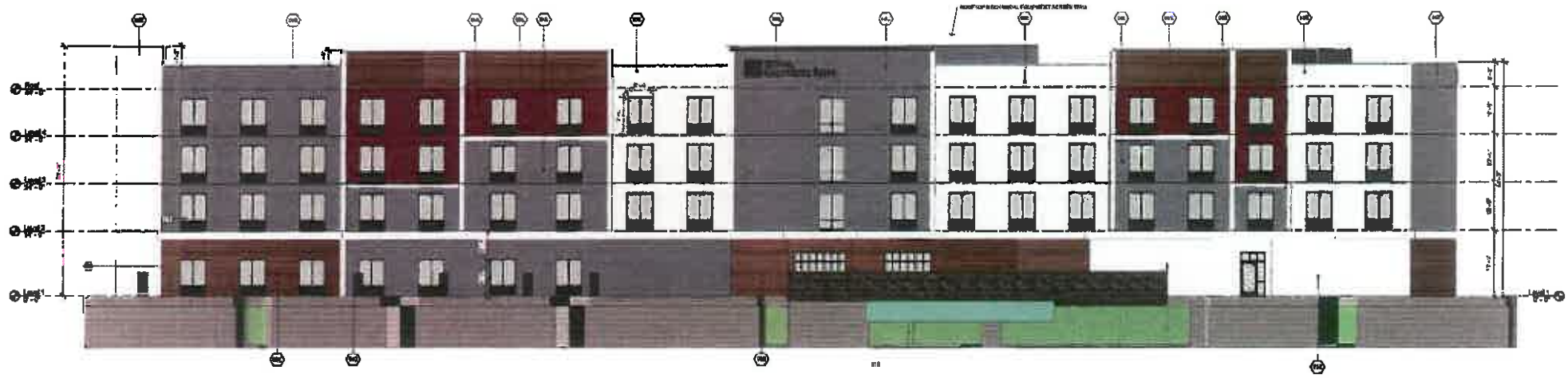
Mid Continent Hospitality
Dallas, Texas

Hilton Garden Inn Moreno Valley

April 7, 2021
Elevations

Robert F. Tuttle Architects, Inc.
Memorial Way, Moreno Valley, California

Keynote Legend	
Key Value	Keynote Text
001	BRINE MICHIA FIBERCEMENT PANEL VINTAGE WOOD BUSHWOOD
002	STUCCO WHITE FIELD 3 COAT STUCCO LIGHT SAND FINISH MATCH BRAMMER MOORE ST2540 PACON LIGHT WHITE
003	STUCCO GRAY ACCENT 3 COAT STUCCO LIGHT SAND FINISH MATCH BRAMMER MOORE 1 LEON SANDHORN GRAY
004	STUCCO RED ACCENT 3 COAT STUCCO LIGHT SAND FINISH MATCH BRAMMER MOORE C214 LOUISIANA HOT SAUCE
005	STUCCO TAN ACCENT 3 COAT STUCCO LIGHT SAND FINISH MATCH BRAMMER MOORE FRESH
006	BUILDING BOARD OF HILTON FRANCHISE STANDARD LIGHT BROWN FINISH



2 Base Elevation
1/8" = 1'-0"

PAGE BREAK





RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

June 15, 2021

Mr. Tim Wheeler, Project Planner
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside CA 92501

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Manos
Lake Elsinore

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Paul Rull

Simon A. Housman
Daniel Zerda
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-6732

File No.: ZAP1477MA21
Related File No.: TTM37665 (Tentative Tract Map)
APN: 273-040-029, 273-210-001, 273-210-010, 273-210-012, 273-210-018, 273-210-023
Airport Zone: Compatibility Zone E

Dear Mr. Wheeler:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. TTM37665 (Tentative Tract Map), a proposal to divide 48 acres into 36 single family residential lots located northerly of Rancho Sonado Road and southerly of Mockingbird Canyon Road.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (AMSL). At a distance of 39,100 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review could be required for any structures with a top of roof exceeding 1,926 feet AMSL. The project's site elevation is 1,277 feet AMSL, and a maximum building height of 40 feet, resulting in a top point elevation of 1,317 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

www.aluc.org

AIRPORT LAND USE COMMISSION

2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Hazards to flight.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

AIRPORT LAND USE COMMISSION

If you have any questions, please feel free to contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Dedicated Development, Inc. (applicant/property owner)
Blaine Womer Civil Engineering (representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
David Shaw, Base Civil Engineer, March Air Reserve Base
ALUC Case File

X:\AIRPORT CASE FILES\March\ZAP1477MA21\ZAP1477MA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

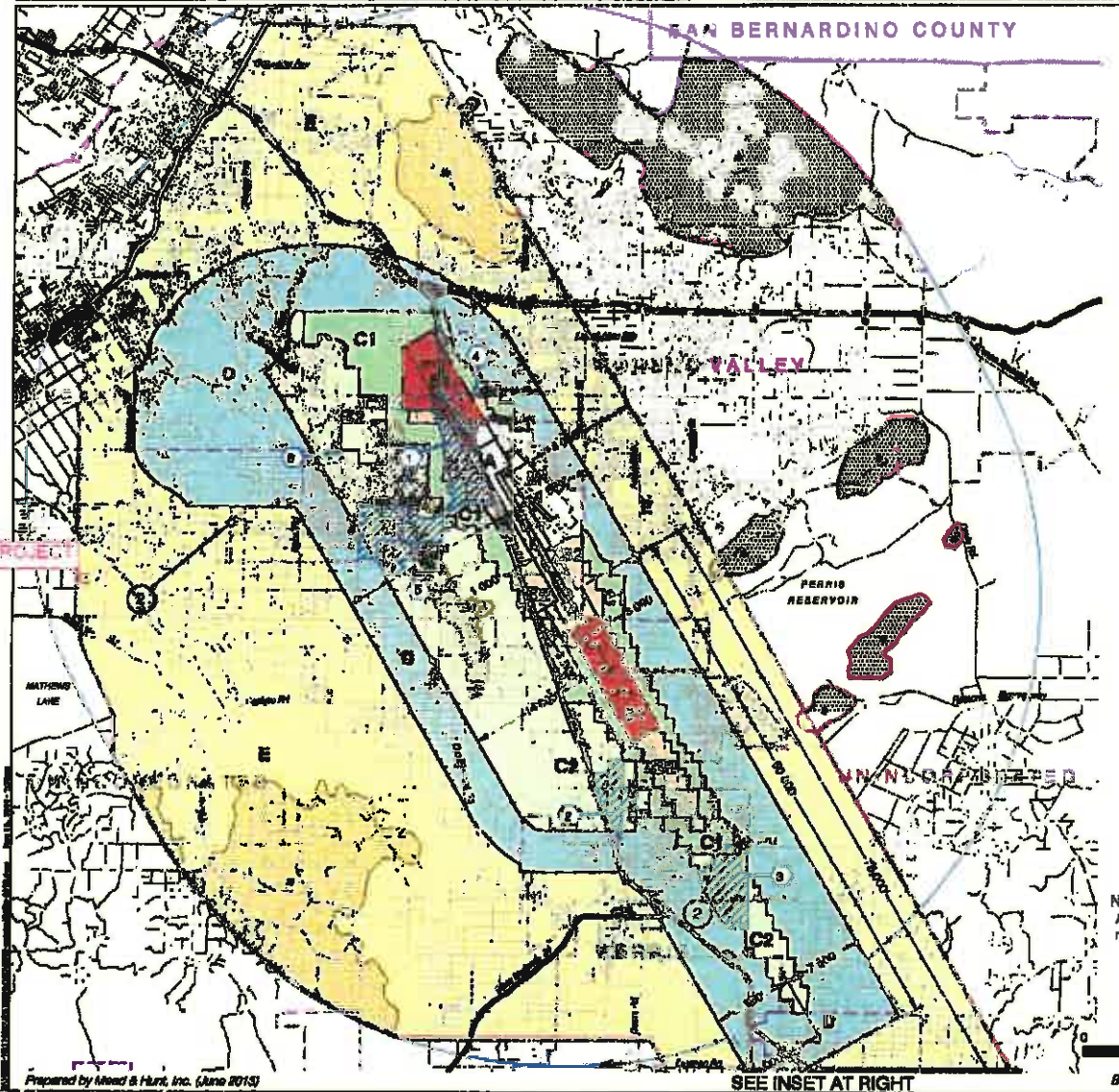
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

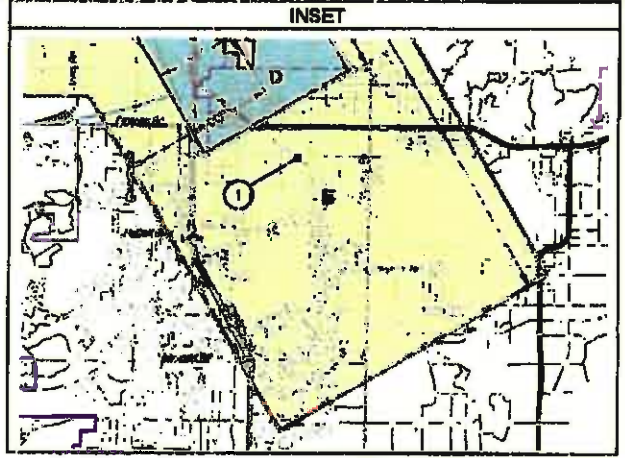
Name: _____

Phone: _____



LEGEND

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C1
 - Zone C2
 - Zone D
 - Zone E
 - Zone M
 - High Terrain Zone
 - FAR Part 77 Military Outer Horizontal Surface Limits
 - FAR Part 77 Notification Area
- Boundary Lines**
- March Air Reserve Base / Air Force Property
 - March Joint Powers Authority Property Line
 - County Boundary
 - - - City Limits
 - Site-Specific Exceptions (existing local agency commitments to development projects)
- March JPA: March Business Center/Market
 - Perris: Harvest Landing
 - Perris: Park West
 - Moreno Valley: Affordable Housing
 - March JPA: Ben Clark Training Center
 - Riverside: Ridge Crest Subdivision
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,838 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)

Note:
 All dimensions are measured from runway ends and centerlines.



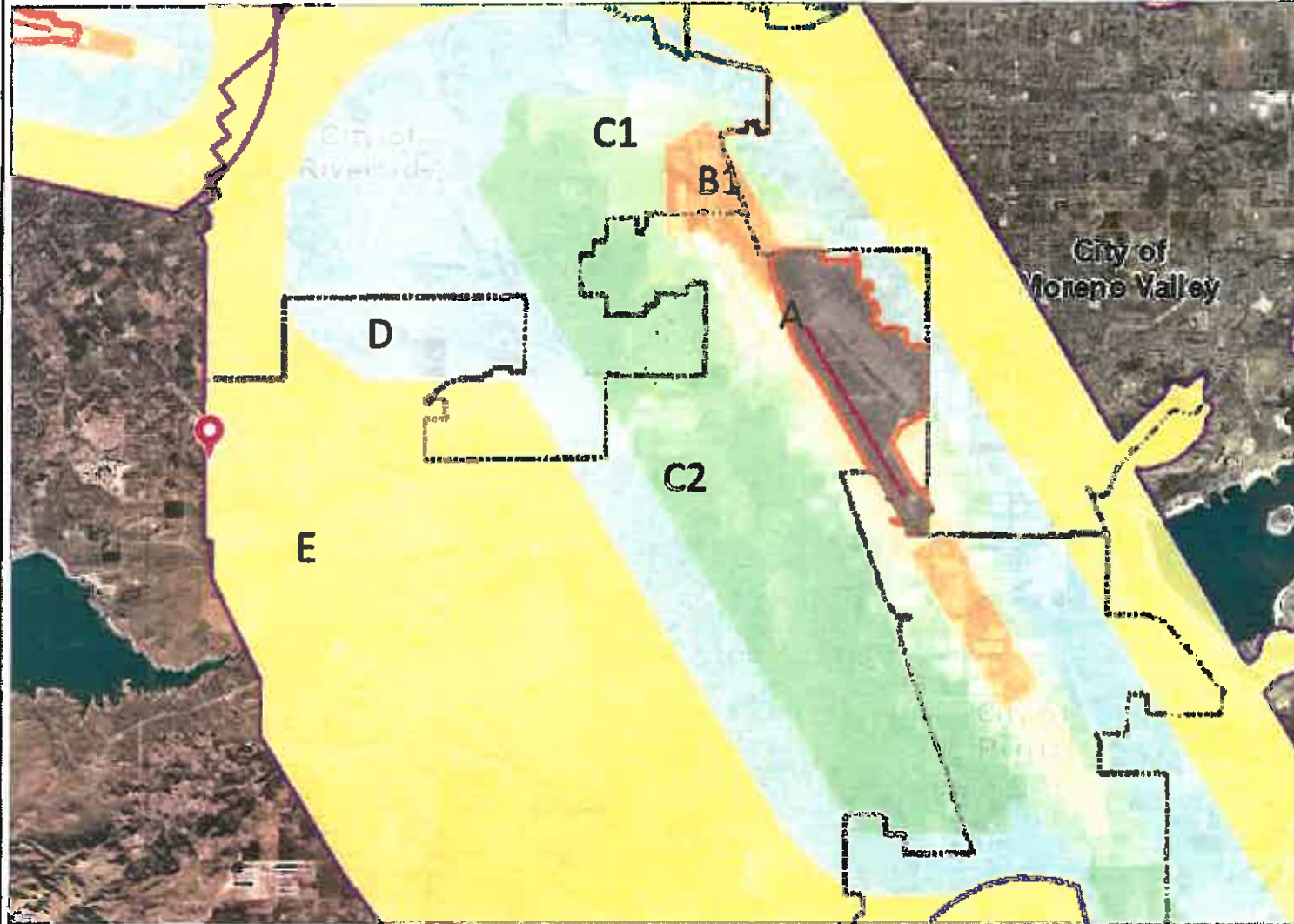
Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)





SEE INSET AT RIGHT

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

Map My County Map



Legend

-  Runways
-  Airports
-  Airport Influence Areas
- Airport Compatibility Zones**
-  OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8

Notes



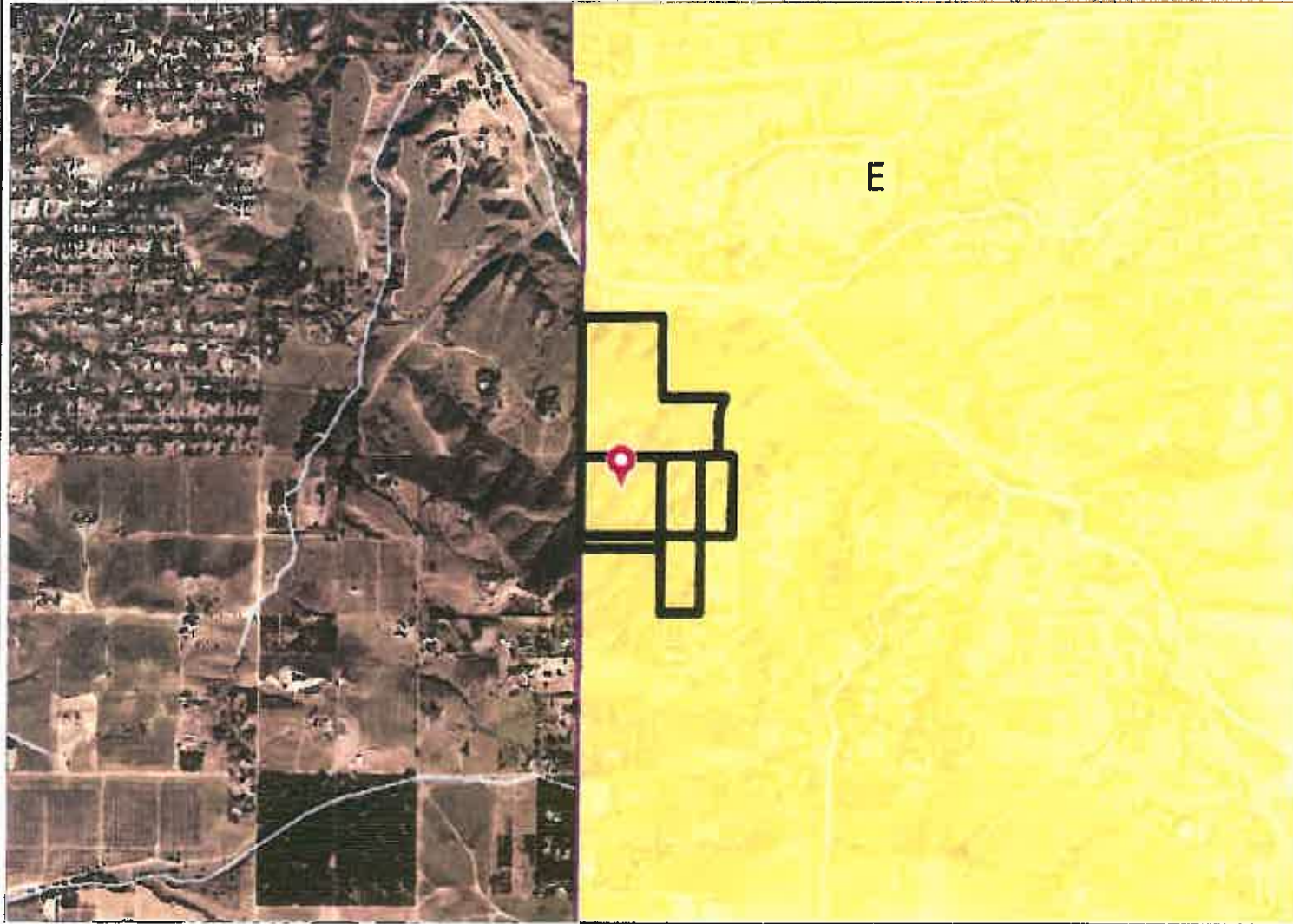
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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© Riverside County GIS

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8

Notes



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0 1 3,079 Feet

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Map My County Map



Legend

- BlueLine Streams
- City Areas
- World Street Map

Notes



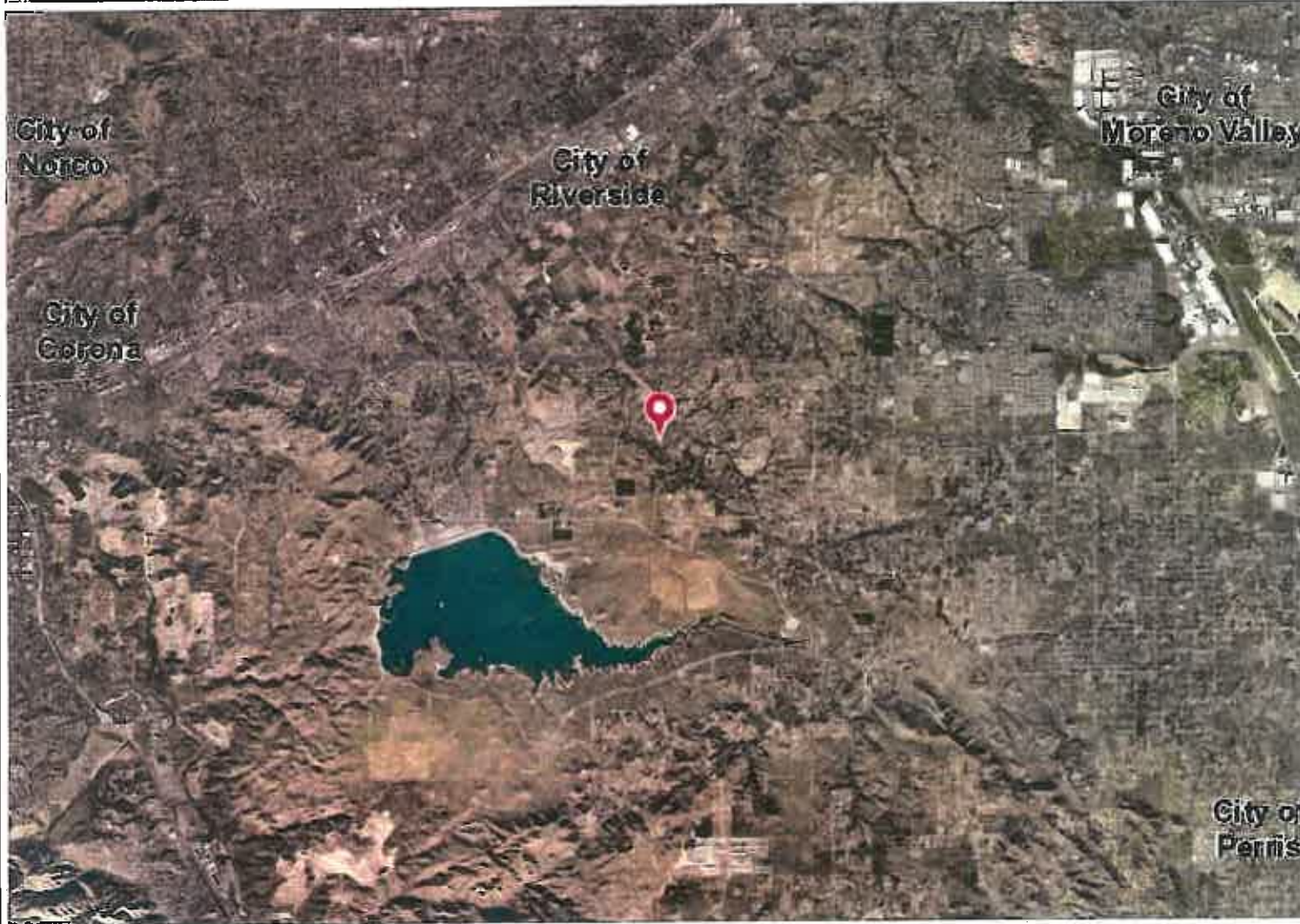
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 3 6,157 Feet
079

REPORT PRINTED ON... 6/15/2021 8:50:12 AM

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Map My County Map



Legend

-  City Areas
-  World Street Map

Notes



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0 12 24,629 Feet
314

REPORT PRINTED ON... 6/15/2021 8:47:40 AM

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Map My County Map



Legend

- Blue line Streams
- City Areas
- World Street Map

Notes



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 1 3,079 Feet

REPORT PRINTED ON... 6/15/2021 8:43:18 AM

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IN THE COUNTY OF RIVERSIDE
TENTATIVE TRACT MAP 37665
 SECTION 27 & 34, TOWNSHIP 3 SOUTH, RANGE 5 WEST, S.B.M.



OWNER/APPLICANT: BROWN DEVELOPMENT, INC.
 255-140-454, 255-919-809, 255-310-415
 255-210-415, 255-810-410 & 255-410-410
 255-210-415
 DATE: 12-15-83

ASSESSOR'S PARCEL NO(S):
 1/1

IMPROVEMENT SCHEDULE: GENERAL PLAN
 NUMBER: 1/1

ADJACENT LAND USE ZONING:
 NORTH - RESIDENTIAL
 EAST - RESIDENTIAL
 WEST - RESIDENTIAL
 SOUTH - RESIDENTIAL

PROPOSED LAND USE EXISTING LAND USE:
 RESIDENTIAL
 EXISTING ZONING: R-1
 PROPOSED ZONING: R-1

UTILITIES:
 WATER - SOUTH CALIFORNIA WATER SERVICE
 GAS - SOUTHERN CALIFORNIA GAS COMPANY
 ELECTRIC - SOUTHERN CALIFORNIA ELECTRIC COMPANY
 TELEPHONE - THE WESTERN

NUMBER OF LOTS: 12
 MINIMUM LOT SIZE: 1 ACRES, 0000

ACREAGE: 120.00
 CONTIGUOUS OWNERSHIP: NONE

THOMAS GUIDE: 100-100
 SCHOOL DISTRICT: RIVERSIDE UNIFIED

SOURCE OF TOPOGRAPHY: AERIAL SURVEY BY ISLAND AERIAL SURVEY, INC. DATED JANUARY 5, 1974

FLOOD PLAN: NONE
 COUNTY SERVICE AREA: THE BROWNSVILLE SANITARY DISTRICT

SPECIFIC PLAN: NONE
 ALTERN. UNDER: NONE

NOTES SUPPLEMENT 1:
 THIS TRACT MAP SHOWS THE ADEQUATE IMPROVEMENTS, UTILITIES AND
 UTILITIES TO BE PROVIDED BY THE APPLICANT FOR THIS TRACT.

PROPERTY DESCRIPTION:
 A PORTION OF THE SOUTHWEST 1/4 OF SECTION 27 AND A PORTION OF THE
 SOUTHWEST 1/4 OF SECTION 34, BOTH OF TOWNSHIP 3 SOUTH, RANGE 5 WEST,
 SAN BERNARDINO COUNTY, CALIFORNIA.

- NOTE:
1. IMPROVEMENTS THERE SHOWN WILL BE CONSIDERED PART OF THE DEVELOPMENT OF PROPOSED TRACT DEVELOPMENT.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 3. WATER QUALITY SHALL BE MAINTAINED AND THE PRELIMINARY QUALITY MANAGEMENT PLAN (P-QMPL) SHALL BE SUBMITTED TO THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
 4. ALL LOTS SHOWN SHALL BE GRADED AT 0%.
 5. SEE 6" X 9" SHEET PROPOSED.

ESTIMATE OF EARTHWORK QUANTITIES:
 CUT: 18,000 C.Y.
 FILL: 18,000 C.Y.

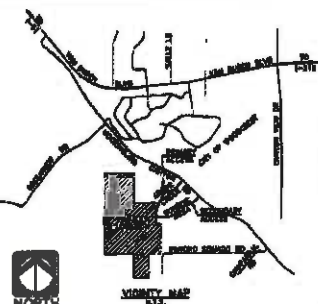
EXPLANATORY NOTES OF NON-APPLICABLE REQUIREMENTS

1. THE USE OF ANY MEASUREMENT SYSTEM OTHER THAN THE METRIC SYSTEM IS PROHIBITED.
2. THE TRACT MAP SHALL BE SUBMITTED TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL.
3. THE TRACT MAP SHALL BE SUBMITTED TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL.
4. THE TRACT MAP SHALL BE SUBMITTED TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL.
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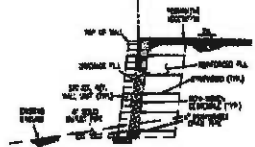
- NOTES:
1. PRELIMINARY SHEET (SEE PRELIMINARY SHEET)
 2. DEPTH = 1', 30% SLOPE AREA = 3000 S.F. MIN.
 3. STOPPING AREA TO PREVENT RUNOFF FLOODS TO INTERSECTION WITH STREET SHALL BE 10' X 10' MIN. DIAMETER OF IMPROVEMENT BARS.

REMARKS:

1. ALL IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
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19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.



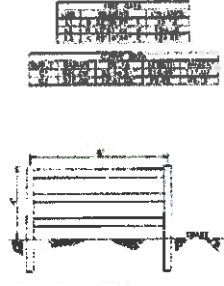
VICINITY MAP



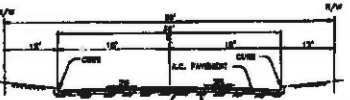
STRUCTURAL CURB/GRAVITY RETAINING WALL DETAIL

LOT SUMMARY TABLE

LOT NO.	ACREAGE	AREA (SQ. FT.)	PERCENTAGE OF TOTAL ACREAGE
1	10.00	435,600	8.33
2	10.00	435,600	8.33
3	10.00	435,600	8.33
4	10.00	435,600	8.33
5	10.00	435,600	8.33
6	10.00	435,600	8.33
7	10.00	435,600	8.33
8	10.00	435,600	8.33
9	10.00	435,600	8.33
10	10.00	435,600	8.33
11	10.00	435,600	8.33
12	10.00	435,600	8.33
13	10.00	435,600	8.33
14	10.00	435,600	8.33
15	10.00	435,600	8.33
16	10.00	435,600	8.33
17	10.00	435,600	8.33
18	10.00	435,600	8.33
19	10.00	435,600	8.33
20	10.00	435,600	8.33
21	10.00	435,600	8.33
22	10.00	435,600	8.33
23	10.00	435,600	8.33
24	10.00	435,600	8.33
25	10.00	435,600	8.33
26	10.00	435,600	8.33
27	10.00	435,600	8.33
28	10.00	435,600	8.33
29	10.00	435,600	8.33
30	10.00	435,600	8.33
31	10.00	435,600	8.33
32	10.00	435,600	8.33
33	10.00	435,600	8.33
34	10.00	435,600	8.33
35	10.00	435,600	8.33
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42	10.00	435,600	8.33
43	10.00	435,600	8.33
44	10.00	435,600	8.33
45	10.00	435,600	8.33
46	10.00	435,600	8.33
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49	10.00	435,600	8.33
50	10.00	435,600	8.33
51	10.00	435,600	8.33
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56	10.00	435,600	8.33
57	10.00	435,600	8.33
58	10.00	435,600	8.33
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82	10.00	435,600	8.33
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87	10.00	435,600	8.33
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93	10.00	435,600	8.33
94	10.00	435,600	8.33
95	10.00	435,600	8.33
96	10.00	435,600	8.33
97	10.00	435,600	8.33
98	10.00	435,600	8.33
99	10.00	435,600	8.33
100	10.00	435,600	8.33



VINYL RAIL SPRING FENCE DETAIL



TYPICAL STREET SECTION WITHIN TR. 37665
 ARBOR CREEK CIRCLE & STREETS 'A', 'B', 'C' & 'D'



TYPICAL STREET SECTION WITHIN TR. 24885-1
 ARBOR CREEK CIRCLE & SUNRISE MESA DRIVE

DATE OF REVISION PREPARATION: NOVEMBER, 1983
 REVISION: 10/10/83, 10/20/83

APPROVAL BY: _____ DATE: _____
 PREPARED BY: _____ DATE: _____



BWA BLAINE A. WOMER
 CIVIL ENGINEERING
 1111 N. GARDEN ST., RIVERSIDE, CALIF. 92507
 (714) 944-1111

COUNTY OF RIVERSIDE
 DEDICATED DEVELOPMENT
**TENTATIVE TRACT MAP
 NO. 37665**

SHEET NO. 1

1

OF 1 SHEET

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



May 27, 2021

Mr. Robert Gonzalez, Project Planner
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside CA 92501

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Manos
Lake Elsinore

COMMISSIONERS

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Riverside

John Lyon
Riverside

Russell Batte
Desert Hot Springs

Richard Stewart
Morano Valley

Gary Youmans
Temecula

STAFF

Director
Paul Ruff

Simon A. Housman
Daniel Zerdia
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 956-5132

www.realuc.org

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1084BD21
Related File No.: PPT200020 (Plot Plan)
APNs: 607-222-006

Dear Mr. Gonzalez:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. PPT200020 (Plot Plan), a proposal to construct a multifamily residence consisting of three dwelling units on 0.25 acres, located northerly of Runaway Bay Drive, westerly of Coral Drive, southerly of 42nd Avenue, and easterly of Lima Hall Road.

Pursuant to the Bermuda Dunes Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D of the Bermuda Dunes Airport Influence Area, where residential density is restricted to either below 0.2 dwelling units per acre or above 5 dwelling units per acre. The project proposes 3 dwelling units on 0.25 gross acres, resulting in a density of 12 dwelling units per acre, which is consistent with the Zone D residential density criteria.

The elevation of Runway 10-28 at Bermuda Dunes Airport at its westerly terminus is approximately 73 feet above mean sea level (AMSL). At a distance of approximately 3,680 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top point exceeding 110 feet AMSL. The site's elevation is 84 feet AMSL, and the height of the tallest proposed building is 23.4 feet, resulting in a maximum top point elevation of 107.4 feet AMSL. Therefore, review by the FAA OES was not required.

Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33B).

AIRPORT LAND USE COMMISSION

Although the nearest portion of the proposed project is located within 10,000 feet of the runway (approximately 3,680), the project will not be utilizing a storm water management system and, therefore, would not constitute a hazard to flight.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses and hazards to flight.
 - (f) Any use which results in a hazard to flight, including physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.

AIRPORT LAND USE COMMISSION

4. Buildings shall be limited to a maximum height of 23.4 feet and a maximum top point elevation of 107.4 feet above mean sea level unless a "Determination of No Hazard to Air Navigation" letter authorizing a higher top point elevation has been issued by the Federal Aviation Administration Obstruction Evaluation Service.
5. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION


Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Salvador Carbajal (applicant/representative)
Amparo Diaz (property owner)
Ann Goodwyn, Manager, Bermuda Dunes Executive Airport
ALUC Case File

Y:\AIRPORT CASE FILES\Bermuda Dunes\ZAP1084BD21\ZAP1084BD21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

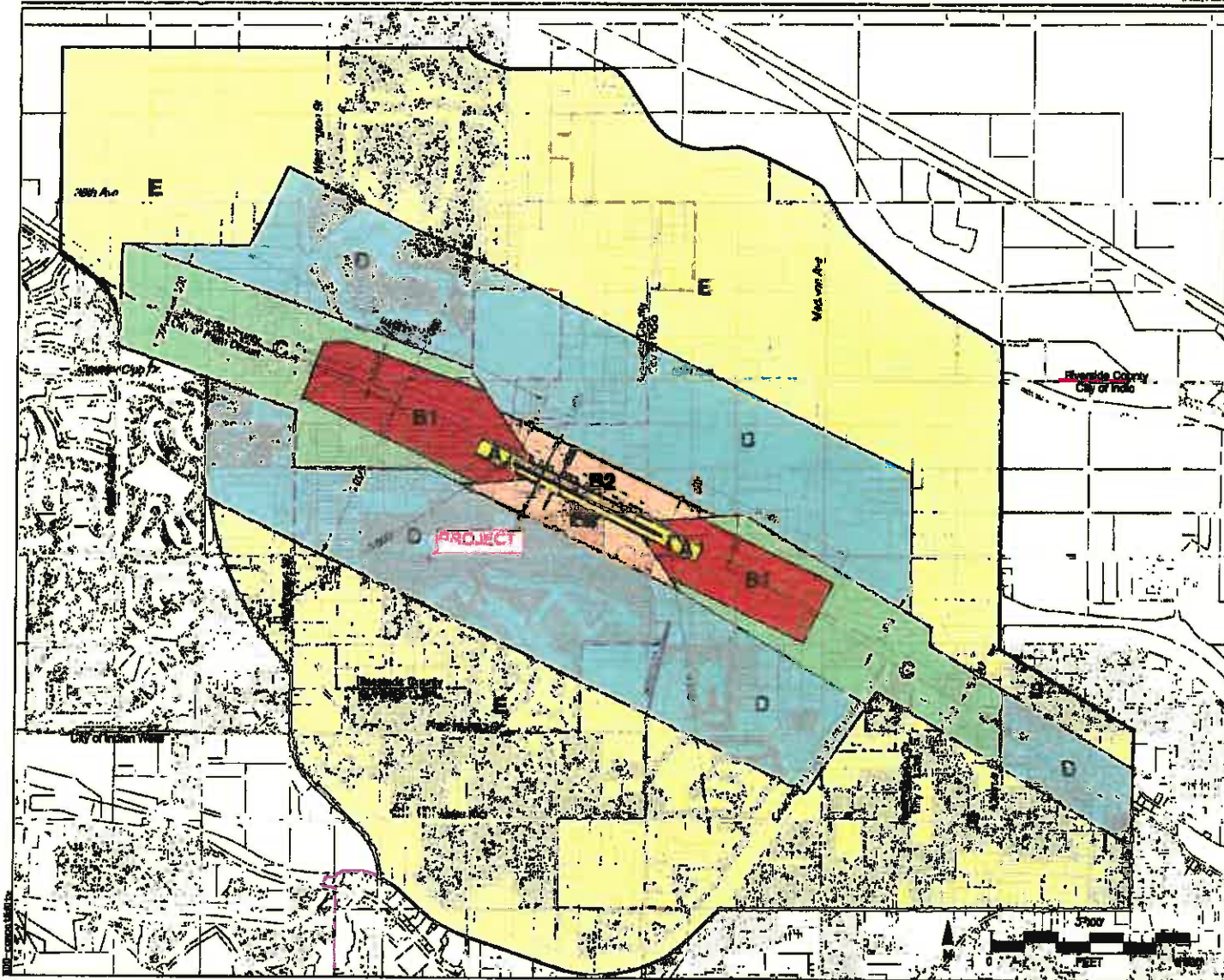
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

- Airport Property Line
- City Limits

Note

Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
 Airport Land Use Commission
 Riverside County
 Airport Land Use Compatibility Plan
 Policy Document
 (Adopted December 2004)

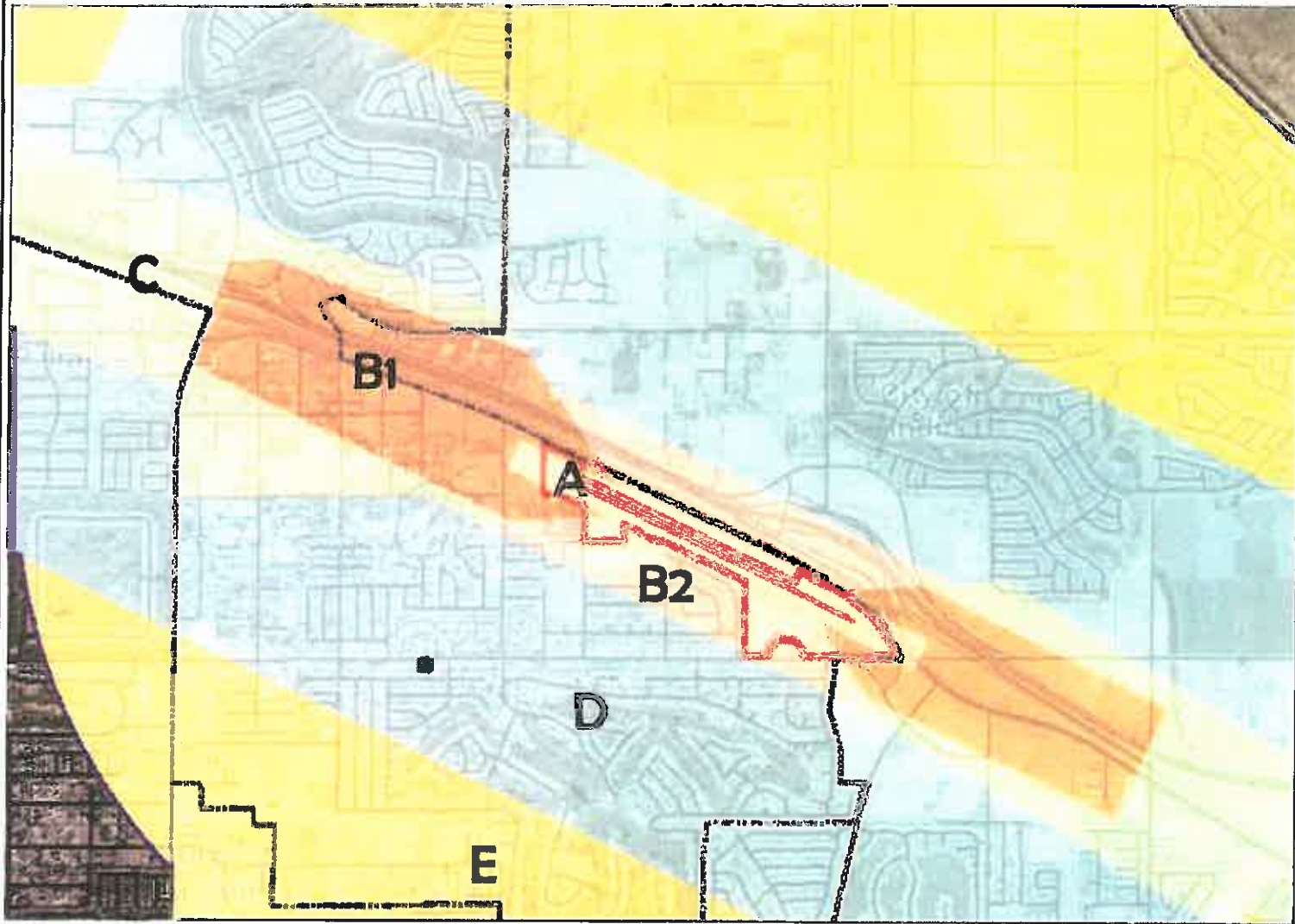
Map BD-1

Compatibility Map
 Bermuda Dunes Airport

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



Notes



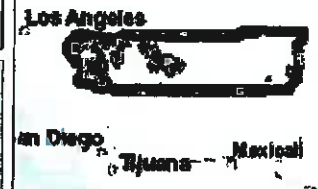
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5



Notes



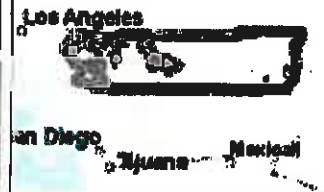
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Map My County Map



Legend

-  Parcels
-  County Centerline Names
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



Notes



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0 94 188 Feet

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Map My County Map



Legend

- County Centerlines
- Blue line Streams
- City Areas
- World Street Map



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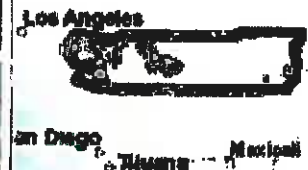


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

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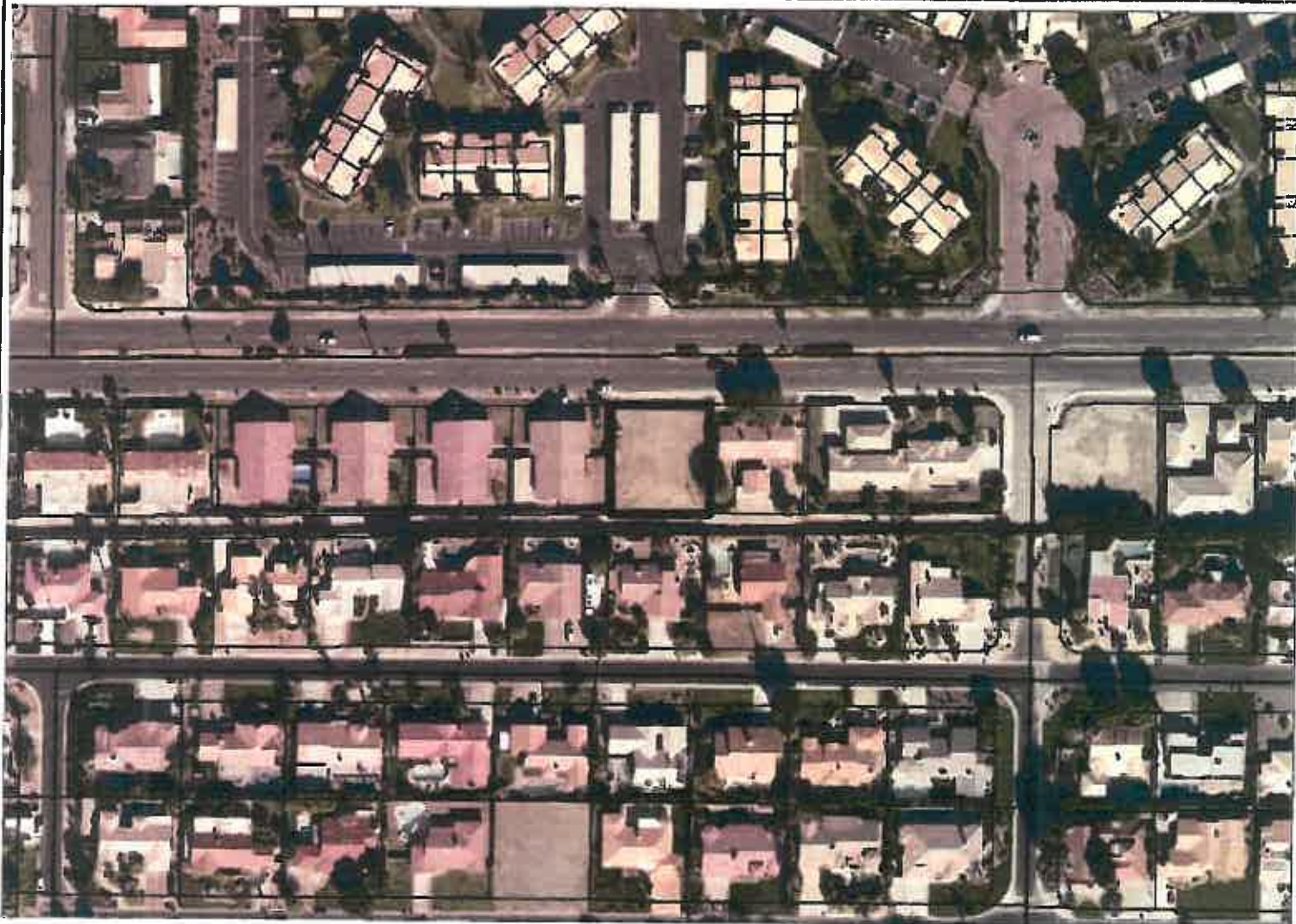
Notes

Map My County Map



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



Notes



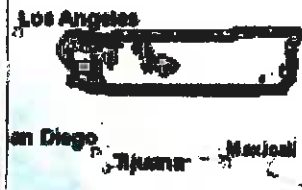
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Map My County Map



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map

Notes



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0 94 188 Feet

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DETAILED PROJECT DESCRIPTION

New construction of two story multifamily residence (3 units) total of 4,560 sq. ft., max height 20'-7" located at:

APN #: 607-222-006-7

Tract no: 2954

Lot: 12

Zone R-2-4000

Land use designation: HDR



BERMUDA RESIDENCE

42nd Ave. Bermuda Dunes CA. 92203

S-AC

Salvador Carbajal
 Registered Designer
 717 W Olympic Blvd, Los Angeles CA, 90015
 (310) 551-5200
 salvador@carbajal.com

42nd AVE
 RESIDENCE

NO. 010
 1/2" = 1'-0" SCALE
 ARCHITECTURE

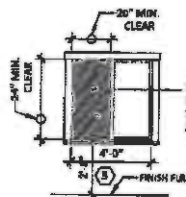
PLAN
 TITLE 30

NO. 010
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 ARCHITECTURE

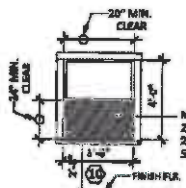
A-T

OF 0000

1. WINDOW OR EGRESS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL OTHERS. CONSULTATION SHALL VERIFY AND BE IMPROVED FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE BIDDING SHALL BE ADVISED OF ANY VARIATIONS FROM THE SPECIFICATIONS OR CONDITIONS ON THESE DRAWINGS AND BE ADVISED EARLY BY SUBMITTING TO THE ARCHITECT FOR COMPLIANCE BY REVISED DRAWINGS WITH AMENDMENTS.
2. ALL DIMENSIONS ARE TO FINISH UNLESS NOTED OTHERWISE.
3. USE THE STILES ON FINISHED WALLS TO VERIFY LOCATIONS VERY CAREFULLY.
4. DO NOT SCALE DRAWINGS.
5. PROVIDE EXTRA FINISH WATER CLOSERS FOR ALL NEW CORNER BATHING, SHOWER BENCHES AND TUBS TO BE USED FOR THE LEAD WATER CLOSURE. PROVIDE FINISH FLOOR FINISH REQUIREMENTS FOR SHOWER BENCHES AND TUBS TO BE USED FOR THE LEAD WATER CLOSURE.
6. FINISH ALARMS SHALL BE LOCATED IN EACH BATHING ROOM AND IN EACH AREA OPEN TO A RESIDENT ROOM, AND ON EACH STAIR AND BALCONY FOR COMPLIANCE WITH ALL CODES AND REGULATIONS. FINISH ALARMS SHALL BE INTERCONNECTED TO THE ACTIVITY OF ONE ALARM WALL ACTIVITY AT THE ALARMS UNDER THE BIDDING.
7. CARBON MONOXIDE ALARMS FOR BUILDINGS WITH FUEL-BURNING APPLIANCES AND/OR ATTACHED GARAGES, PERMANENTLY MOUNTED LAMINATED ALUMINUM AND COPPER OF EACH SEPARATE 5' SQUARE AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - A. THE BIDDING SHALL PROVIDE A DRILLING UNIT INCLUDING HARDWARES PROVIDED ABOVE. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED TO THE BATTERY BACKUP.
 - B. BATTERY CARBON MONOXIDE ALARMS SHALL BE PERMITTED IN EXISTING DWELLINGS AND UNITS WHERE NO CONSTRUCTION IS TO TAKE PLACE (EXIST).



MINIMUM OPENING REQUIREMENTS
 24" Minimum Clear Height
 20" Minimum Clear Width
 5.7 S.F. minimum opened area

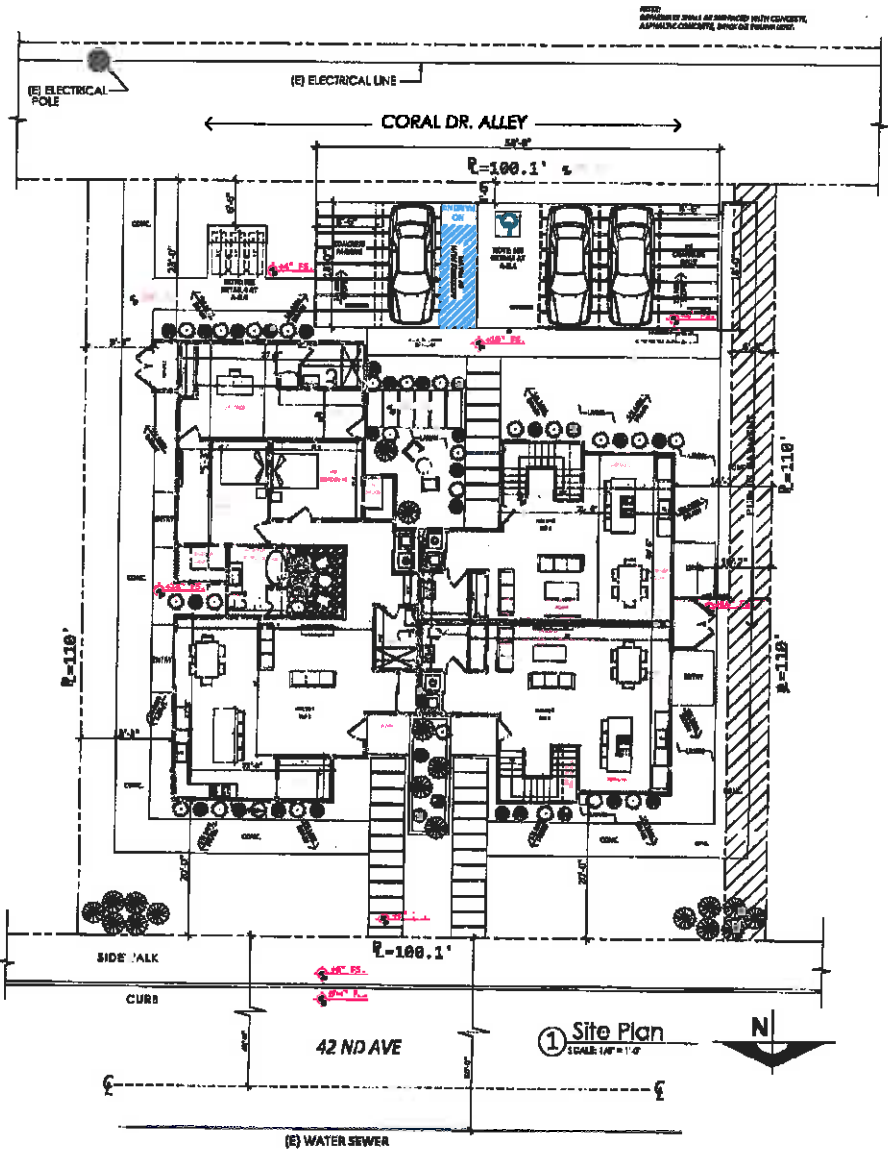


MINIMUM OPENING REQUIREMENTS
 24" Minimum Clear Height
 20" Minimum Clear Width
 5.7 S.F. minimum opened area

EMERGENCY EGRESS WINDOW
 (INTERIOR ELEVATION NOT TO SCALE)

SYMBOL LEGEND

- NEW WALL CONSTRUCTION WITH 5/8" STEEL @ 18" O.C. WITH 3/4" STEEL @ 12" O.C. FOR FULL HEIGHT WALLS
- EXISTING 2x4 WALL TO REMAIN
- EXISTING 2x4 WALL TO BE DEMOLISHED
- HARD-WIRED CARBON MONOXIDE ALARM WITH A BATTERY BACKUP
- PHOTOELECTRIC SMOKE ALARM, 1.5 AMP V. / 7.5 AMP V. / 10 AMP V. BATTERY BACKUP, AND BATTERY OPERATES FOR DURATION LISTED IN AREA NOTES. SHALL BE INSTALLED NOT LESS THAN 4 FT. HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BEDROOM THAT CONTAINS A BATTERY OR WINDOW.
- EGRESS FAN WITH 20" DIAMETER, 1/2" CLEARANCE FROM THE WALL, AND 2" CLEARANCE FROM THE CEILING. SHALL BE INSTALLED IN EGRESS STAIR COMMON AREA AND CONNECTED TO TERMINALS TO THE OUTSIDE OF THE BUILDING.
- FLOOR DROP
- WINDOW SYMBOL
- DOOR SYMBOL
- SECTION BREAK



① Site Plan
 SCALE 1/8" = 1'-0"

S-AC
 Salvador Carbajal
 Architect/Designer
 717 N. Cimarron Blvd, Los Angeles, CA
 90015
 323-452-7882
 salvadorcarbajal.com

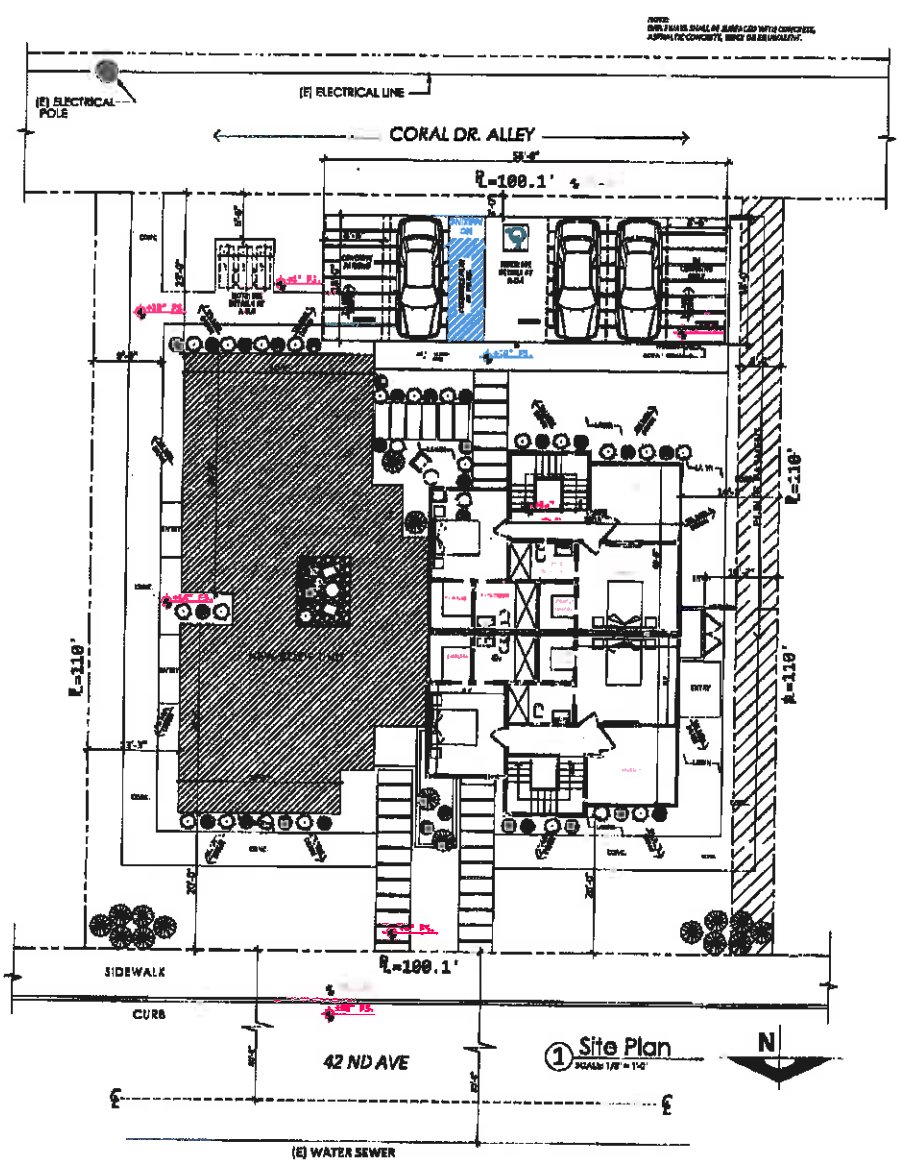
**42ND AVE
 RESIDENCE**

JOB NO.
 42ND AVE RESIDENCE DUNE
 ON 42ND
 FROM
 7/14/2020
 PLAN
 PLOT PLAN LEVEL 1

A-2.1

ARCHITECTURAL ABBREVIATIONS

A	AT	APERTURE	PL	PERFORM	PL	PERFORM
B	BR	BROW	PL	PLYWOOD	PL	PLYWOOD
C	CA	CANTILEVER	PL	PLASTER	PL	PLASTER
...
Z	Z	ZONING	Z	ZONING	Z	ZONING



NOTE: ALL FLOOR SHALL BE FINISHED WITH CONCRETE APPROXIMATE CONCRETE SLAB DEPTH SHALL BE 4" MINIMUM.

1 Site Plan
SCALE 1/8" = 1'-0"

S-AC
 Salvador Carbajal
 Registered Engineer
 717 W Olympic Blvd, Los Angeles, CA 90015
 (310) 451-1001
 salvador@sa-ac.com

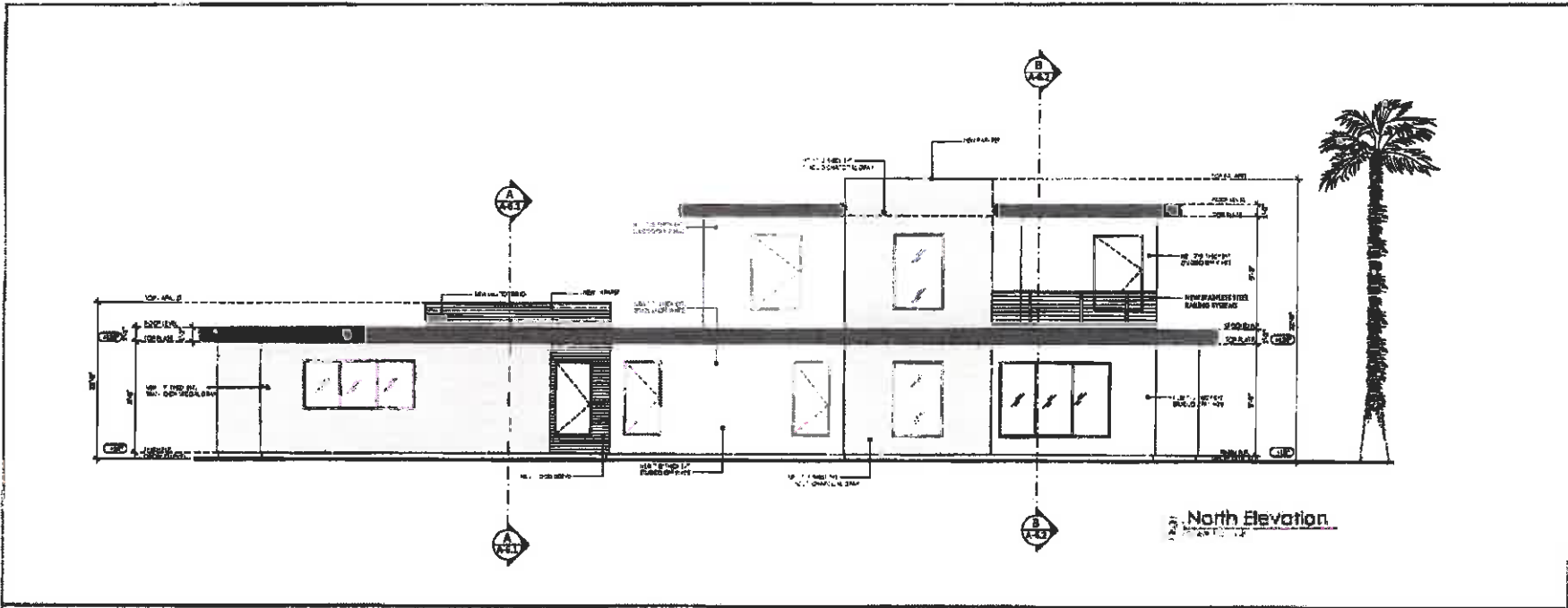
**42nd AVENUE
 RESIDENCE**

JOB NO. 22
 42ND AVE, BERMBDA DUNG, CA 92011
 PROJECT
 2023-05-01

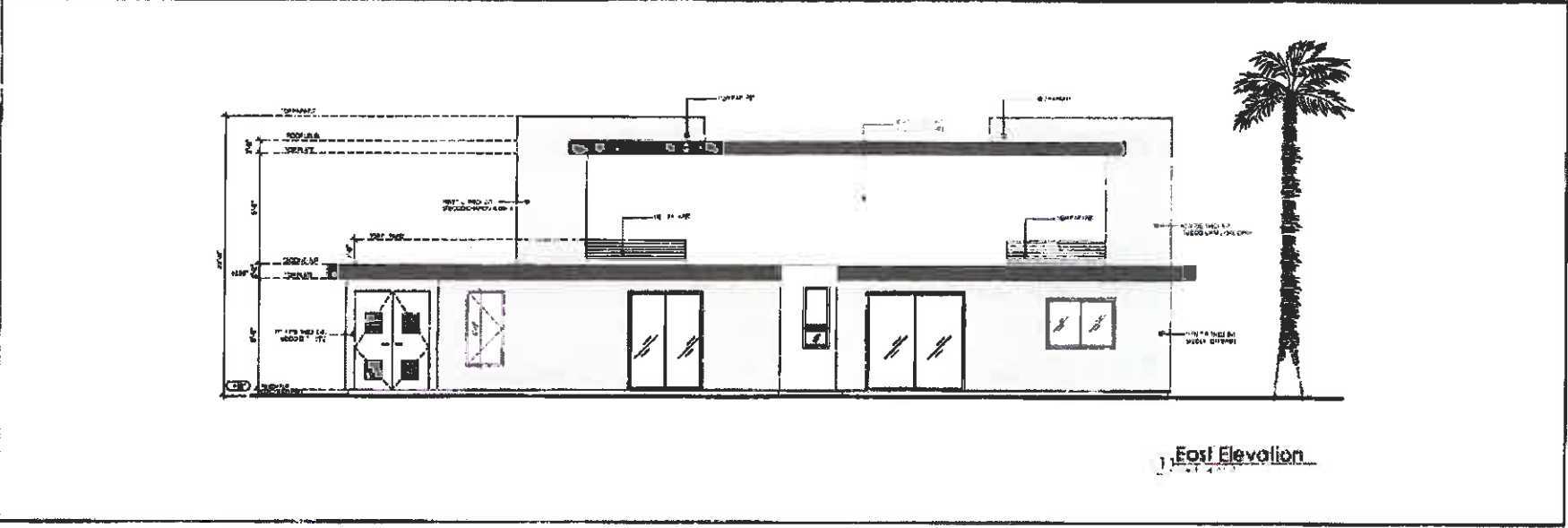
PLAN:
 PLOT PLAN LEVEL 2

A-2.2

OF 2 SHEETS



North Elevation



East Elevation

S-AC

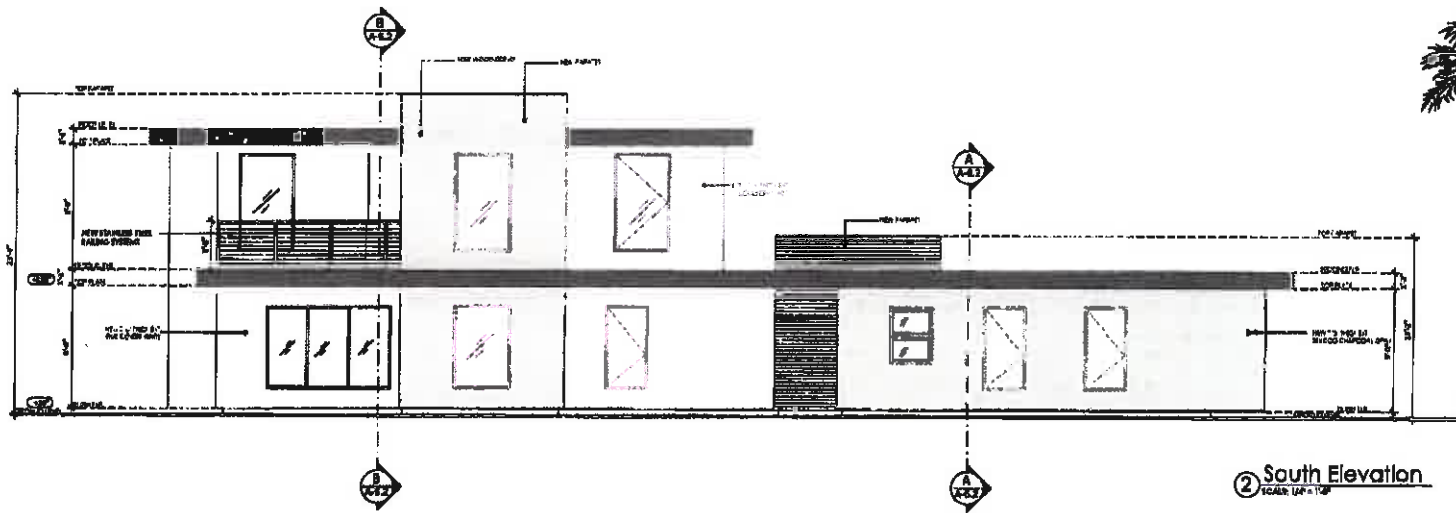
Salvador Carbajal
 Architect/Designer
 117 W. Cleveland Blvd., Los Angeles, CA
 90015
 323.451.1111
 salvador@salvador-carajal.com

42ND AVE
 RESIDENCE

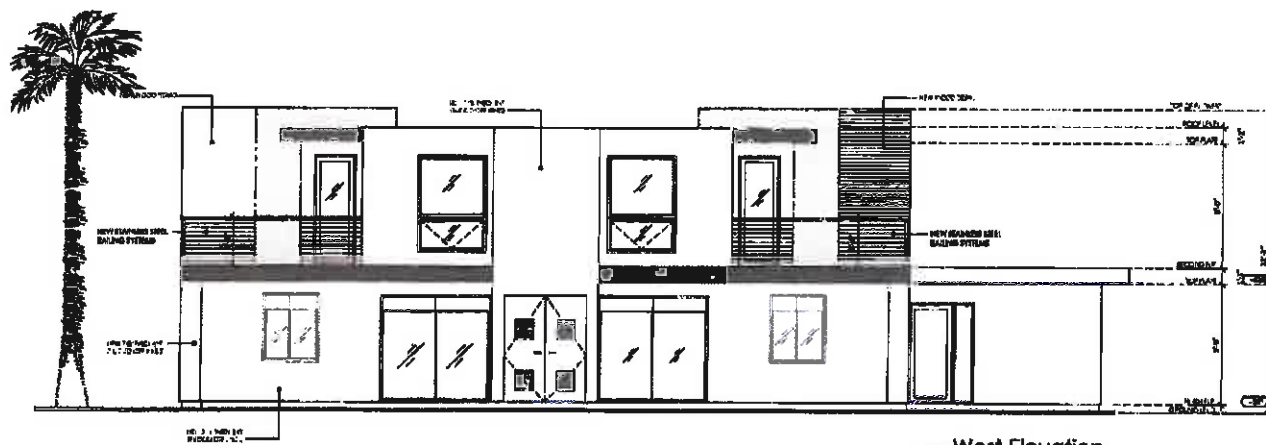
Architect
 Salvador Carbajal

ELEVATIONS

A-4.1



2 South Elevation
SCALE: 1/4" = 1'-0"



1 West Elevation
SCALE: 1/4" = 1'-0"

S-AC

Salvador Carbajal
Registered Civil Designer
7.7 W. Chrysotho Blvd, Los Angeles, CA
90012
Tel: 310-552-5882
Tel: salvador@carbajal.com

42nd AVE
RESIDENCE

JOB SITE:
42ND AVE, BERHAMA CANAL,
CANALES
PHASE 2
780-479-5582

PLAN
ELEVATIONS

OWNER:
S.C.
ARCHITECT:
SALVADOR CARBAJAL
DATE:

A-4.2

OF SHEETS

ATL VENTILATION

NEW ATL VENTILATION

ATL VENT HEIGHT = 1/2" MIN. OVER 2" DIA. 1/4" DIA. = 1/2" MIN. DIA.
 1/2" DIA. OVER 2" DIA. = 1/2" MIN. DIA. OF 1/2" DIA. DIA. DIA.
 DIA. OF THE VENT PIPE = 1/2" DIA. DIA. DIA. DIA. DIA.
 DIA. DIA. DIA. DIA. DIA. DIA. DIA. DIA. DIA. DIA.



- VENTS OVERHEAD SHALL BE PROVIDED WITH CORROSION RESISTANT VENT CAPS WITH 1/4" MIN. TO 1/2" DIA. OPENINGS
- VENTS OVER THE ROOF SHALL BE PROVIDED WITH CORROSION RESISTANT VENT CAPS WITH 1/4" MIN. TO 1/2" DIA. OPENINGS

ROOF COVERING

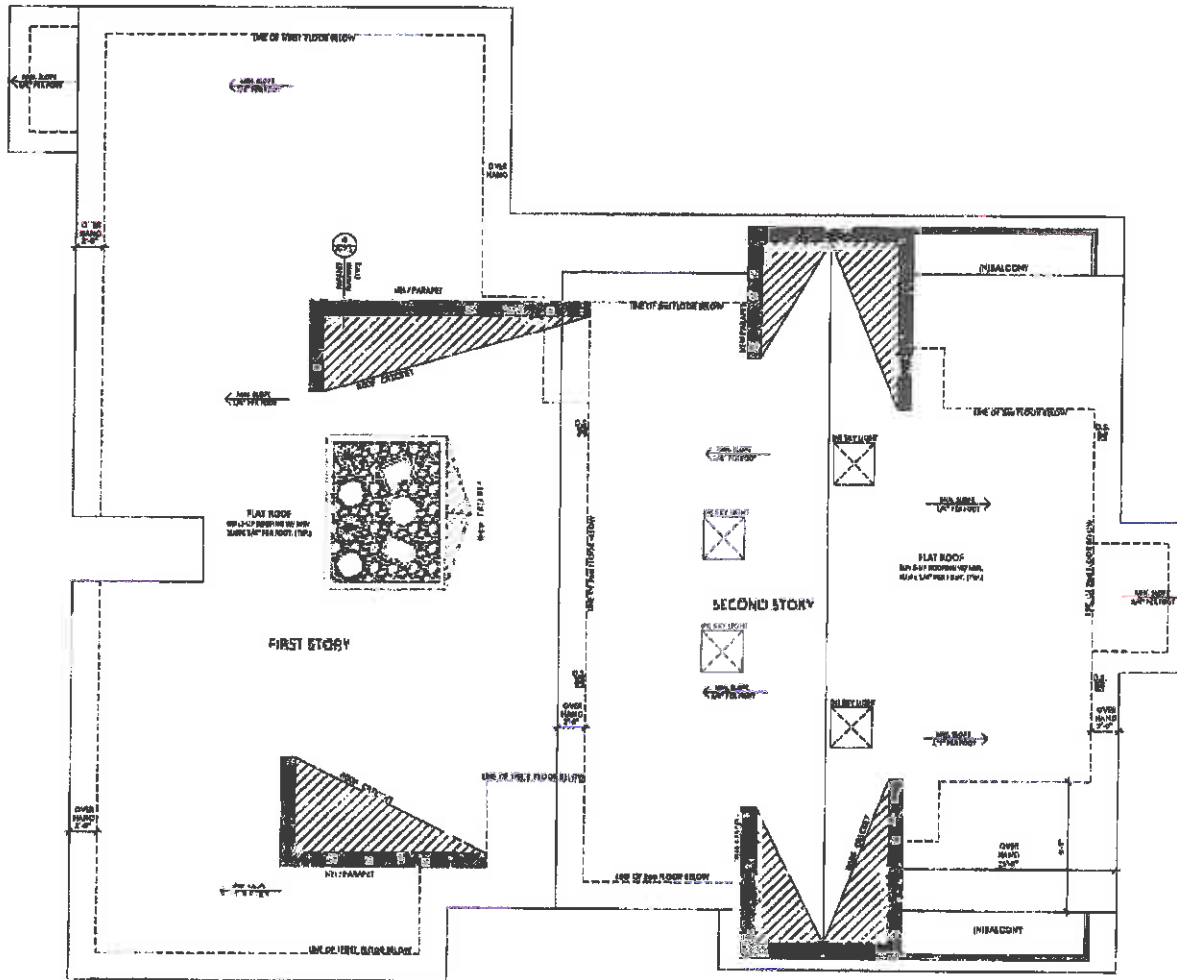


ROOF COVERING SHALL BE PROVIDED WITH CORROSION RESISTANT VENT CAPS WITH 1/4" MIN. TO 1/2" DIA. OPENINGS

TYPE OF ROOFING: CLASS "A" OR "B" ROOF SHINGLE
 MANUFACTURER: GAF
 PRODUCT: Timberline™ Cool Series Single
 AC-108 ASBESTOS
 ***OR SIMILAR APPROVED

NOTES

- OPENINGS MAY BE COVERED WITH CORROSION RESISTANT OVERHEAD WITH 1/4" DIA. DIA. DIA. DIA. DIA. DIA. DIA. DIA. DIA. DIA.
- GAZE STRUCTURE AND MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BY SOME OTHER BY THE LOS ANGELES FIRE DEPARTMENT.



① Proposed Roof Plan
 SCALE: 1/4" = 1'-0"

S-A-C

Salvador Carbajal
 Residential Designer
 717 W. Century Blvd., Los Angeles, CA
 90048
 (213) 475-1111
 salvador@scacorp.com

**42nd AVE
 RESIDENCE**

FOR THE
 ARCHITECT
 DATE
 SCALE
 REVISIONS

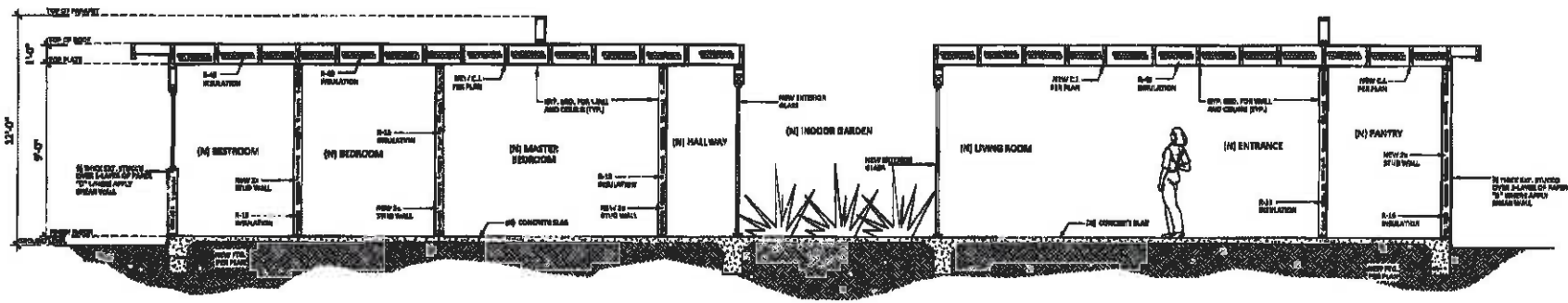
ROOF PLAN

A-5.1

NO SCALE

S-AC

Salvador Carbajal
 Registered Designer
 717 W Olympic Blvd, Los Angeles, CA
 90015
 213-475-2000
 info@salvador-carbajal.com



1 Cross Section A
 SCALE: 3/8" = 1'-0"

42nd AVE
 RESIDENCE

JOB SITE
 42ND AVE BERNARD DUNES
 CA 90208
 PHONE
 714-475-2000

FLAIR

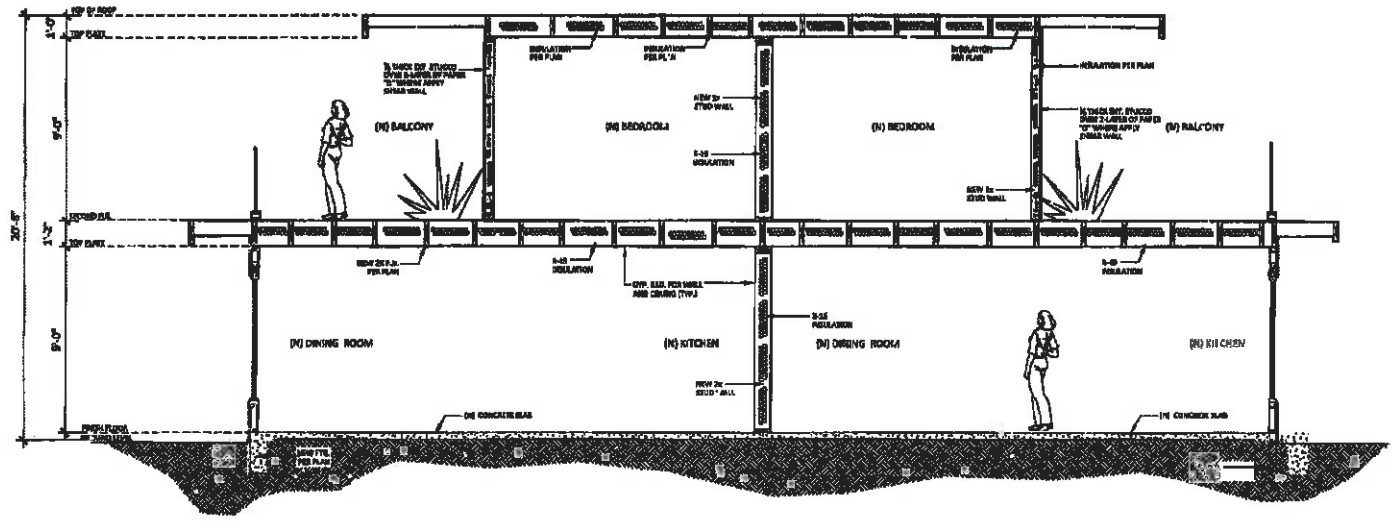
SECTIONS	

A-6.1

S-A-C

Salvador Carbajal
Professional Engineer
217 W. Olympic St., Los Angeles, CA
90012
Tel: 213-481-1111
salcarbajal@earthlink.net

42nd AVE
RESIDENCE



① Cross Section B
SCALE: 3/8" = 1'-0"

FOR SEE:
42ND AVE BERANDA DRIVE,
CA 90024
PHONE:
760-473-4430

PLAN
SECTIONS

A-6.2

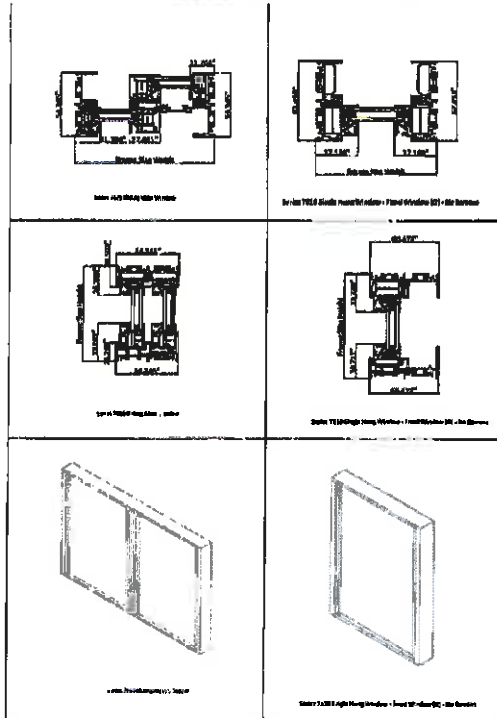
DOOR SCHEDULE ○

SYMBOL	SIZE		THICK.	TYPE	REMARKS	TOTAL
	H	W				
①	7'-0"	3'-0"	1-1/2"	ALUM. GLASS PANEL	SLIP-ON TEMP. GLASS / FINISHED	4
②	7'-0"	3'-0"	1-1/2"	ALUM. GLASS PANEL	SLIP-ON TEMP. GLASS	2
③	7'-0"	3'-0"	1-1/2"	ALUM. GLASS PANEL	SLIP-ON TEMP. GLASS	4
④	7'-0"	3'-0"	1-1/2"	WOOD W/ALUM. GLASS FLASH	SLIP-ON	11
⑤	7'-0"	3'-0"	1-1/2"	WOOD W/ALUM. GLASS FLASH	FIXED	13

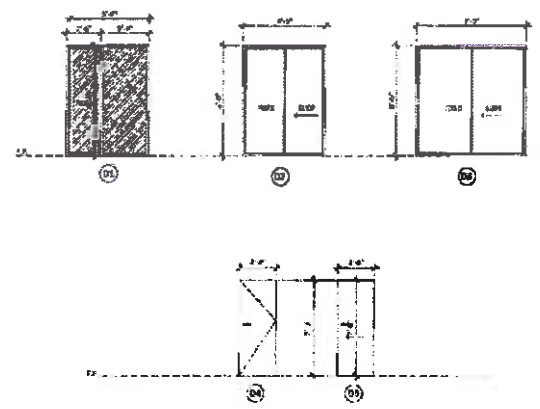
WINDOW SCHEDULE ○

SYMBOL	SIZE		THICK.	TYPE	REMARKS	TOTAL
	H	W				
①	3'-0"	6'-0"	1-1/2"	ALUM. CLAD	FIXED / INSULATED	14
②	4'-0"	6'-0"	1-1/2"	ALUM. CLAD	FIXED / TEMP. GLASS	2
③	4'-0"	6'-0"	1-1/2"	ALUM. CLAD	FIXED	3
④	3'-0"	4'-0"	1-1/2"	ALUM. CLAD	FIXED / INSULATED / SLIP-ON TEMP. GLASS	1
⑤	4'-0"	6'-0"	1-1/2"	ALUM. CLAD	SLIP-ON	2
⑥	4'-0"	6'-0"	1-1/2"	ALUM. CLAD	CASSETTE	4
⑦	3'-0"	4'-0"	1-1/2"	ALUM. CLAD	SLIP-ON	1
⑧	3'-0"	4'-0"	1-1/2"	ALUM. CLAD	FIXED / INSULATED / SLIP-ON	1
⑨	3'-0"	3'-0"	1-1/2"	ALUM. CLAD	FIXED / TEMP. GLASS	2
⑩	3'-0"	3'-0"	1-1/2"	ALUM. CLAD	FIXED / TEMP. GLASS	2

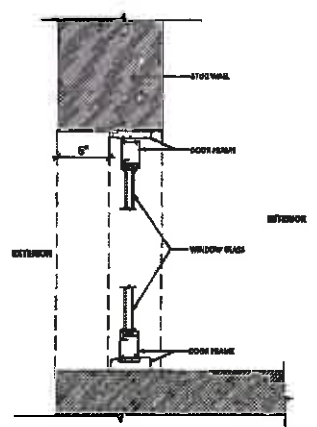
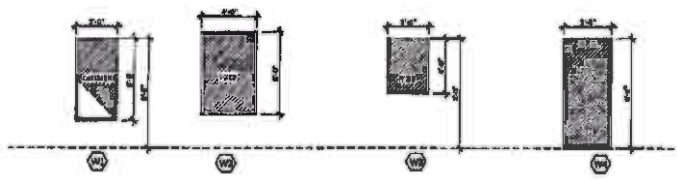
NOTE:
 ALL EXTERIOR DOORS FRAME AND ALL WINDOW FRAME TO BE COLOR FLAKE



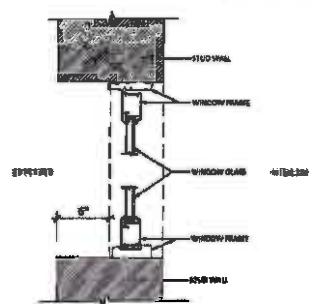
DOOR TYPE / VIEW FROM EXTERIOR SIDE



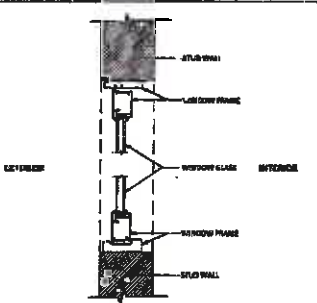
WINDOW TYPE / VIEW FROM EXTERIOR SIDE



FLASH / RECESSED - DOOR SECTION DETAIL 3



RECESSED - WINDOW SECTION DETAIL 2



FLASH - WINDOW SECTION DETAIL 1

S-AC

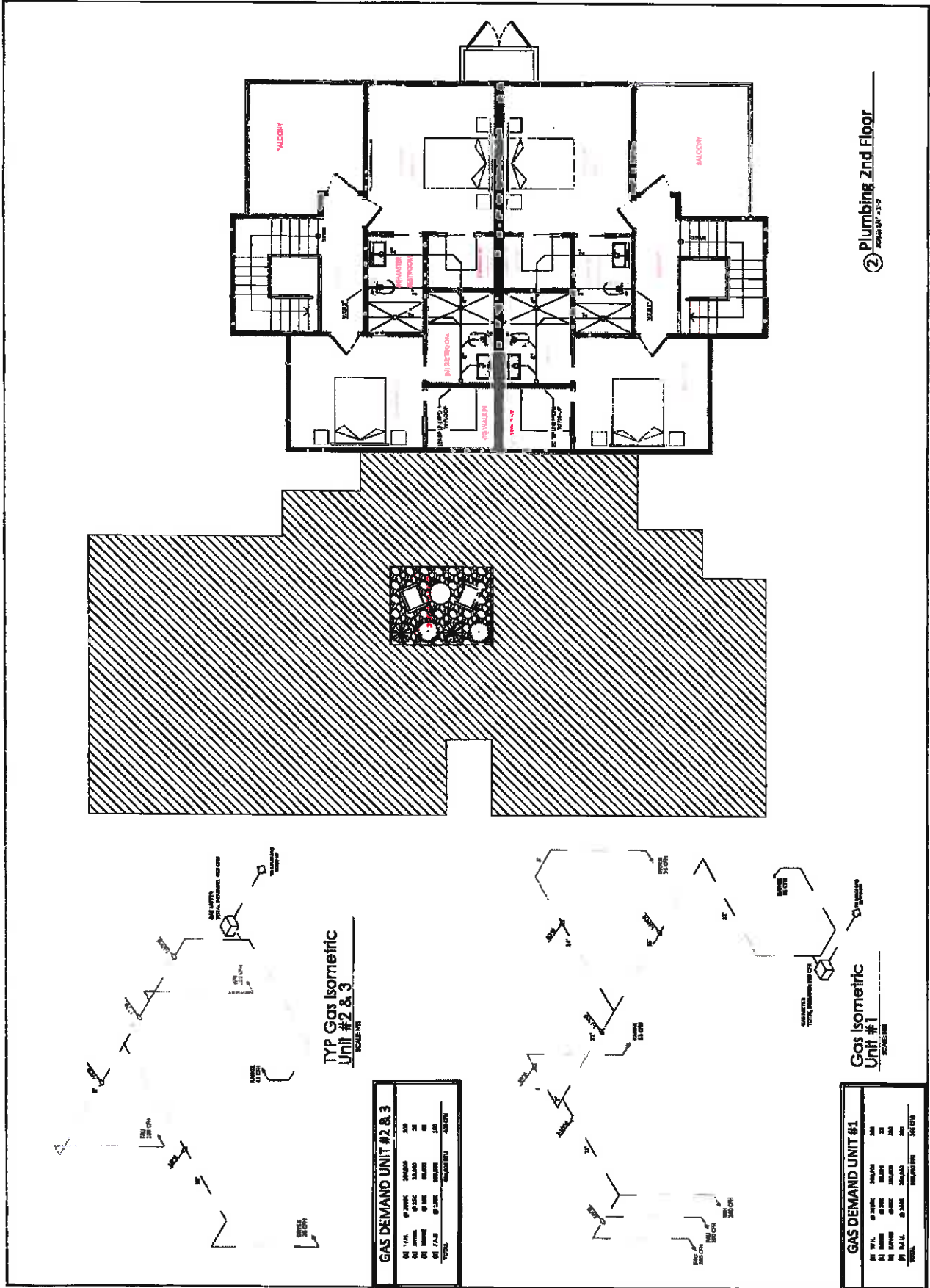
Salvador Carbajal
Professional Engineer
717 N. GUYTON ST. & 1st AVENUE, CO.
DENVER, CO. 80202
303-733-8888
salvadorcarbajal.com

42ND AVE RESIDENCE

FOR THE:
42ND AVE. RESIDENCE
2ND FLOOR
PLUMBING
7/14/2018
2ND FLOOR &
GAS ISOMETRICS

DATE: _____
BY: _____
CHECKED: _____
SCALE: _____

P2



② Plumbing 2nd Floor
FORM #P-117

**TYP Gas Isometric
Unit #2 & 3**
SCALE: 1/4"

GAS DEMAND UNIT #2 & 3	
01 W/A	3/4" CPVC
02 W/B	3/4" CPVC
03 W/C	3/4" CPVC
04 W/D	3/4" CPVC
05 W/E	3/4" CPVC
06 W/F	3/4" CPVC
07 W/G	3/4" CPVC
08 W/H	3/4" CPVC
09 W/I	3/4" CPVC
10 W/J	3/4" CPVC
11 W/K	3/4" CPVC
12 W/L	3/4" CPVC
13 W/M	3/4" CPVC
14 W/N	3/4" CPVC
15 W/O	3/4" CPVC
16 W/P	3/4" CPVC
17 W/Q	3/4" CPVC
18 W/R	3/4" CPVC
19 W/S	3/4" CPVC
20 W/T	3/4" CPVC
21 W/U	3/4" CPVC
22 W/V	3/4" CPVC
23 W/W	3/4" CPVC
24 W/X	3/4" CPVC
25 W/Y	3/4" CPVC
26 W/Z	3/4" CPVC

**Gas Isometric
Unit #1**
SCALE: 1/4"

GAS DEMAND UNIT #1	
01 W/A	3/4" CPVC
02 W/B	3/4" CPVC
03 W/C	3/4" CPVC
04 W/D	3/4" CPVC
05 W/E	3/4" CPVC
06 W/F	3/4" CPVC
07 W/G	3/4" CPVC
08 W/H	3/4" CPVC
09 W/I	3/4" CPVC
10 W/J	3/4" CPVC
11 W/K	3/4" CPVC
12 W/L	3/4" CPVC
13 W/M	3/4" CPVC
14 W/N	3/4" CPVC
15 W/O	3/4" CPVC
16 W/P	3/4" CPVC
17 W/Q	3/4" CPVC
18 W/R	3/4" CPVC
19 W/S	3/4" CPVC
20 W/T	3/4" CPVC
21 W/U	3/4" CPVC
22 W/V	3/4" CPVC
23 W/W	3/4" CPVC
24 W/X	3/4" CPVC
25 W/Y	3/4" CPVC
26 W/Z	3/4" CPVC

MECHANICAL LEGEND

- NEW AIR SUPPLY DUCT
- NEW A/C CEILING SUPPLY GRILLE
- NEW A/C WALL SUPPLY GRILLE
- EXHAUST FLOOR GRILLE
- RETURN AIR DUCT
- A/C R.A. RETURN
- A/C F.A. FLOOR RETURN
- HANDLE BUILDING EXHAUST FAN TO CEILING EXHAUST DUCT (SEE TIA REPORT)
- FURNACE/FAN
- INSTANTANEOUS WATER HEATER
- ELECTRICAL SUB PANEL
- ELECTRICAL PANEL

MECHANICAL NOTES

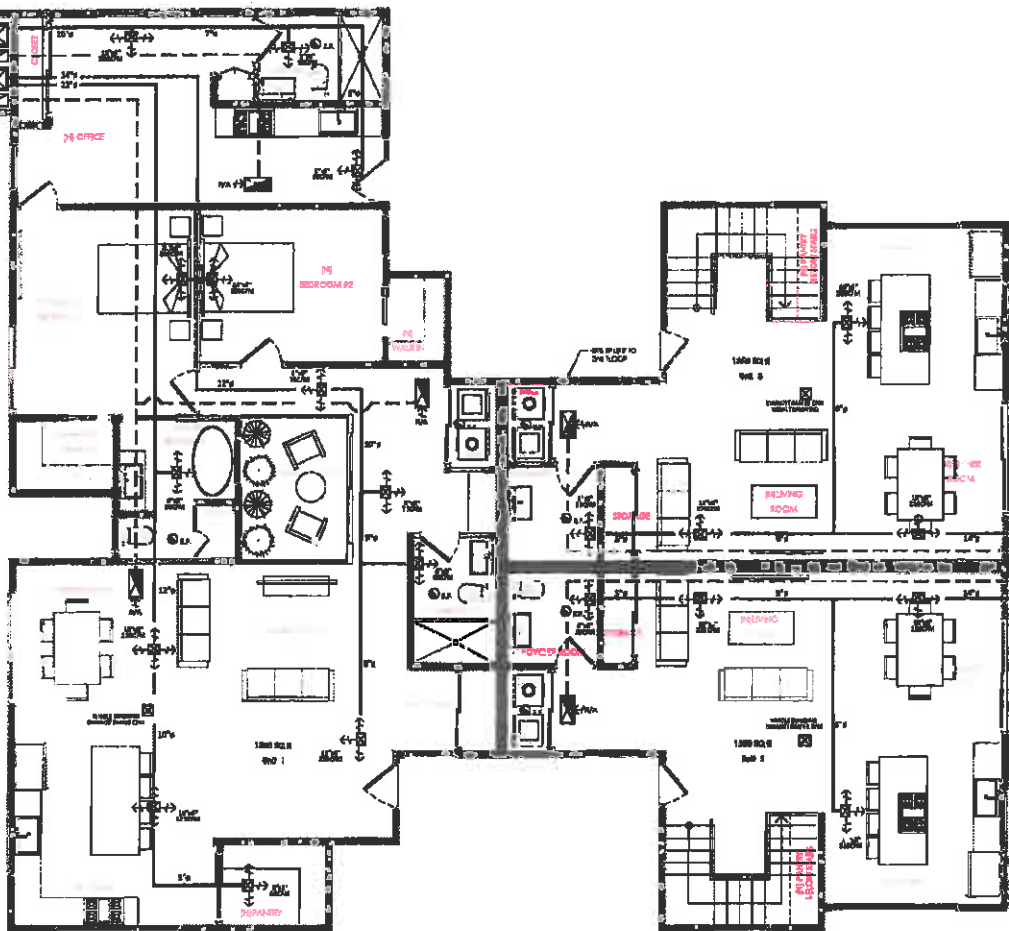
- 1- A/C CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMANCE AND BALANCE OF THE SYSTEM. ONLY TESTS AND TESTS SHOULD BE PERFORMED BY THE A/C CONTRACTOR. SHALL BE RESPONSIBLE FOR CALCULATING AND FINAL DESIGN. A/C CONTRACTOR SHALL SHOW EXISTING FURNACE/HEATER ENERGY EFFICIENCY AS REQUIRED. THE BUILDING DESIGNER SHALL BE NOTIFIED OF ALL CHANGES FROM THE CONTRACTUAL.
- 2- FURNACE/HEATER ENERGY EFFICIENCY SHALL BE SHOWN CORRECTED TO THE CAPACITY INDICATED IN THE ENERGY CALCULATIONS.
- 3- USE THE BUILDING DESIGNER'S DESIGN FOR AIR DUCTS PENETRATING THROUGH THE WALL, FLOOR OR CEILING. REPAIRS TO A WALL, FLOOR OR CEILING OCCURRING FROM A DUCT OR PENETRATING THROUGH THE WALL, FLOOR OR CEILING SHALL BE REPAIRED BY THE A/C CONTRACTOR. SEE THE A/C CONTRACTOR'S SUBmittal TO THE A/C CONTRACTOR'S SUBmittal.
- 4- ALL EXPOSED SURFACES SHALL BE IN PLACE FOR FINISH INSPECTION.
- 5- APPLIANCES DESIGNED TO BE IN PLACE IN FINISH SHALL BE INSTALLED IN PLACE, EXACTLY AS SHOWN.
- 6- SYSTEMS TO BE IN PLACE IN FINISH. LOCATION OF GRILLES AND DUCTS SHALL BE SET OR SETS BEFORE INSTALLATION. CONTRACTOR TO VERIFY COORDINATION WITH ALL CONTRACTORS.

ZONE #1
MECH. R. STON / L. STON
SEE TIA REPORT

ZONE #2
MECH. R. STON / L. STON
SEE TIA REPORT

ZONE #4
MECH. R. STON / L. STON
SEE TIA REPORT

ZONE #3
MECH. R. STON / L. STON
SEE TIA REPORT



1 Mechanical 1st Floor
SCALE: 1/4" = 1'-0"

S-A-C
Salvador Carbajal
Residential Designer
717 W Chicago Blvd, Los Angeles CA, 90024
PHONE: 310-475-6289
FAX: 310-475-6290
sac@salvadorcarbajal.com

**42nd AVE
RESIDENCE**

42nd AVE
42ND AVE, BERMBALA, DONK, CA 91024
PHONE: 310-475-6289

**MECHANICAL FLOOR
1st FLOOR**

DATE	
BY	
REVISION	
NO.	

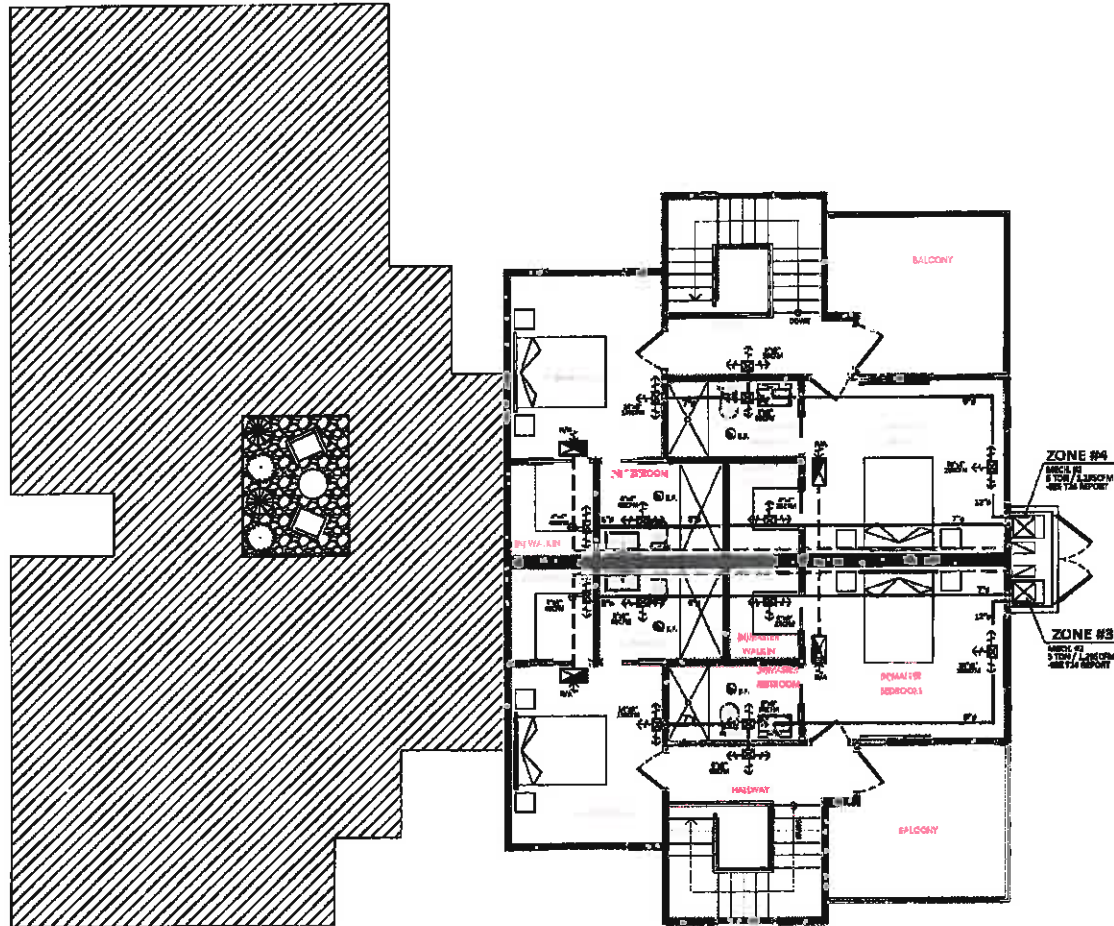
M1

MECHANICAL LEGEND

- NEW AIR SUPPLY DUCT
- NEW AIR RETURN SUPPLY GRILLE
- NEW AIR FEEDBACK SUPPLY GRILLE
- NEW A/C FLOOR SUPPLY GRILLE
- EXISTING FAN TO CALL
- RETURN SUPPLY AIR DUCT
- RA 2.1 — A/C FAN RETURN
- RA 2.2 — A/C FAN FLOOR RETURN
- TRIPLE FLOORING DIVIDING FAN BY CELL BROWN SHADING SHOWN BELOW
- TRIMMER/KEY
- MECHANICAL LABEL NUMBER
- ELECTRICAL AIR PANEL
- MECHANICAL METER

MECHANICAL NOTES

1. A/C CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DESIGN AND BALANCE OF THE SYSTEM. CHECK MEASUREMENTS SHOWN HEREIN ARE PRELIMINARY ONLY. A/C CONTRACTOR SHALL PROVIDE CALCULATIONS AND FINAL DESIGN. A/C CONTRACTOR SHALL SHOP SEPARATE FOR PRODUCT/MEASUREMENTS VERIFYING COMPATIBILITY AS REQUIRED. ANY CHANGES REQUIRED SHALL BE NOTIFIED BY ALL CHANGES PRIOR TO CONSTRUCTION.
2. FURNISHES SHALL HAVE PROOF OF TEST DATA.
3. FURNISHES INCLUDING WEIGHT CAPACITY SHALL BE SHOWN RELATED TO THE CAPACITY PROVIDED IN THE NUMBER CALCULATIONS.
4. USE 2x4x8x16x24 UNFINISHED JOIST BRIDGE FOR AIR DUCTS PER MECHANICAL DESIGN. THE WALL, FLOOR OR CEILING, SEPARATING A ROOMS IS A JOIST BRIDGE FROM A ROOM TO OCCUPANCY. MAKE THIS JOIST BRIDGE PERMANENTLY INSTALLED BY THE AIR DUCTS REFER TO THE UAC SECTION 503.04.
5. ALL HANG DOWNERS SHALL BE IN PLACE FOR FINAL INSTALLATION.
6. APPLIANCES ORDERED TO BE PROVIDED FOR OWNER SHALL BE INSTALLED IN PLACE (503.04.02).
7. SYSTEM TO BE IN CHANGING SPACE. LOCATION OF GRILLES AND DUCTS TO BE REVIEWED ON SITE BEFORE INSTALLATION. CONTRACTOR TO VERIFY LOCAL CODES WITH MECHANICAL DESIGNER.



② Mechanical 2nd Floor
SCALE: 1/8" = 1'-0"

S - A C

Salvador Carbajal
 Designer/Engineer
 717 W Olympic Blvd, Los Angeles CA, 90015
 760-870-6666
 salvador@scac.com

**42nd AVE
 RESIDENCE**

303 BR.
 42ND AVE, BERGADA CLINES,
 CA 90228
 PHONE
 760-870-6666

**MECHANICAL PLAN
 2nd FLOOR**

DATE
 BY
 CHECKED
 APPROVED
 TITLE

M2

OF 0000

PAGE BREAK



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



June 4, 2021

Mr. Robert Rodriguez, Planning Director
City of Cathedral City Planning Department
68-700 Avenida Lalo Guerrero
Cathedral City, CA 92234

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Manos
Lake Elsinore

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Morano Valley

Gary Youmans
Temecula

File No.: ZAP1095PS21
Related File No.: CUP20-025 (Conditional Use Permit)
APN: 677-213-067

Dear Mr. Rodriguez:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Cathedral City Case No. CUP20-025 (Conditional Use Permit), a proposal to construct a 3,669 square foot car wash tunnel on 0.75 acres located on the northwest corner of Vista Chino and Landau Boulevard.

STAFF

Director
Paul Rull

Simon Housman
Daniel Zarda
Barbara Santos

The site is located within Airport Compatibility Zone E of the Palm Springs International Airport Influence Area (ALA). Within Compatibility Zone E of the Palm Springs International Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 13R-31L at Palm Springs International Airport at its northerly terminus is approximately 474 feet above mean sea level (AMSL). At a distance of approximately 11,000 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top point exceeding 584.4 feet AMSL. The site's elevation is 425 feet AMSL, and the height of the tallest proposed building is 29 feet, resulting in a maximum top point elevation of 454 feet AMSL. Therefore, review by the FAA OES was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Palm Springs Airport Land Use Compatibility Plan, provided that the City of Cathedral City applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:

County Administration Center
4080 Lanyon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.aluc.org

AIRPORT LAND USE COMMISSION

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Any use which results in a hazard to flight, including physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
 4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

AIRPORT LAND USE COMMISSION

If you have any questions, please contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Quick Quack Car Wash Holdings, LLC, Efrain Corona (applicant)
CRM Architects & Planners, Inc., Brian Firenze (representative)
Bre Thorne Plaza Rio Vista, LLC, Brixmor Property Group (property owner)
Ulises Aguirre, Interim Airport Manager, Palm Springs International Airport
ALUC Case File

X:\AIRPORT CASE FILES\Palm Springs\ZAP1095PS21\ZAP1095PS21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

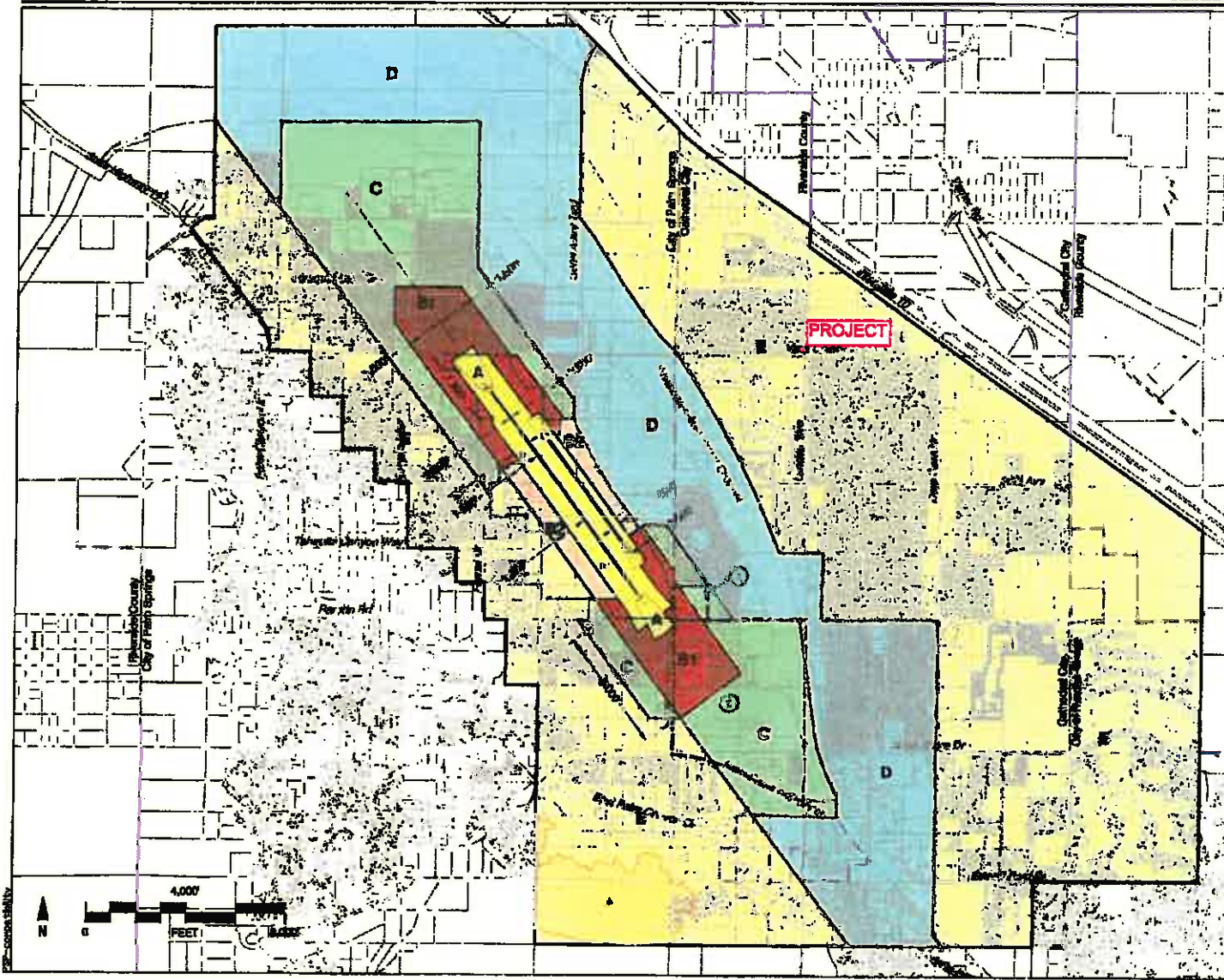
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits

- Notes**
- All dimensions measured from runway ends and centerlines.
 - DT = Displaced Threshold
 - See Chapter 2, Table 2A for compatibility criteria associated with this map.
 - See Policy PS.2.1.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted March 2005)

Map PS-1

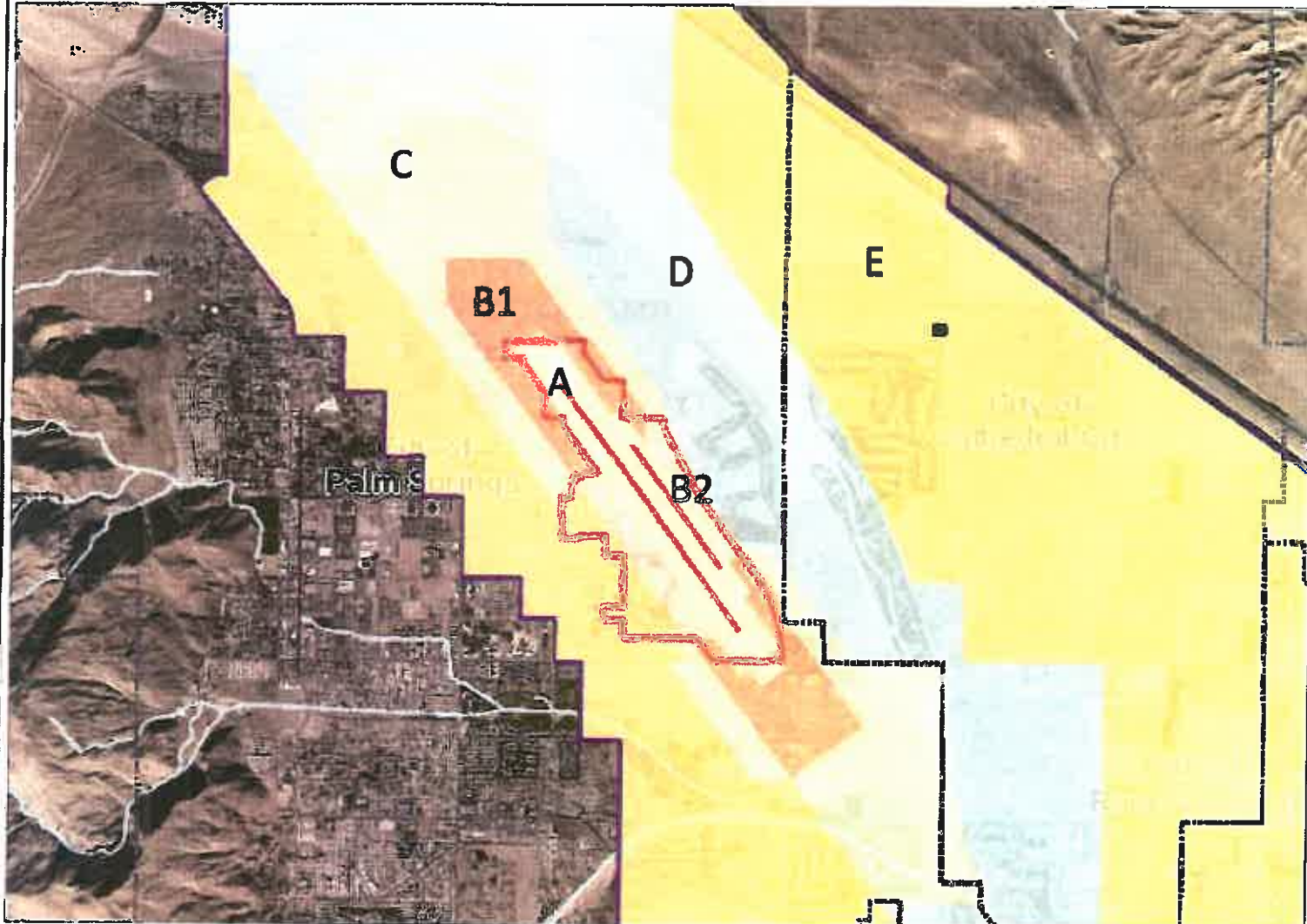
Compatibility Map
Palm Springs International Airport



Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

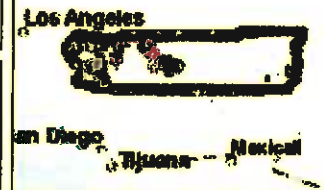


REPORT PRINTED ON... 6/4/2021 7:18:48 AM

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Notes

Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5



Notes



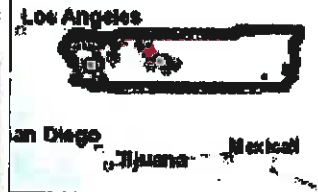
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Map My County Map



- Legend**
- Parcels
 - County Centerline Names
 - County Centerlines
 - Blueline Streams
 - City Areas
 - World Street Map

Notes



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Map My County Map

Los Angeles



San Diego

Tijuana

Mexico

Legend

Blue Line Streams

City Areas

World Street Map



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0 6 12,314 Feet

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Notes

Map My County Map



Legend

- County Centerline Names
- County Centerlines
- Blue-line Streams
- City Areas
- World Street Map



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Notes

Map My County Map



- Legend**
- Parcels
 - County Centerline Names
 - County Centerlines
 - Blue-line Streams
 - City Areas
 - World Street Map



Notes




0 385 770 Feet

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NEW CAR WASH FACILITY



67800 VISTA CHINO
CATHEDRAL CITY, CA. 92234
APN: 677-213-067
QUICK QUACK SITE ID. #3-013

CONTACT INFORMATION

APPLICANT: QUICK QUACK DEVELOPMENT II, LLC
ATTN: BRIAN COBURN
5550 LEGG HILL BLVD #250
ROSELAND, CA. 95068
916.346.2500
BFRANG@CENTRIVERDEV.COM

OWNER: BIRE THROUGH PLAZA #10 VISTA, LLC
C/O: BRUNYAK PROPERTY GROUP
450 LEONARDSON AVE. 10TH FLOOR
NEW YORK, NY 10021
312.864.8000

ARCHITECT: CRM ARCHITECTS
ATTN: MARK McILVAH
5800 STEVENSON BLANCH #200
ROSELAND, CA. 95068
916.346.1800
MARK@CRMARCHITECTS.COM

DRAWING INDEX

NO. DRAWING TITLE
A1.0 AERIAL SITE PLAN AND COVER SHEET
1 ALTA SURVEY
1 OF 1 PRELIMINARY GRADING PLAN
1 PRELIMINARY UTILITY PLAN
A2.0 OVERALL SITE PLAN
A2.1 SITE PLAN
A2.2 LANDSCAPE PLAN
A2.3 PHOTO-METRIC PLAN
A2.0 FLOOR PLAN
A2.1 ROOF PLAN
A2.2 BUILDING SECTIONS
A2.3 BUILDING SECTIONS
A2.4 CAR WASH EXTERIOR ELEVATIONS
A2.5 CAR WASH EXTERIOR ELEVATIONS
A2.6 ARCH ELEVATIONS
A2.7 PLASTER ELEVATIONS
A2.8 COLOR ELEVATIONS
A2.9 COLOR ELEVATIONS WITH VAGUM CANOPY
A2.0 PAINT CANOPY ELEVATIONS
A2.1 VAGUM CANOPY ELEVATIONS
A2.2 VAGUM CANOPY COLOR ELEVATIONS
A2.0 SITE ELEVATIONS
A2.1 ENLARGED SITE PLAN

PROJECT SUMMARY

THE PRO-BEST COMPONENTS OF BUT IS NOT LIMITED TO:
CONSTRUCTION OF:
NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO NEW CONCRETE PAVES, DRIVE ABLES CURBS, LANDSCAPING, VAGUM STATIONS, UTILITIES, AND ALL ASSOCIATED FEATURES, FURNISHINGS AND EQUIPMENT.

PROJECT DESCRIPTION

EXISTING ZONING:	PLANNED COMMUNITY COMMERCIAL
PROPOSED ZONING:	PLANNED COMMUNITY COMMERCIAL
APN:	677-213-067
SITE AREA:	52,892 +/- S.F.
SITE ACRES:	0.7571 +/- ACRES
EXISTING SHOPPING CENTER LANDSCAPE AREA TO BE REMOVED:	889 S.F.
NEW SHOPPING CENTER LANDSCAPE AREA TO BE INSTALLED:	785 S.F.
NEW LANDSCAPE AREA ON SITE:	4,105 S.F.
LANDSCAPE IN:	885
OFF-SITE LANDSCAPE AREA:	128 S.F.
QUICK QUACK CANOPY:	
VAGUM STALL PARKING:	9 STALLS
ADA PARKING:	1 STALL - VAGUM
TOTAL PARKING:	10 STALLS
PARKING STALLS:	9 PAVED
CARWASH BUILDING AREA:	3,844 S.F.
TOTAL PROPOSED CANOPY AREA:	2,728 S.F.
TOTAL PROPOSED ENCLOSURE AREA:	807 S.F.
TOTAL COVERED AREA:	6,004 S.F.
PART OF AREA OF WORK:	11 PARK
EXISTING CARWASH AREA:	3,844 S.F.
STORIES:	1 STORY
HEIGHT:	21'-0"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED PAINT CANOPY AREA:	1,828 S.F.
STORIES:	1 STORY
HEIGHT:	11'-4"
CONSTRUCTION TYPE:	VD
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED VAGUM CANOPY AREA:	1,106 S.F.
STORIES:	1 STORY
HEIGHT:	11'-4"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED VAGUM/TRASH ENCLOSURE AREA:	307 S.F.
STORIES:	1 STORY
HEIGHT:	11'-0"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	NA
SPRINKLERS:	NO



CRM Architects & Planners, Inc.



REVISIONS	DATE	DESCRIPTION
▲		
▲		
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QUICK QUACK CAR WASH
STORE #3-013
LAJOLLA BLVD
CATHEDRAL CITY, CA

COVER SHEET
AERIAL SITE PLAN

NO.	DATE	DESCRIPTION



CONSTRUCTION DOCUMENTS

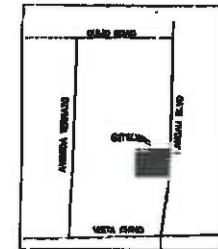
IN THE CITY OF CATHEDRAL CITY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

PRELIMINARY GRADING PLAN

QUICK QUACK 3-013 CATHEDRAL CITY

CASE NUMBER _____

LOCATION MAP



SITE DATA

GRADE POINTS: 107.0
 DATE OF PERFORMANCE: 10/15/10
 PROJECT PROPOSED AREA: 10,000 SQ FT (PLAN AC)
 PROJECT FINISHED AREA: 10,000 SQ FT (PLAN AC)
 DATE: 10/15/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number] OF [Total]

LEGEND

- LEASE LIMIT
- CIVIL LIMITS OF WORK
- ACQUISITION BOUNDARY
- GRADE BOUNDARY
- [Pattern] ASPHALT PAVEMENT TO MATCH EXISTING IN EXIST
- [Pattern] STANDARD DUTY CONCRETE PAVEMENT
- [Pattern] HEAVY DUTY ECONOMIC PAVEMENT
- [Pattern] LIGHT DUTY CONCRETE WALK
- [Pattern] LANDSCAPE/PLANTER AREA
- [Pattern] TERRAZZO COVER

PROJECT TEAM

ARCHITECT/DEVELOPER
 [Name]
 [Address]
 [City, State, Zip]
 [Phone]

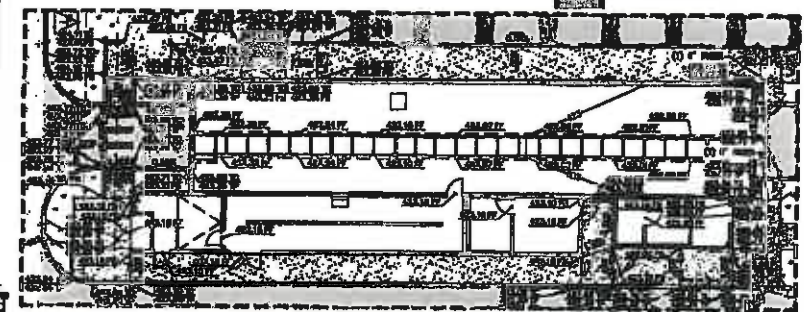
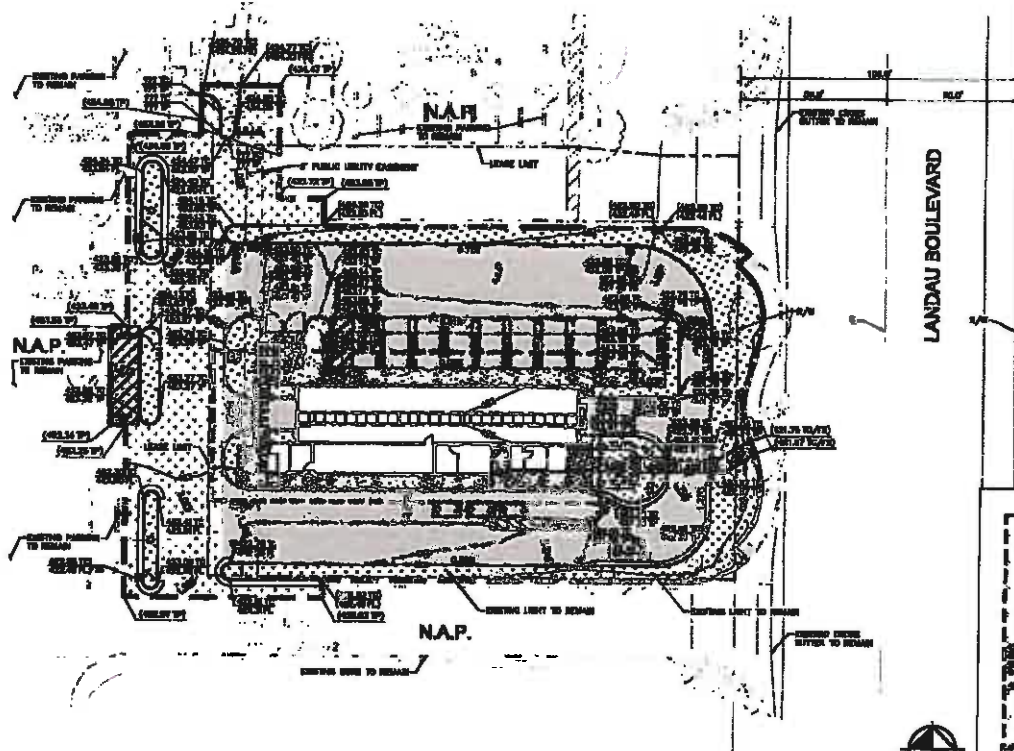
AGENCY
 THE ARCHITECTS & PLANNERS, INC.
 1000 EAST AVENUE, SUITE 100
 RIVERSIDE, CA 92501
 (951) 514-1000

CIVIL ENGINEER
 [Name], CIVIL, PE, LICENSE NO. [Number]
 [Address]
 [City, State, Zip]

LANDSCAPE ARCHITECT
 [Name], LANDSCAPE ARCHITECT, PLS.
 [Address]
 [City, State, Zip]

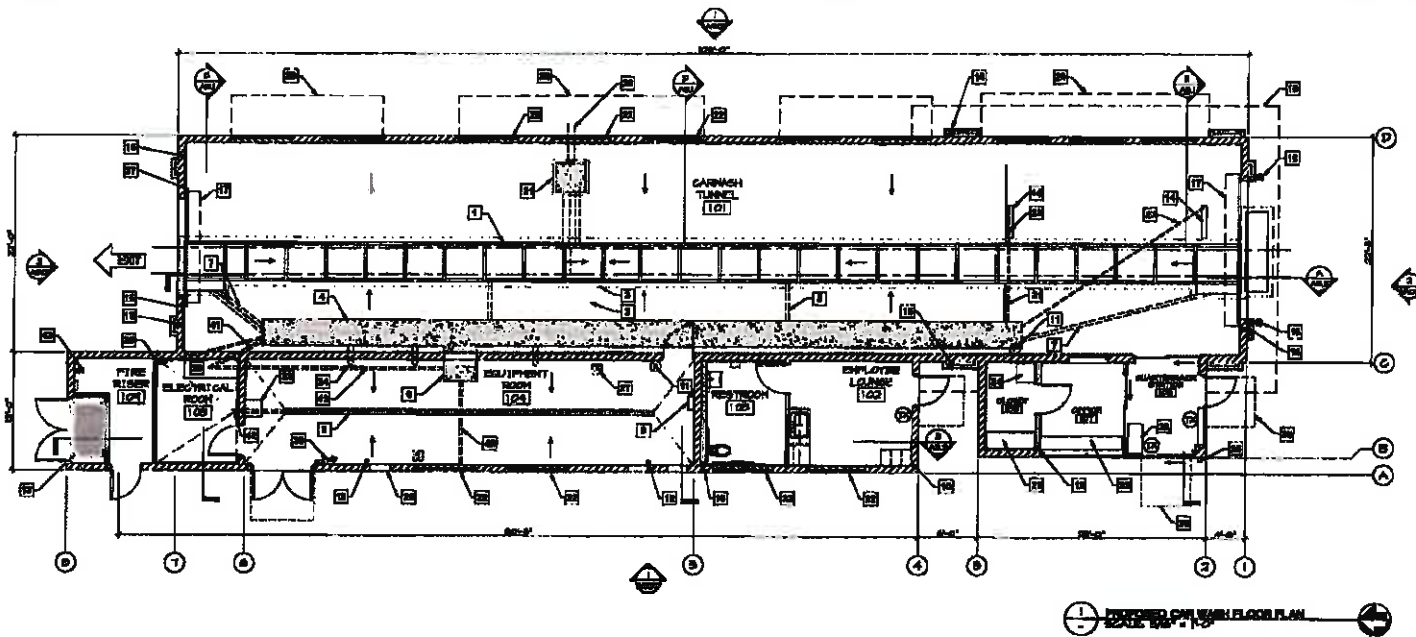
ESTIMATED EARTHWORK QUANTITIES

ESTIMATED EARTHWORK QUANTITIES
 (BASED ON PRELIMINARY GRADING PLAN)
 [Table with columns for Cut, Fill, etc.]



DETAIL 1

	[Professional Seal/Stamp]	[Table with columns: NO., DATE, DESCRIPTION, etc.]		Kimley-Horn [Address] [City, State, Zip]	CITY OF CATHEDRAL CITY DEPARTMENT OF PUBLIC WORKS APPROVED FOR TECHNICAL SERVICES	CITY OF CATHEDRAL CITY PRELIMINARY GRADING PLAN PLAN CASE NO. 3-013 CATHEDRAL CITY	SHEET 1 OF 1
					CITY OF CATHEDRAL CITY APPROVED FOR PUBLIC POWER		BY FILE NUMBER



1-10
QUICK-CLEAN CAR WASH FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NOTES

- 1 CONVEYOR TRUCKS SHALL BE AT 1/2" PER FOOT TO DRAIN.
- 2 1" PIPES FROM OVERHEAD TRUCKS TO CLEAN OUT PIT.
- 3 1" OVERHEAD PIPES FROM CONVEYOR TRUCKS TO CLEAN OUT PIT.
- 4 UTILITY TRUCK FLAPS BOTTOM TO DRAIN.
- 5 4" FLOOR DRAINS FROM UTILITY TRUCKS TO THE CONVEYOR TRUCK SPACED EQUALLY IN UTILITY TRUCK (TYPICAL 3 PLACES).
- 6 3'-0" DEEP X 1'-0" WIDE OPEN FOR ACCESS TO UTILITY TRUCKS, CONTRACTOR TO PROVIDE SERVICE - INCLUDE UTILITY TRUCK.
- 7 4" PIPES FROM END OF UTILITY TRUCK TO CONVEYOR TRUCK (TYPICAL 3 PLACES).
- 8 1" TRUCK DRAIN.
- 9 ROOF ACCESS LADDERS.
- 10 EMPLOYEE LOCKER, TYPICAL OF 8 - 1' DIA. PORTABLE CONTRACTOR SUPPLY AND INSTALLED.
- 11 WALL MOUNTED ENCLOSED FIRE EXTINGUISHER - 3A-10BC (TYPICAL 3 PLACES).
- 12 ROOF DRAIN LINDERS (TYPICAL 6 PLACES).
- 13 PLUMBING REMOVE EXISTING.
- 14 3'-0" DEEP X 1'-0" WIDE X 1'-0" LONG HATCH IN SLAB FOR THE ABOVE PIT (TYPICAL 3 PLACES).
- 15 NOT USED.
- 16 ROSS 800 IN RIBBED GEAR COVERED WITH LOCKABLE DOOR AT ROSSMAN LOCATIONS (TYPICAL 6 PLACES).
- 17 COLLING ROLL-UP DOOR (TYPICAL 2 PLACES).
- 18 4" CONCRETE FILLED PIPES BELLING AT SERVICE (TYPICAL 11 PLACES).
- 19 LIND OF ROOF DRAIN.
- 20 WALL MOUNTED CASSETT ABOVE (TYPICAL 4 PLACES).
- 21 3'-0" X 3'-0" RECLAMP ELEVATOR.
- 22 PANEL HATCHER - SEE EXTERIOR ELEVATIONS.
- 23 1/2" GASKET AT END OF ROSSMAN TO UTILITY TRUCK FOR THE INITIAL REPORT TO 800 PIPES CONVEYOR TRUCK (TYPICAL 2 PLACES).
- 24 WALL MOUNTED TV CABINET.

- 25 BRICK BACK - CONCRETE TO SCHEDULES PER LOCAL PER DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION.
- 26 30" HIGH X 18" HIGH AIR VENT - SEE EXTERIOR ELEVATION (TYP. 4 PLACES).
- 27 18" X 18" X 1/2" DEEP FLOOR DRIP PLATE 1/4" AS CLOSE TO WALL AS POSSIBLE STUDY REQUIREMENTS FOR FOOTING (TYPICAL 3 PLACES).
- 28 CONTRACTOR FURNISH AND INSTALL 20" X 18" X 1/2" TALL STORAGE CABINET WITH ADJUSTABLE SHELVING AND FOLD RELEASE FROM ON THE INSIDE AND FROM OUTSIDE.
- 29 1/2" GASKET TO UTILITY TRUCKS VERGE AS CONTRACTOR.
- 30 LEVEL LADDERS PER ONE 18"-24" DIA AND TABLE (SCHEDULE) (TYP. 3) 3/4" DIA BRIDGE GIRDERS ALIGNED FOR THE DOORWAY DOOR LADDERS.
- 31 3/4" X 1/2" DEEP HATCH IN SLAB FOR DRAINAGE SLOPE EACH SIDE TO CONVEYOR TRUCK.
- 32 CONTRACTOR SUPPLY AND INSTALL ONE WASH GUN.
- 33 3/4" HATCHER APP. UNDER TRUCK.
- 34 3/4" GASKET FROM UTILITY TRUCKS TO BRACKET IRON (TYPICAL 4 PLACES) VERIFY WITH GREEN PIPE HATCH LOCATION.
- 35 CONTRACTOR FURNISH AND INSTALL 18" X 18" X 1/2" TALL PER GASKET.
- 36 3'-0" X 3'-0" X 1/2" TALL CONCRETE HATCH CLEANING PUMP FOR HOSE PANEL.
- 37 3/4" X 1/2" DEEP HATCH IN SLAB FOR DRAINAGE FLAPS EACH SIDE TO CONVEYOR TRUCK, INTERIOR 1'-0" FROM END DRAIN.
- 38 1" PIPES FROM CLEAN OUT PIT TO BRIDGE INTERSECTION PLACEMENT.
- 39 1" VFD DRIVE TO 800. HATCH CONTROL PANEL.
- 40 3" GASKET FROM ACCESS OPENING TO FACE OF WALL.
- 41 2 - 1" GASKET AT CORNER OF HOSE PANEL, HOSE COVERING PUMP FOR ONE GASKET TO BRIDGE TRUCK AND ONE NEXT TO ACCESS OPENING.
- 42 4" FLOOR DRAIN - CONNECT TO TRUCK DRAIN.
- 43 FIVE POWER - PER PER DEPARTMENT REQUIREMENTS.

NOTE:
 ALL DIMENSIONS TO HAVE OWNER'S SEAL, TO REMOVE CONTRACTOR'S SEALS AND NOT ALLOWED.



REVISIONS
 1 DATE DESCRIPTION

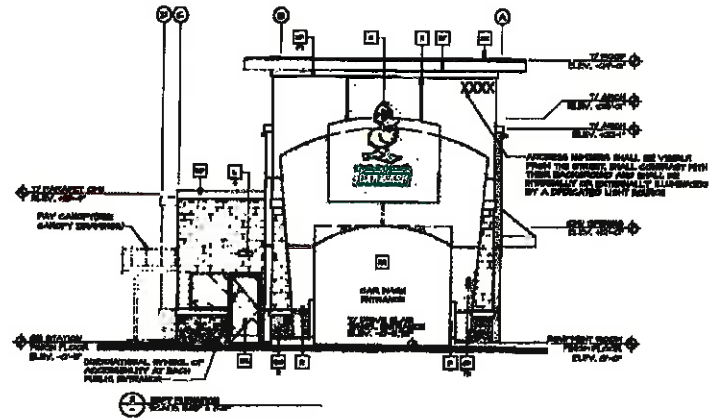
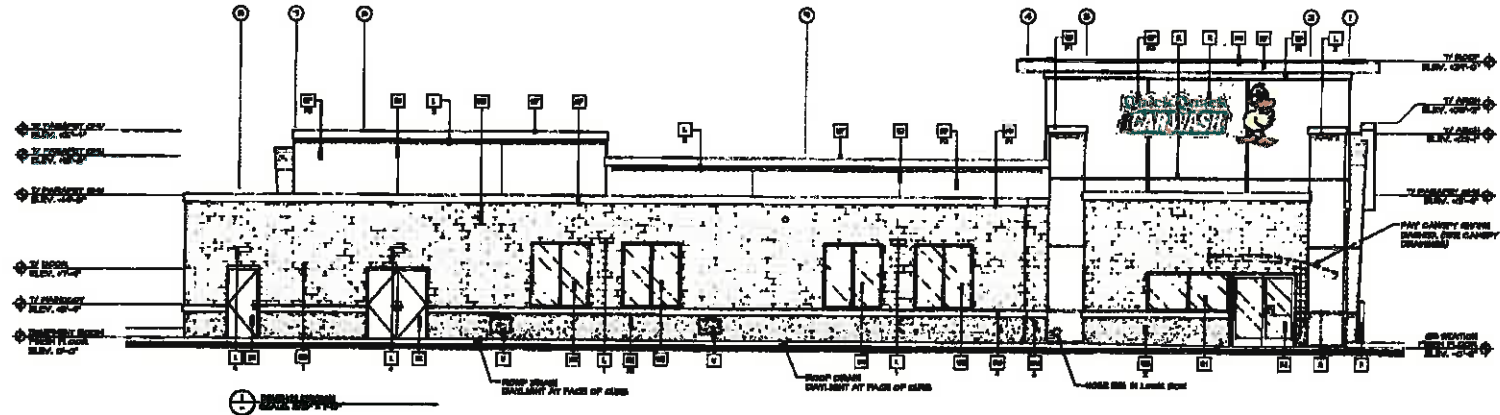
QUICK-CLEAN CAR WASH
 3000 S. 15th
 LACROSSE, WI
 CATHLAMET, WA, US

FLOOR PLAN



CONTRACTOR EXCLUSIVE

A3.0



NOTES:

- 1 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 2 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 3 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.

- 4 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 5 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 6 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
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- 8 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 9 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
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- 11 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
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- 13 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
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- 15 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
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- 17 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 18 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.

- 19 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 20 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 21 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.
- 22 FINISHES SHALL MATCH INTERIOR FINISHES EXCEPT WHERE SHOWN OTHERWISE.

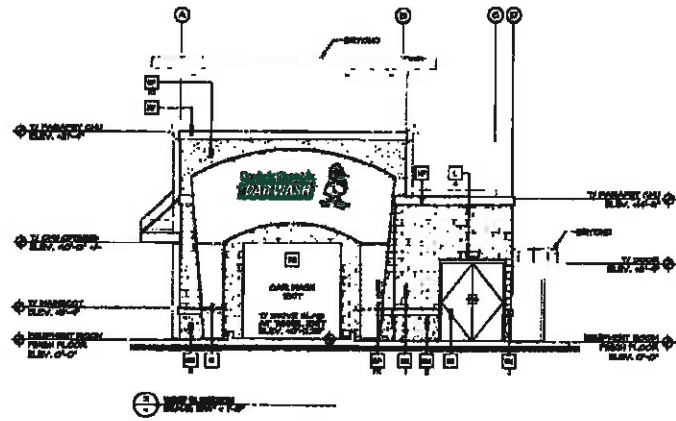
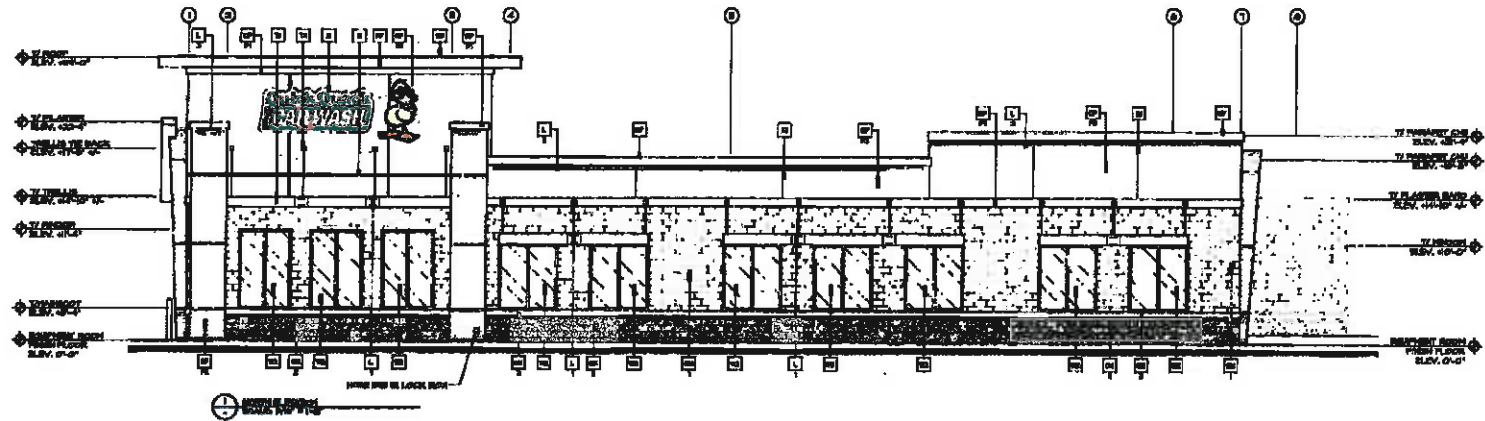


QUICK WASH CAR WASH
 1234 MAIN STREET
 CHARLOTTE, NC 28202

EXTERIOR ELEVATION



CONSTRUCTION DOCUMENT



NEW NOTES:

- 1 ANGLE IRON BLOCK BRACKET HOLLOW SPACE SUPPORTS EXISTING SIGN - ORIGINAL COLOR MAINTAIN AWAY. SET IN EXISTING FACILITY "BACKLAP" JOINTS. REINSTALL ANGLE IRON TO HAVE "SHIMMED" FOR VERTICAL ADJUSTMENT. MAINTAIN COLOR TO MATCH.
- 2 ANGLE IRON BLOCK BRACKET HOLLOW SPACE SUPPORTS EXISTING SIGN - ORIGINAL COLOR MAINTAIN AWAY. SET IN EXISTING FACILITY "BACKLAP" JOINTS. REINSTALL ANGLE IRON TO HAVE "SHIMMED" FOR VERTICAL ADJUSTMENT. MAINTAIN COLOR TO MATCH.
- 3 ANGLE IRON BLOCK BRACKET HOLLOW SPACE SUPPORTS EXISTING SIGN - ORIGINAL COLOR MAINTAIN AWAY. SET IN EXISTING FACILITY "BACKLAP" JOINTS. REINSTALL ANGLE IRON TO HAVE "SHIMMED" FOR VERTICAL ADJUSTMENT. MAINTAIN COLOR TO MATCH.

- 4 ANGLE IRON PLASTER COLOR CURT COLOR RECONSTRUCTION.
 - 11 = MATCH EXISTING PELLING "BACKLAP" JOINTS
 - 12 = MATCH EXISTING PELLING "BACKLAP" JOINTS
 - 13 = MATCH EXISTING PELLING "BACKLAP" JOINTS
- 5 PELLING METAL CURT - PAINT TO MATCH EXISTING PELLING "BACKLAP" JOINTS
- 6 OVERHEAD METAL DOOR - PAINT TO MATCH EXISTING PELLING "BACKLAP" JOINTS
- 7 CLEAR ANODIZED ALUMINUM OPERATIONAL BRACK BRACKET "GLASS" JOINTS

- 8 TRUSS HALL GANTRY BOLLINGER AND BOLLINGER, PAINT TO MATCH ADJACENT SURFACE
- 9 1/2" PIP REEF REVEAL EXPANSION JOINT
- 10 LIGHT FIXTURE TYPE:
 - L1 = LED BANAL WALL (ROUND BRACK ONLY)
 - L2 = LED BANAL WALL (RECT BRACK ONLY)
 - L3 = 2 FOOT AND PLASTER LOW BRACK ONLY
 - L4 = WALL PACK (BRACK ONLY)

- 11 METAL BANJA - PAINT TO MATCH EXISTING PELLING "BACKLAP" JOINTS
- 12 1/2" PIP REEF BOLLINGER FILLED WITH GRANITE - MATCH EXISTING PELLING "BACKLAP" JOINTS
- 13 1/2" PIP REEF CLEAR ANODIZED ALUMINUM LANTERN BRACK
- 14 METAL BRACK FRAMA - MATCH EXISTING PELLING "BACKLAP" JOINTS
- 15 PVC REEF OVERFLOW BRACK - PAINT TO MATCH ADJACENT FIRM
- 16 BRACK BY SYSTEMS INCORPORATED - PVC COATING, 1/2" THICK BRACK, 1/2" DIA GLASS ANGLE ALUMINUM BRACK

- 17 REINFORC BRACK METAL BRACK PERFORMED - "BACKLAP" JOINTS
- 18 METAL HALL GANTRY SYSTEM - COLOR TO MATCH EXISTING PELLING "BACKLAP" JOINTS
- 19 HALL GANTRY TRUSS SYSTEM - COLOR TO MATCH EXISTING PELLING "BACKLAP" JOINTS
- 20 1/2" PIP REEF 1/2" DIA VERT - PAINT TO MATCH ADJACENT FIRM
- 21 EXISTING BRACK ASSEMBLY - TRUSS BRACK GLASS ANGLE ALUMINUM BRACK
- 22 EXISTING BRACK ASSEMBLY - METAL BRACK GLASS ANGLE ALUMINUM BRACK

CONTACT SYSTEMS INCORPORATED FOR BRACK LIGHTING FOR EXISTING LIGHTS. (NO BRACKING)

QUICK CAR WASH
 1000 S. 10TH ST.
 CARROLL CITY, TX 75006

Quick Car Wash
 CAR WASH

REVISIONS
 1 DATE: 08/01/00

REVISION
 ELEVATIONS

A4:1



**AIRPORT LAND USE COMMISSION MEETING
MINUTES
June 10, 2021**

DRAFT

6-17-21

COMMISSIONERS PRESENT LIVE: Arthur Butler, Richard Stewart, John Lyon, Steven Stewart

COMMISSIONERS PRESENT REMOTELY: Russell Betts, Steve Manos, Gary Youmans

COMMISSIONERS ABSENT: None

2.0 PUBLIC HEARING: CONTINUED ITEMS

NONE

3.0 PUBLIC HEARING: NEW CASES

3.1 Staff report recommended: **CONSISTENT**
Staff recommended at hearing: **CONSISTENT**
ALUC Commission Action: **CONSISTENT (Vote 7-0)**

ZAP1065HR21 – City of Hemet – City of Hemet Case No. ZC21-001 (Change of Zone). A proposal to change the zoning of 65.18 gross acres located southerly of Stetson Avenue, westerly of Warren Road, and easterly of the California Aqueduct, from Heavy Agriculture (A-2) to General Manufacturing (M-2) (Airport Compatibility Zones B1 and C of the Hemet-Ryan Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Motion: John Lyon
Second: Steve Manos

3.2 Staff report recommended: **CONSISTENT**
Staff recommended at hearing: **CONSISTENT**
ALUC Commission Action: **CONSISTENT (Vote 7-0)**

ZAP1030CH21 – Schneider REA (Representative: GK Pierce Architects, Inc.) – City of Chino Case Nos. PLN19-20000 (General Plan Amendment, Change of Zone, Major Development Review, Conditional Use Permit, Tentative Parcel Map), PLN21-20016 (Conditional Use Permit), PLN21-20017 (Conditional Use Permit). A proposal to develop a commercial center on 3.02 gross acres including a 3,700 square foot convenience store gas station with 10 fueling pump stations, a 4,456 square foot restaurant with drive-thru, and a 3,500 square foot restaurant building, located on the northwest corner of Archibald Avenue and Chandler Street. The applicant also proposes to amend the site's General Plan land use designation from Low Density Residential to Commercial Retail, and change the sites zoning from Light Agriculture to General Commercial. The applicant also proposes a tentative parcel map to divide the site into 3 commercial parcels (Airport Compatibility Zone D of the Chino Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

VIDEO:

1

A video recording of the entire proceedings is available on the ALUC website at www.rcaluc.org. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org

**AIRPORT LAND USE COMMISSION MEETING
MINUTES
June 10, 2021**

3.3 Staff report recommended: **CONSISTENT** **ZAP1466MA21 – Lake Creek Industrial LLC (Representative: Christine Saunders)** – County of Riverside Case No. PPT210021 (Plot Plan), a proposal to construct a truck trailer storage and maintenance facility including a 16,200 square foot maintenance building with mezzanine on 7.36 acres located northerly of Orange Avenue, easterly of Tobacco Road, southerly of Water Street, and westerly of Harvill avenue. (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff recommended at hearing: **CONSISTENT**

ALUC Commission Action: **CONSISTENT (Vote 7-0)**

**Motion: Richard Stewart
Second: Art Butler**

3.4 Staff report recommended: **CONDITIONALLY CONSISTENT** **ZAP1470MA21 – Dedeaux Properties (Representative: EPD Solutions)** – County of Riverside Case Nos. PPT210022 (Plot Plan), TPM38147 (Tentative Parcel Map). A proposal to construct two industrial warehouse buildings totaling 98,940 square feet on 9.8 acres located northerly of Perry Street, easterly of Beck Street, southerly of Markham Street, and westerly of Seaton Avenue. The applicant also proposes to divide the site into two industrial lots. (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff recommended at hearing: **CONDITIONALLY CONSISTENT**, subject to the conditions included herein, and such conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service

ALUC Commission Action: **CONDITIONALLY CONSISTENT**, subject to the conditions included herein, and such conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service. (Vote 7-0)

**Motion: Russell Betts
Second: Steve Manos**

3.5 Staff report recommended: **CONTINUE to 7-8-21** **ZAP1469MA21 – Phelan Development Company (Representative: EPD Solutions)** – City of Moreno Valley Case No. PEN21-0031 (Plot Plan). A proposal to construct six industrial warehouse buildings totaling 197,401 square feet on 11.46 acres, located northerly of Alessandro Boulevard, easterly of Old 215 Frontage Road, southerly of Bay Avenue, and westerly of Day Street (Airport Compatibility Zones B1-APZ-II and C1 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff recommended at hearing: **CONTINUE to 7-8-21**

ALUC Commission Action: **CONTINUE to 7-8-21 (Vote 7-0)**

**Motion: Richard Stewart
Second: Art Butler**

VIDEO:

A video recording of the entire proceedings is available on the ALUC website at www.rcaluc.org. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org

**AIRPORT LAND USE COMMISSION MEETING
MINUTES
June 10, 2021**

4.0 PUBLIC HEARING: MISCELLANEOUS ITEMS

None

5.0 ADMINISTRATIVE ITEMS

5.1 Director's Approvals – Information only

5.2 Update March Air Reserve Base Compatibility Use Study (CUS)

Simon Housman, Project Director of the March (CUS) informed the Commission that the consultant has been hired and we are currently in the process of arranging the first policy committee meeting tentatively scheduled for June 17.

6.0 APPROVAL OF MINUTES

Commissioner John Lyon motioned to approve the May 13, 2021 and May 26, 2021 minutes. Seconded by Richard Stewart. (Vote 7-0)

7.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

None

8.0 COMMISSIONER'S COMMENTS

Commissioner Richard Stewart commented that he is pleased that staff is working with the applicant in agreeing and complying with the Air Force DOD instructions regarding intensity limitations.

9.0 ADJOURNMENT

Steven Stewart, Chair adjourned the meeting at 10:16 a.m.

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VIDEO:

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