

AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administrative Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside, California

Thursday 9:30 A.M., March 14, 2019

CHAIR
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Lake Elsinore

VICE CHAIR
Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

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John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St, 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14th Floor, Riverside, CA 92501 during normal business hours.

Live Streaming of the meeting will be available during the meeting on our website at www.rcaluc.org.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at basantos@rivco.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 INTRODUCTIONS

1.1 CALL TO ORDER

1.2 SALUTE TO FLAG

1.3 ROLL CALL

2.0 PUBLIC HEARING: CONTINUED ITEMS

None

3.0 PUBLIC HEARING: NEW ITEMS

BANNING AIRPORT

- 3.1 ZAP1033BA19 – Southern California West Coast Electric/Andy Birchard (Representative: Shawn Lathrom) – City of Banning Case No. GPA18-2503 (General Plan Amendment) and ZC18-3502 (Zone Change).** A proposal to amend the City of Banning General Plan land use designation and zoning on 5.14 acres located northerly of Lincoln Street, easterly of 8th Street, westerly of 4th Street, and southerly of the Union Pacific Railroad and Interstate 10, from General Commercial to Industrial (Airport Compatibility Zone D of the Banning Municipal Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

MARCH AIR RESERVE BASE

- 3.2 ZAP1351MA19 – First Industrial Realty Trust (Representative: Thienes Engineering) – City of Moreno Valley Case No. PEN18-0259 (Plot Plan). A proposal to construct a 221,859 square foot industrial warehouse building with second floor mezzanine on 9.7 acres located southerly of Nandina Avenue, northerly of Grover View Road, easterly of Indian Street, and westerly of Perris Boulevard (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

- 3.3 ZAP1344MA18 – Meridian Park K-4, LLC (Representative: Jeff Gordon) – March Joint Powers Authority Case Nos. GPA18-02 (General Plan Amendment), CZ18-01 (Change of Zone), PP18-04 (Plot Plan). A proposal to construct a 718,000 square foot industrial warehouse building on 35.6 acres located southerly of Cactus Avenue, northerly of the March Air Reserve Base, easterly of the southerly terminus of Elsworth Street, and westerly of the southerly terminus of Joy Street. The applicant also proposes amending the site's General Plan Land use designation from Business Park to Industrial and establishing Industrial zoning on the site (no previous zoning). (Airport Compatibility Zones C1 and D of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT (GPA, CZ); CONDITIONALLY CONSISTENT (Plot Plan)

RIVERSIDE MUNICIPAL AIRPORT

- 3.4 ZAP1096RI19 – Passco Pacifica, LLC, (Representative: EPD Solutions, Inc.) – City of Riverside Case Nos. P18-0970 (General Plan Amendment), P18-0971 (Rezone), P18-0972 (Tract Map), P18-0973 (Planned Residential Development), P18-0974 (Design Review), P18-0975 (Variance). The applicant proposes the following entitlements to facilitate the development of a Planned Residential Development of 56 single family residential lots on 7.07 acres located southerly of Jurupa Avenue, easterly of Tyler Street, westerly of Idyllwild Lane, and northerly of Mandalay Court: 1) a General Plan Amendment to change the site's General Plan land use designation from Commercial (C) to Medium Density Residential (MDR); 2) a Zoning Code Amendment to change the site's zone from Commercial Retail Zone (CR) to Single-Family Residential Zone and Building Stories Overlay Zone (R-1-7000-S-3); 3) a Tentative Tract Map No. 37626 to divide the site's 7.07 acres into 56 single-family residential lots, 14 open space lots, and 11 lettered lots for street purposes; 4) a Planned Residential Development for the establishment of detached single-family dwellings, private streets and common open space; 5) Design Review of project plans; and 6) a Variance to allow a reduced perimeter landscape setback. (Airport Compatibility Zone C of the Riverside Municipal Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: INCONSISTENT

4.0 ADMINISTRATIVE ITEMS

4.1 Director's Approvals

4.2 Overflight Brochures (Riverside Municipal Airport and Perris Valley Airport)

4.3 Economic Development Agency Airports Video Presentation

5.0 APPROVAL OF MINUTES

February 14, 2019

6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

7.0 COMMISSIONER'S COMMENTS

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**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.1

HEARING DATE: March 14, 2019

CASE NUMBER: ZAP1033BA19 – Southern California West Coast Electric/Andy Birchard (Representative: Shawn Lathrom)

APPROVING JURISDICTION: City of Banning

JURISDICTION CASE NOS: GPA18-2503 (General Plan Amendment), ZC18-3502 (Zone Change)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2004 Banning Municipal Airport Land Use Compatibility Plan, as amended in 2016.

PROJECT DESCRIPTION: The applicant proposes to amend the City of Banning General Plan land use designation and zoning on 5.14 acres from General Commercial to Industrial. No development is proposed at this time.

PROJECT LOCATION: The site is located northerly of Lincoln Street, easterly of 8th Street, westerly of 4th Street, and southerly of the Union Pacific Railroad and Interstate 10, in the City of Banning, approximately 7,430 feet westerly of the westerly terminus of Runway 8-26 at Banning Municipal Airport.

LAND USE PLAN: 2004 Banning Municipal Airport Land Use Compatibility Plan, as amended in 2016

- a. Airport Influence Area: Banning Municipal Airport
- b. Land Use Policy: Airport Compatibility Zone D
- c. Noise Levels: 55-60 CNEL

BACKGROUND:

Non-Residential Intensity: The site is located in Airport Compatibility Zone D of the Banning Municipal Airport Influence Area, which restricts non-residential intensity under the recently adopted 2016 Amendment, to an average of 200 people per acre and a maximum of 800 people in any given single-acre area. No new development is proposed at this time. There is an existing Banning Recycling business and abandoned building onsite.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D (children's schools, libraries, hospitals, nursing homes, highly noise-sensitive outdoor nonresidential uses, and hazards to flight) for this site

Noise: The Banning Municipal Airport Land Use Compatibility Plan depicts the site as being located in the 55-60 CNEL contour range from aircraft noise. No development is proposed at this time, and therefore, no special noise attenuation measures are required.

Part 77: The elevation of Runway 8-26 at its westerly terminus is 2,212 feet above mean sea level (2212 AMSL). At a distance of approximately 7,430 feet from the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 2,286.3 feet AMSL. Elevations on the site range from 2,336 to 2,352 feet AMSL. No new development is proposed at this time; therefore, review of this proposal by the FAA OES is not required. However, any new structures at this site will require FAA OES notice and review.

Open Area: Compatibility Zone D requires 10% of land area within major projects (10 acres or larger) be set aside as open area that could potentially serve as emergency landing areas. Based on the site area of 5.14 acres, open area is not required.

General Plan Amendment/Zone Change: The proposed Industrial General Plan designation and zoning would be as, or more, consistent with the Compatibility Plan than the existing designation and zoning.

NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Banning Planning Department will hold hearings on this item and should be contacted on non-ALUC issues. For more information please contact City of Banning Planner Ms. Sonia Pierce at (951) 922-3152.

The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, February 18, and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
 4080 Lemon Street, 1st Floor Board Chambers
 Riverside California

DATE OF HEARING: March 14, 2019

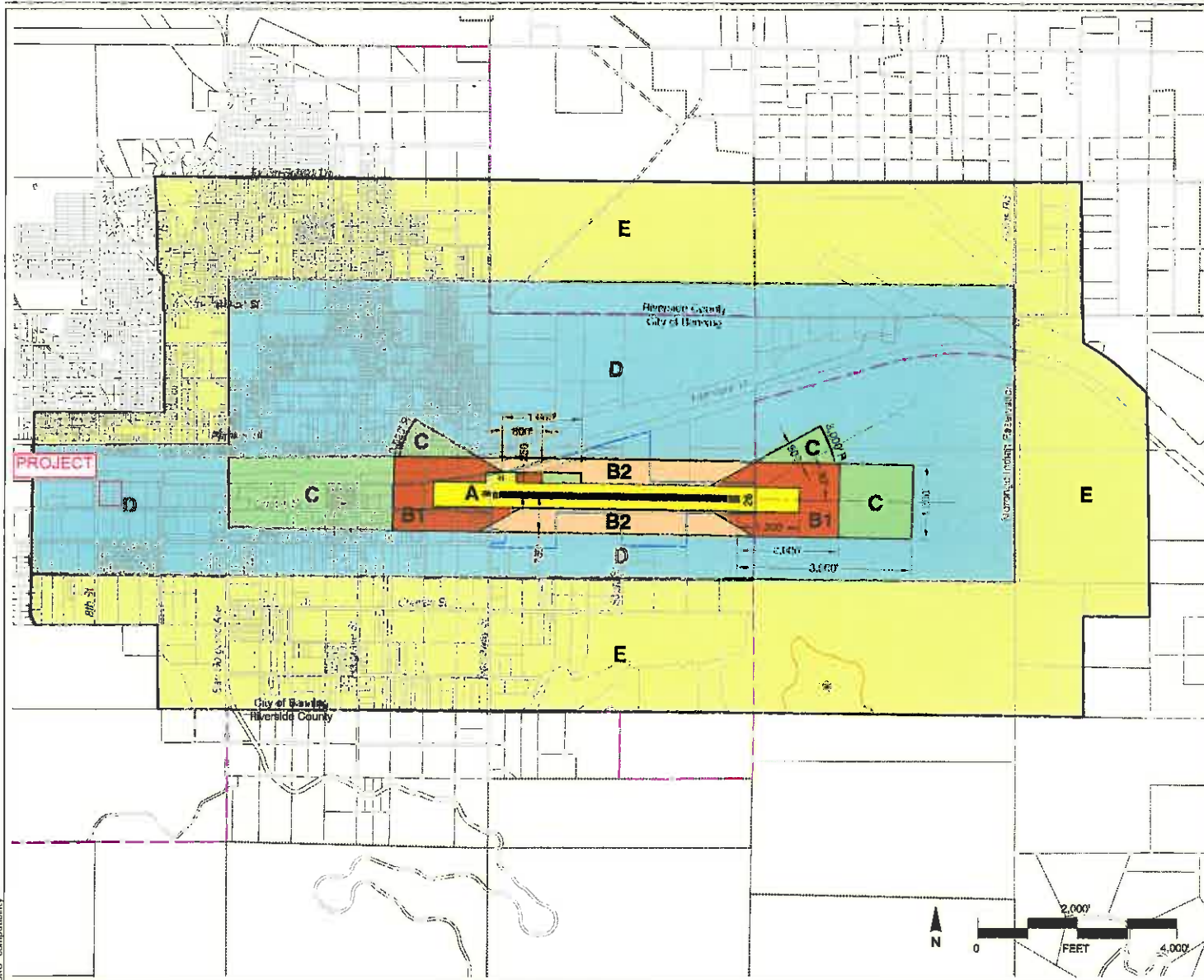
TIME OF HEARING: 9:30 A.M.

CASE DESCRIPTION:

ZAP1033BA19 – Southern California West Coast Electric/Andy Birchard (Representative: Shawn Lathrom) – City of Banning Case No. GPA18-2503 (General Plan Amendment) and ZC18-3502 (Zone Change). A proposal to amend the City of Banning General Plan land use designation and zoning on 5.14 acres located northerly of Lincoln Street, easterly of 8th Street, westerly of 4th Street, and southerly of the Union Pacific Railroad and Interstate 10, from General Commercial to Industrial (Airport Compatibility Zone D of the Banning Municipal Airport Influence Area).

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits
- Morongo Indian Reservation

Note

Dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

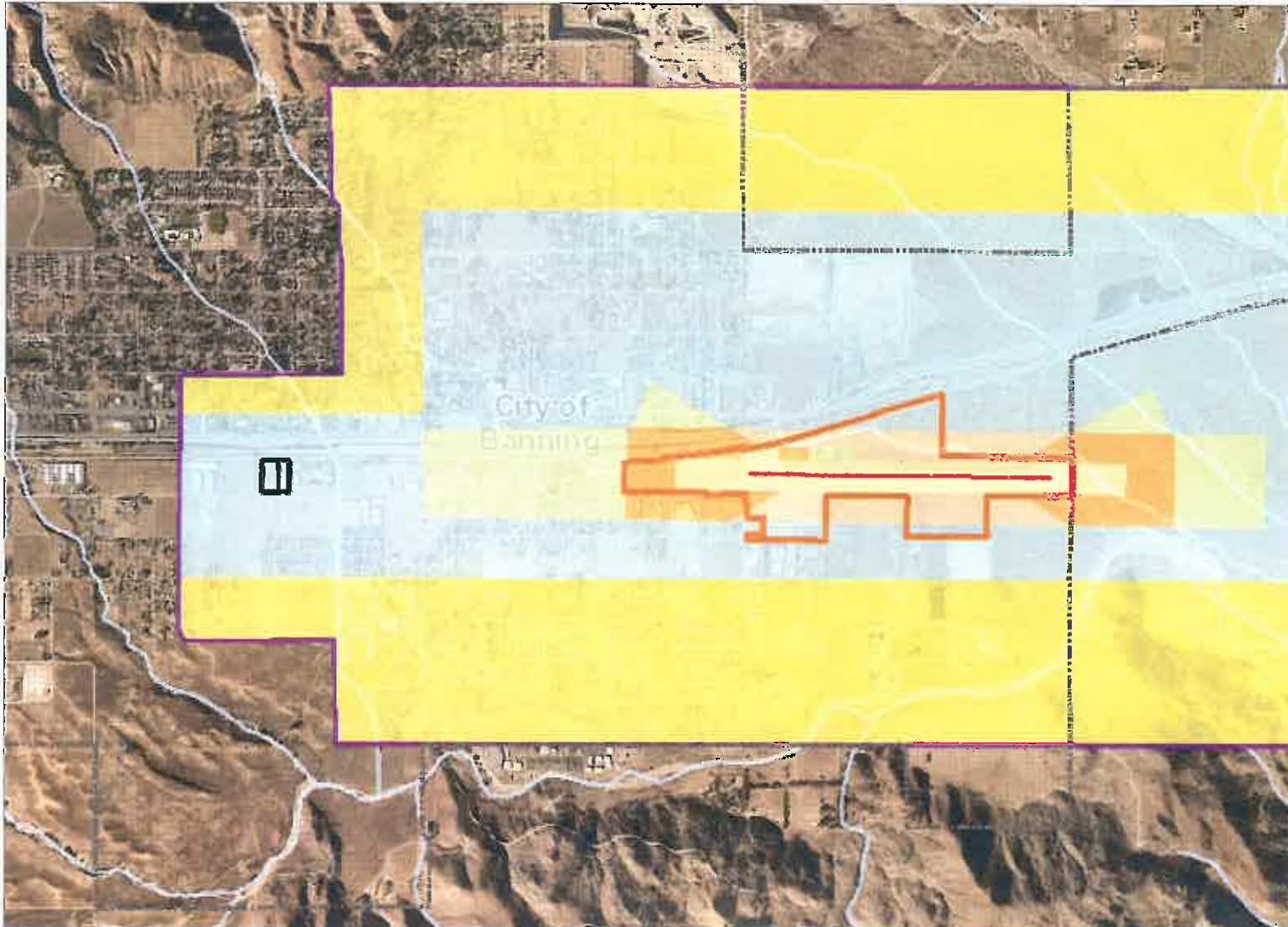
Riverside County
 Airport Land Use Commission
**Riverside County
 Airport Land Use Compatibility Plan
 Policy Document**
 (Adopted October 2004)

Map BN-1

Compatibility Map
 Banning Municipal Airport

Map My County Map

Los Angeles



Legend

- Runways
- ✈ Airports
- Airport Influence Areas
- Airport Compatibility Zones
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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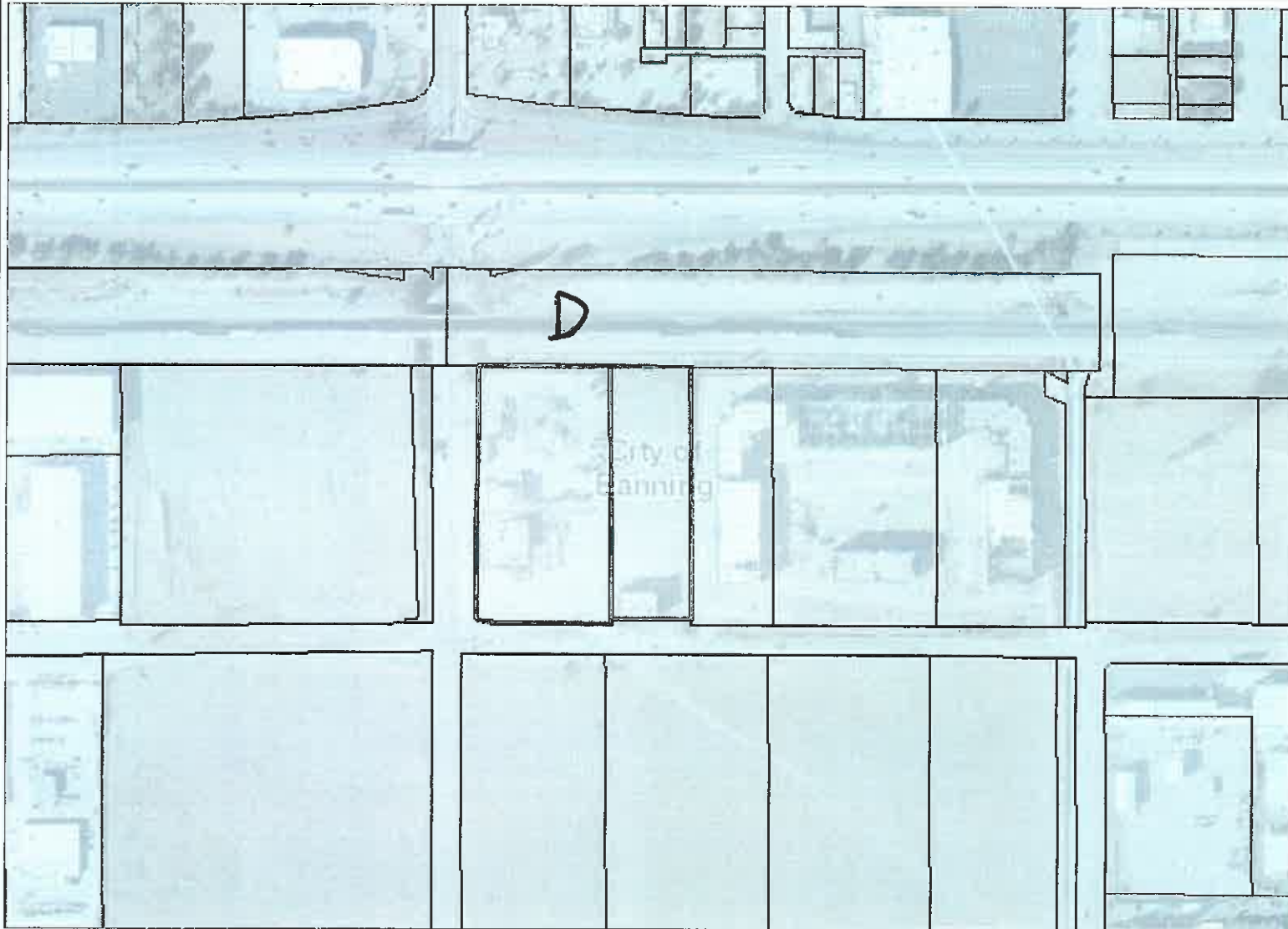
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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas

Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-RIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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Notes

Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map

Notes



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Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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Notes

Map My County Map



Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map

Notes



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Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - Airport Influence Areas
 - Blueline Streams
 - City Areas
 - World Street Map

City of
Banning



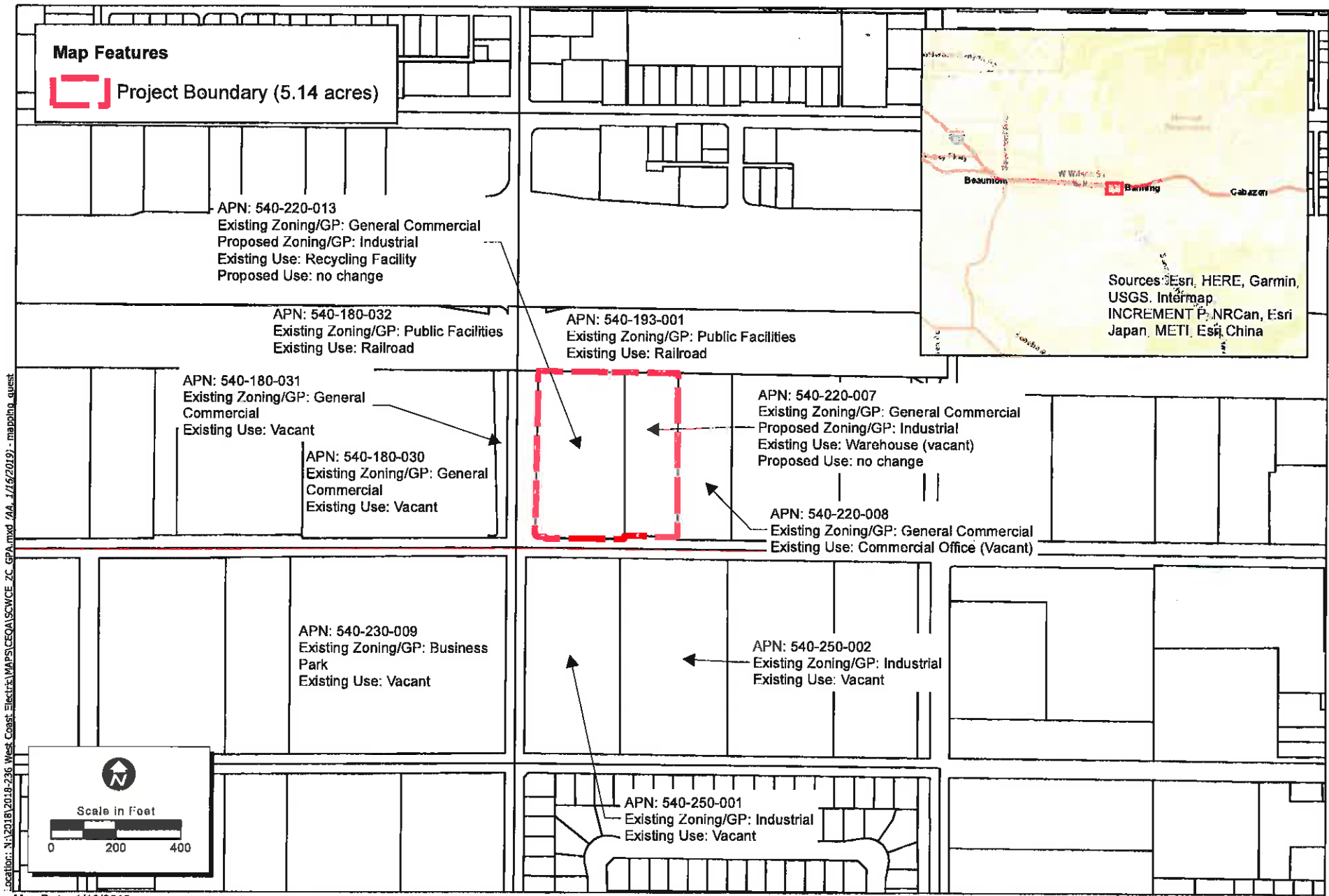
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Notes



Location: N:\2018\2018-236 West Coast Electric\MAPS\CEQA\SOURCE ZC GPA.mxd (AA_1/16/2019) - mapping_quest

Map Date: 1/16/2019

Zone Change/General Plan Amendment Exhibit

1.0 PROJECT DESCRIPTION

This project description has been prepared as part of the land use application for a proposed Zone Change and General Plan Amendment for two parcels (APN: 540-220-013 and 540-220-007) in the City of Banning.

1.1 Project Location

APN: 540-220-013 and 540-220-007, on the northeast corner of 8th Street and Lincoln Street in the City of Banning.

1.2 Project Description

The Proposed Project proposes a General Plan Amendment and Zone Change for two parcels (APN 540-220-013 and 540-220-007) on the northeast corner of 8th Street and Lincoln Street in the City of Banning. There are two existing metal structures on parcel 540-220-013; approximately two (2) acres of the 3.23-acre site is being used by an existing recycling facility (a nonconforming use). There is a vacant concrete block warehouse-type building on parcel 540-220-007. The proposal is to change the land use designations for both parcels from General Commercial to Industrial. Both parcels were originally designated as Industrial but were changed to Commercial during the last General Plan update in 2006. The proposal is to change the land use designations for both parcels from General Commercial to Industrial so that the existing recycling operation on 540-220-013 is no longer a non-conforming land use. Any future development on the parcels will be processed under separate application.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1033BA19 DATE SUBMITTED: January 25, 2019

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Andy Birchard	Phone Number 951-206-2441
Mailing Address	252 W. 4th Street #F	Email andy@scwce.com
	Beaumont, CA 92223	

Representative	Shawn Lathrom	Phone Number 909-677-3670
Mailing Address	252 W. 4th Street #F	Email
	Beaumont, CA 92223	

Property Owner	Multiple owners, see attached list	Phone Number 951-206-2441
Mailing Address		Email

LOCAL JURISDICTION AGENCY

Local Agency Name	City of Banning	Phone Number 951-922-3152
Staff Contact	Sonia Pierce, Senior Planner	Email spierce@ci.banning.ca.us
Mailing Address	99 E. Ramsay Street/PO Box 998	Case Type
	Banning, CA 92220	<input checked="" type="checkbox"/> General Plan / Specific Plan Amendment <input checked="" type="checkbox"/> Zoning Ordinance Amendment <input type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input type="checkbox"/> Site Plan Review/Plot Plan <input type="checkbox"/> Other
Local Agency Project No	GPA 18-2503/ZC 18-3502/ENV 18-1507/PAC18-01	

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	200/284 S. 8th Street	
	Banning, CA 92220	
Assessor's Parcel No.	540-220-013/540-220-007	Gross Parcel Size 3.23 ac (lot 013)/1.95 ac (lot 007)
Subdivision Name	N/A	Nearest Airport and distance from Airport
Lot Number	N/A	Banning Municipal/1.4 miles

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	General Commercial zoning and General Plan designation. Current use is a recycling center (540-220-013) and a vacant warehouse (540-220-007).
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Banning

Proposed Land Use (describe)	Proposed Industrial zoning and General Plan designation. No change in use of property.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)		
For Other Land Uses (See Appendix C)	Hours of Operation	8 am-4 pm (recycling center)	
	Number of People on Site	10	Maximum Number 10
	Method of Calculation	Interview with owner.	
Height Data	Site Elevation (above mean sea level)	2330-2350	ft.
	Height of buildings or structures (from the ground)	10-20	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes
	If yes, describe		<input checked="" type="checkbox"/> No

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address (**only required if the project is scheduled for a public hearing Commission meeting**)

ALUC Application Attachment - Property Owners

APN: 540-220-013

1. Clyde and Suzanne Birchard
1622 Woodlands Rd.
Beaumont, CA 92223

APN: 540-220-007

1. Slade Lohman
530 Commerce Ave, Suite B
Palmdale, CA 93551
2. Mary E. Vrooman
3436 Alta Vista Drive,
Laramie, WY 82072
3. Michael and Mary Agahee
37 Cinnamon Lane,
Rancho Palos Verdes, CA 90275

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**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.2

HEARING DATE: March 14, 2019

CASE NUMBER: ZAP1351MA19 – First Industrial Realty Trust
(Representative: Thienes Engineering)

APPROVING JURISDICTION: City of Moreno Valley

JURISDICTION CASE NO: PEN18-0259 (Plot Plan)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed Plot Plan **CONSISTENT**, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant proposes to construct a 221,859 square foot industrial warehouse building with second floor mezzanine on 9.7 acres.

PROJECT LOCATION: The site is located southerly of Nandina Avenue, northerly of Grover View Road, easterly of Indian Street, and westerly of Perris Boulevard, within the City of Moreno Valley, approximately 3,865 feet easterly of the southerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone C1
- c. Noise Levels: 60-65 and below 60 CNEL from aircraft

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C1, which limits average intensity to 100 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, the following rates were used to calculate potential occupancy for the proposed building in Compatibility Zone C1:

- Office – 1 person per 200 square feet (with 50% reduction),
- Warehouse – 1 person per 500 square feet.

The project proposes a total 221,859 square foot industrial warehouse building, including 216,859 square feet of warehouse area, 2,500 square feet of first floor office area, and 2,500 square feet of second floor mezzanine office area, accommodating 460 people for the project, resulting in an average intensity of 47 people per acre, which is consistent with the Compatibility Zone C1 criterion of 100.

No on-site manufacturing uses are proposed. Conversion of the entire warehousing area to manufacturing uses would result in an average intensity in excess of the Compatibility Zone C1 criterion of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of parking spaces (101 spaces) and truck trailer spaces (35 spaces) provided, the total occupancy would be estimated at 187 people for an average intensity of 19 people per acre, which is consistent with the Compatibility Zone C1 average criterion of 100.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone C1 limits maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area would consist of 41,060 square feet of warehouse area, 2,500 square feet of first floor office area, and 2,500 square feet of second floor mezzanine office area, resulting in a single acre occupancy of 108 people, which is consistent with the Compatibility Zone C1 single acre criterion of 250.

March Air Reserve Base/United States Air Force Input: Given that the project site is located in Zone C1 easterly of the runway at March Air Reserve Base, the March Air Reserve Base staff was notified of the project and sent a package of plans for their review. As of the time this staff report was prepared, we were still awaiting comments from the Air Force regarding this project.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as between 60-65 and outside the 60 CNEL range from aircraft noise. As a primarily industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation

of approximately 20 dBA), the warehouse space would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the building.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 3,865 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,526 feet AMSL. The site's maximum elevation is 1,470 feet AMSL and the proposed building height is 43 feet, for a top point elevation of 1,513 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service (FAA OES) was not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

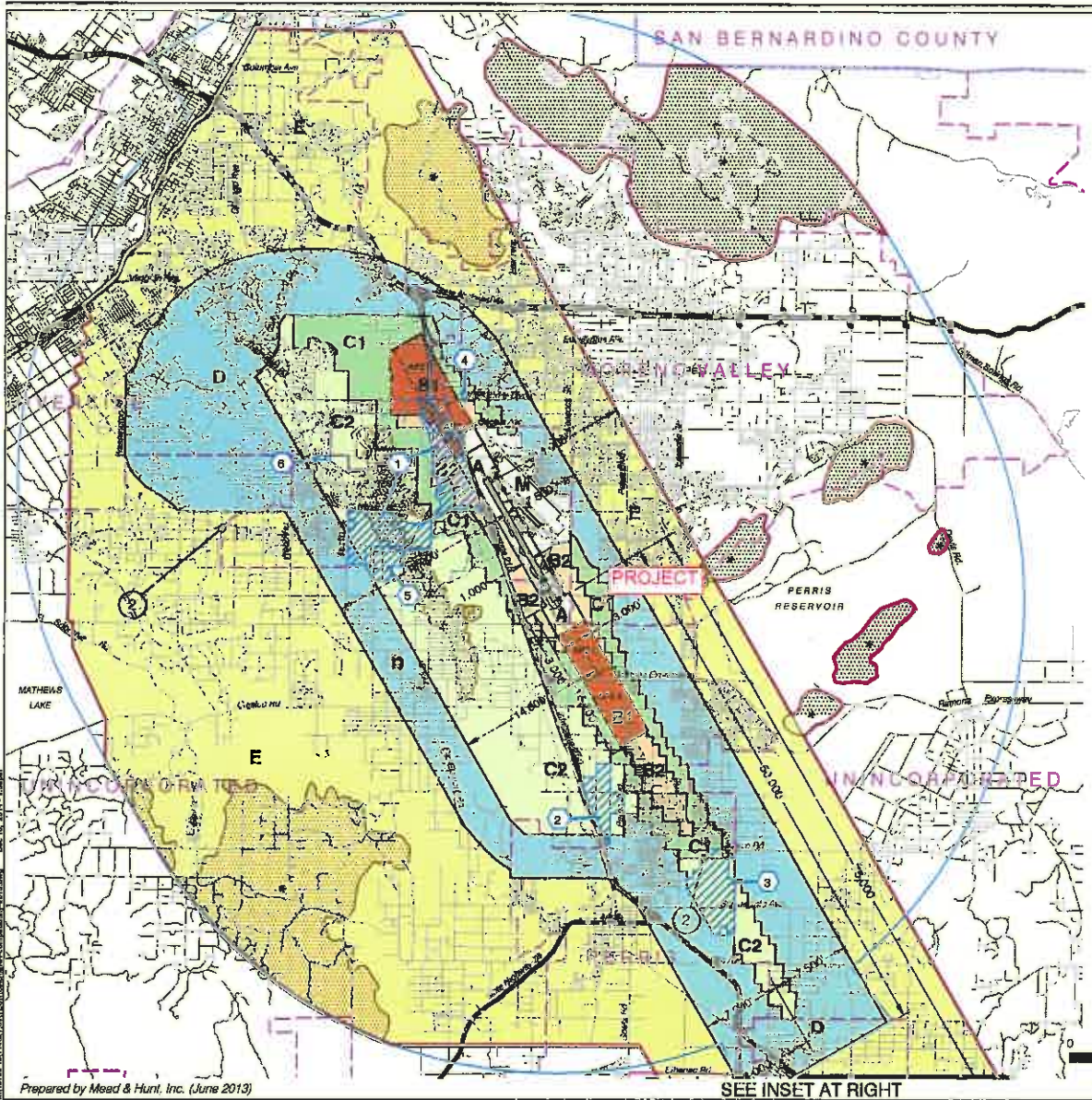
CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, places of assembly (including churches and theaters), noise sensitive outdoor nonresidential uses, and hazards to flight.
3. The attached notice shall be given to all prospective purchasers of the property and tenants or lessees of the building, and shall be recorded as a deed notice.
4. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
6. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
7. This project has been evaluated for a 221,859 square foot industrial warehouse building including 216,859 square feet of warehouse area, 2,500 square feet of first floor office area, and 2,500 square feet of second floor mezzanine office area. Any increase in building area or change in use other than for warehouse use, with a maximum of 5,000 square feet of office use, will require an amended review by the Airport Land Use Commission.
8. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exemptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision

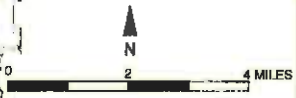


**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adapted November 13, 2014)**

Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**

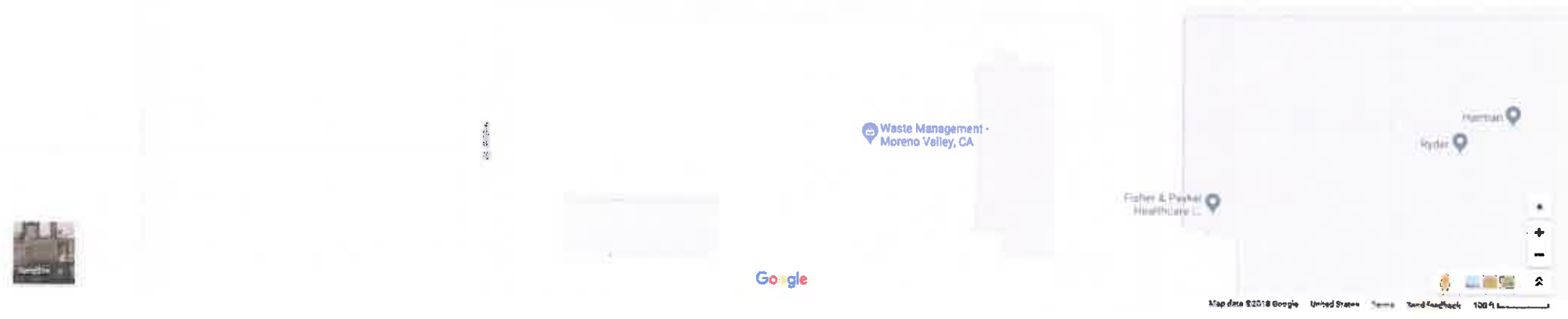
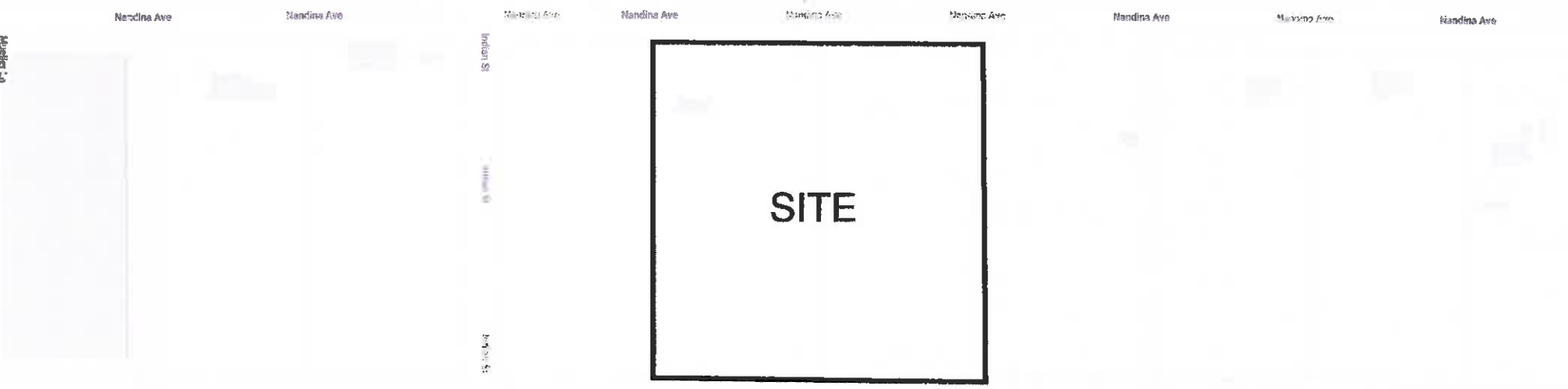
Note:
All dimensions are measured from runway ends and centerlines.



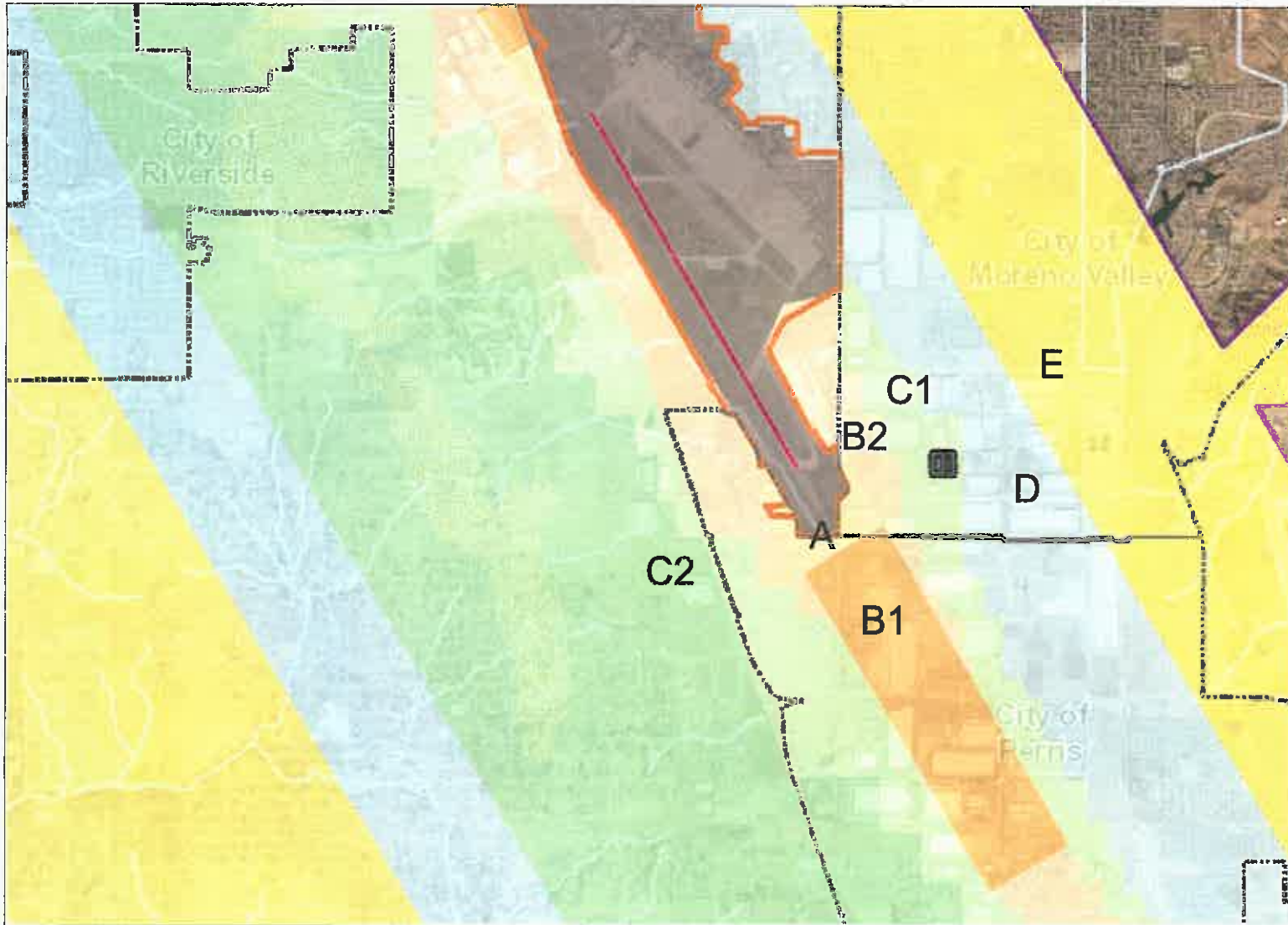
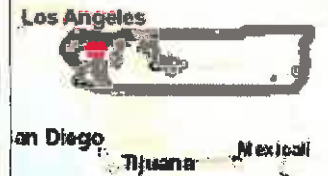
Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT



Map My County Map



- Legend**
- Runways
 - ▣ Airports
 - ▭ Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC8



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Notes



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Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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0 758 1,516 Feet

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Notes

Map My County Map



Legend

- Blue line Streams
- City Areas
- World Street Map

Notes



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Map My County Map



Legend

-  BlueLine Streams
-  City Areas
-  World Street Map



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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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Notes

Map My County Map



Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map



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Notes

0 379 758 Feet

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Project Description – First Industrial Logistics Center

First Industrial Realty Trust is submitting an application as the Applicant for a plot plan review of a new industrial warehouse building. The new building will be located on the south side of Nandina Avenue, just east of Indian Avenue. The 9.7 gross acre development consists of two legal lots, which will be consolidated into one legal lot as part of the development process. The proposed building consists of 5,000 square feet of office space located on the first and second floor and 216,859 square feet of warehouse area. The 221,859 square feet building will have 31 truck dock doors, and will be supported by 101 auto parking stalls and 35 truck trailer parking stalls. There will be 40,217 square feet of proposed landscaping to enhance the building.



HPA, Inc.
18031 Bardonia Avenue - Ste. #100
Irvine, CA 92618
Tel: 949-853-1770
Fax: 949-853-0851
email: hpa@hpae.com



888 N. Sepulveda Blvd., Ste. 750
S. Laguna, CA 92645

tel: (949) 228-4601
fax: (910) 414-5452

Project:
**First Nandina
Logistics Center**

Moterra Valley, Ca

Consultants:

THIBERTS ENG.
JES
ACS
SOCAL GEO

Title: overall site plan

Project Number:

Drawn by:

Date:

Revised:

Sheet:

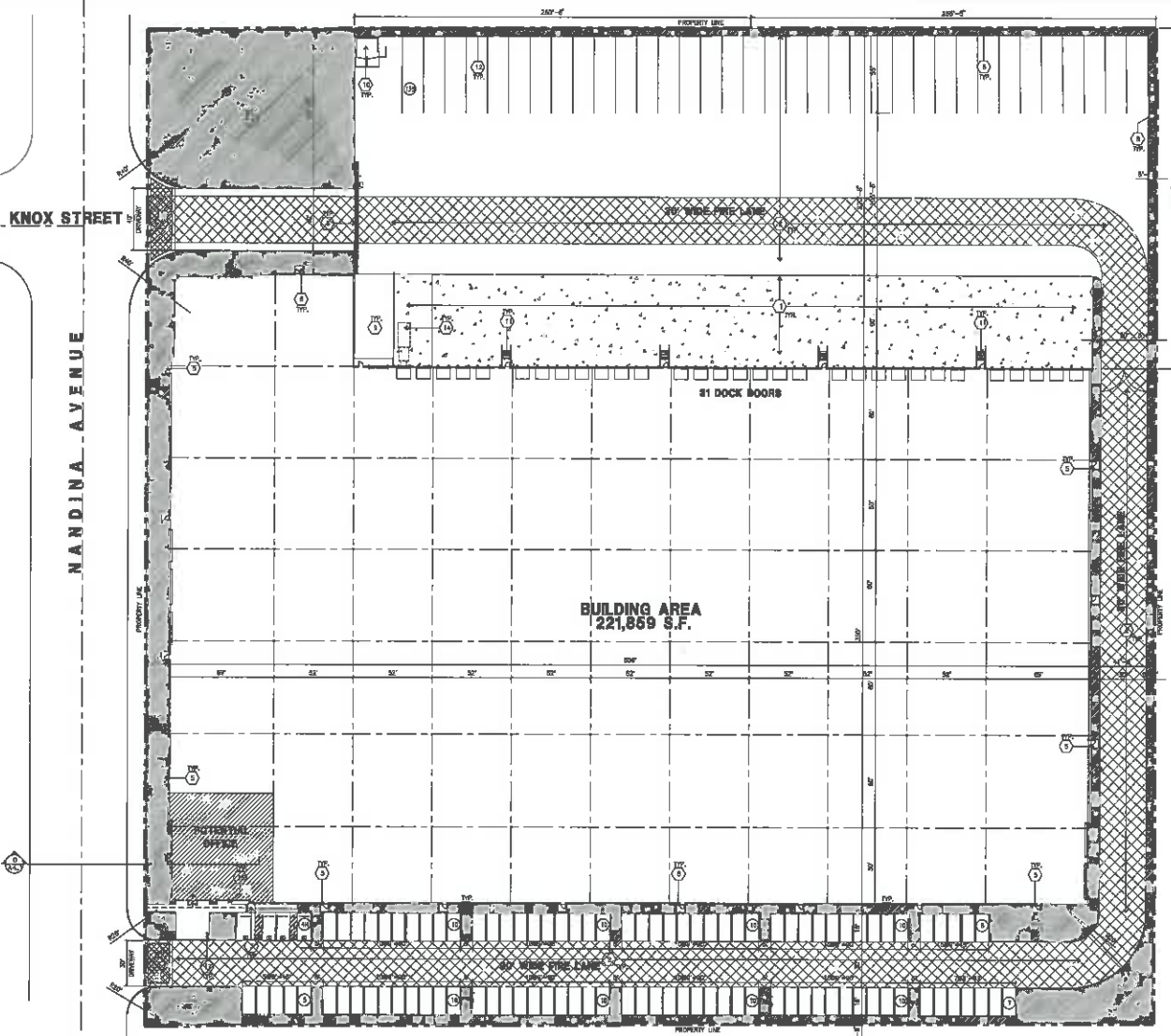
DAB-A1.1

VICINITY MAP



PROJECT DATA

SITE AREA	
In s.f.	422,400 s.f.
In acres	9.70 ac
BUILDING AREA	
Office - 1st floor	2,500 s.f.
Office - 2nd floor	2,500 s.f.
Warehouse	210,850 s.f.
TOTAL	221,850 s.f.
COVERAGE	52.52%
AUTO PARKING REQUIRED	
Office: 1/250 s.f.	20 stalls
W/wh: 1st 20K @ 1/4", 200 s.f.	20 stalls
2nd 20K @ 1/2,000 s.f.	10 stalls
above 40K @ 1/4,000 s.f.	40 stalls
TOTAL	90 stalls
AUTO PARKING PROVIDED	
Standard (8' x 18')	101 stalls
TRAILER PARKING PROVIDED	
Trailer (14' x 50')	35 stalls
ZONING ORDINANCE FOR CITY	
Zoning Designation - SP 208 1 (Industrial)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - none	
MAXIMUM FLOOR AREA RATIO	
FAR - NA	
SETBACKS	
Nandina Ave. - 15'	
Side / Rear - 0'	
LANDSCAPE REQUIREMENT	
Percentage - 10%	
LANDSCAPE PROVIDER	
Percentage - N/A	
In s.f.	40,217 s.f.



OVERALL SITE PLAN
SCALE: 1" = 30'-0"
NORTH ARROW

Address of the property

888 N. Sepulveda Blvd., Ste. 750

Assessor's Parcel Number

780

Applicant

FIRST INDUSTRIAL REALTY TRUST
888 N. SEPULVEDA BLVD., SUITE 750
S. LAGUNA, CA 92645
TEL: (949) 228-4601
CORPORATE MAIL ROOM

Applicant's representative

HPA, INC.
18031 BARDONIA AVENUE SUITE 100
IRVINE, CA 92618
TEL: 949-853-1770
ATTN: DOREN KIM

Zoning

SP208 1 (INDUSTRIAL)

SITE PLAN KEYNOTES

1. HEAVY BROWN BRUSH BONG. MAINTENANCE
2. FINISH FOR ONE CONCRETE ONE FINISH
3. ARCHITECTURE VOUCHER
4. EXISTING SIGNAGE REMAINS 50% OF 2017
5. 12'-0" MIN. PER. BENCH CONCRETE OUTSIDE LINED TO THE TOP OF THE CONCRETE CURB OR ONE SIDE WALL
6. 18" MIN. PER. FOR ALL EXISTING CURBS, BATTERS AND CURBS DETAIL ON SHEET A1.1 ARE DEEMED SUFFICIENT
7. PROVIDE A 12" MIN. TYPICAL MINIMUM OPERATED GATE BY 12" MIN. TO 18" MIN. BY CITY SPECIFICATION
8. 8' MIN. HEIGHT AND FENCE
9. EXISTENT RAMP TO THE BUILDING
10. BRUSH ENCLOSURE
11. EXISTENT DOOR SIGN
12. NEW EXISTENT 24" x 48" BRUSH SIGN
13. APPROVED LOCATION OF ELECTRICAL TRANSFORMER
14. TRANSFORMER SIGN
15. PUMP HOUSE
16. EXISTENT SIGN
17. ONE SIGN MAX. 8' x 4' x 10' AUTO SIGNAGE
18. NEW SIGN

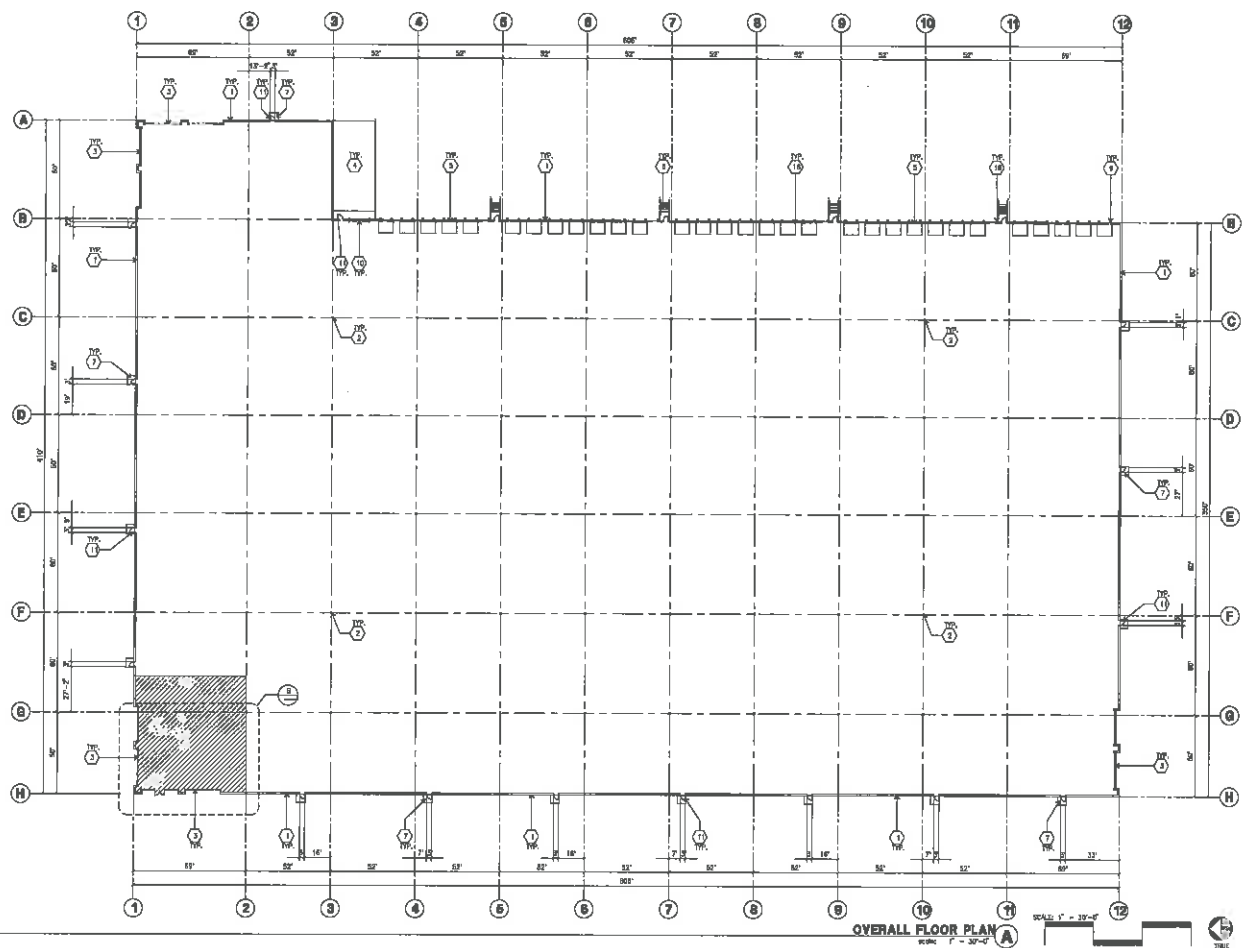
SITE PLAN GENERAL NOTES

1. 7' SOLS ARE CONTRACTOR IN NATURAL USE STEEL. DIMENSIONS FOR ALL SITE CONCRETE
2. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL. FACE OF CONCRETE CURB OR ONE SIDE WALL
3. 18" MIN. PER. FOR ALL EXISTING CURBS, BATTERS AND CURBS DETAIL ON SHEET A1.1 ARE DEEMED SUFFICIENT
4. THE EXISTING PROJECT SHALL BE PERMANENTLY MAINTAINED FOR ALL EXISTING OPERATED PROJECTS, FINISH TO REGULATION IS AT LEAST TO EXIST EXISTING SIGN CONSTRUCTION
5. 18" MIN. PER. FOR POINT OF CONNECTIONS TO EXISTING UTILITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS. 18" MIN. PER. FOR ALL EXISTING CURBS, BATTERS AND CURBS DETAIL ON SHEET A1.1 ARE DEEMED SUFFICIENT
6. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. 18" MIN. PER. FOR POINT OF CONNECTIONS TO EXISTING UTILITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS.
7. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS.
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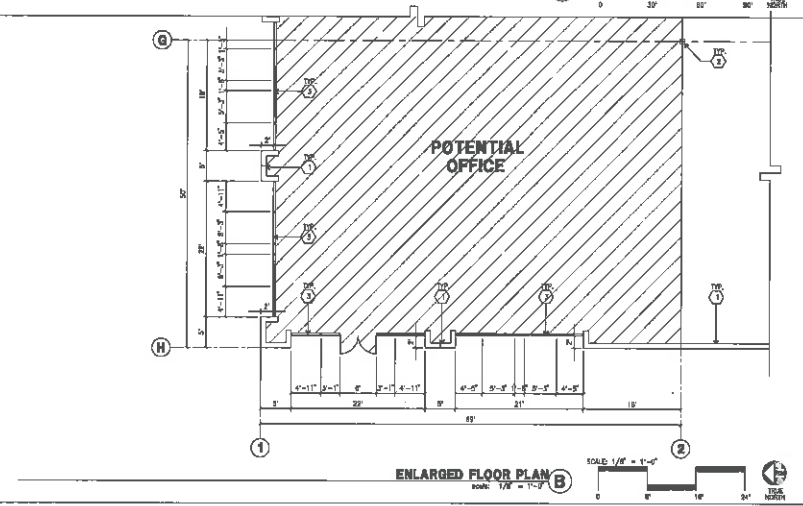
SITE LEGEND

- LANDSCAPE AREA
- PAVING - SEE "C"
- EXISTING SITE BOUNDARY
- NO. BOUNDARY AREA
- PAVING WALL (8' x 18')
- EXISTING PROJECT BOUNDARY
- 8' MIN. PER. WALL (8' x 18')
- 8' MIN. PER. WALL (8' x 18')
- 8' MIN. PER. WALL (8' x 18')

OFFICIAL USE ONLY



OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"



ENLARGED FLOOR PLAN
SCALE: 1/8" = 1'-0"

KETNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STORAGE SYSTEM WITH GLAZING.
- 4 CONCRETE RAMP.
- 5 8'-0" X 10' TRUCK DOOR, SECTIONAL OYL, STANDARD GRADE.
- 6 EXTERIOR CONCRETE STEAR.
- 7 8'-0" X 10'-0" 6" THICK CONCRETE EXTERIOR LANDING PAD.
- 8 NOT USED.
- 9 DOOR DOOR BLUMPH.
- 10 12' X 14' DRIVE THRU, SECTIONAL OYL, STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 METAL CANOPY.
- 13 SOFFIT LINE ABOVE.
- 14 ELECTRICAL ROOM.
- 15 EXTERIOR DOWNPOUT WITH OVERFLOW SCUPPER.
- 16 Z GUARD.
- 17 K-BRACE FRAME.

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE POINT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE FINISHING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OYL. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO CONCR.
- F. SLOPE FOUR STEPS 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "C" DRAWINGS FOR FOUR STEPS LOCATION.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, GROUNDLINE, OR FACE OF STUD WALL.
- H. SEE OYL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A.D.A. NOTE ALL DOORS PER DOOR SCHEDULE ARE FINISH SCHEDULE.
- J. CONTRACTOR TO FINISH AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS OF WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. MINIMUM 2'.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR EACH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL, TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER OYL 11.03B.1.1.1.
- O. ALL ROOF MOUNTED UNITS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A.Y.A.1 OFFICE SECTION.

HPA
ARCHITECTS

INC. INC.
18351 HARDING AVENUE - STE. #120
IRVINE, CA
92612
TEL: 949-463-1770
FAX: 949-463-0851
EMAIL: hpa@hpaarch.com

FIRST

606 N. Sepulveda Blvd. Ste. 750
El Segundo, CA 90245

TEL: (949) 226-4501
FAX: (310) 414-5462

Project:
**First Nandina
Logistics Center**

Murano Valley, Ca

Consultants:
THOMAS ENG.
158
ACS

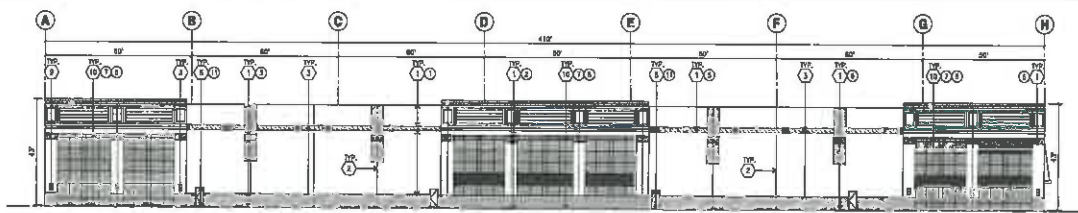
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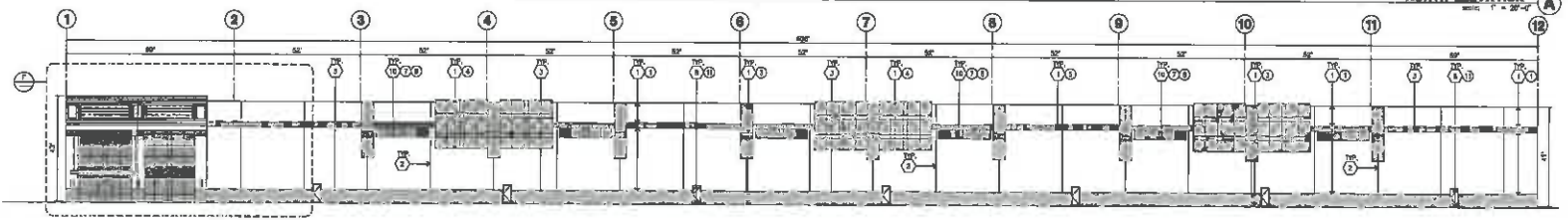
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Date: 11/11/11
By: [Signature]
Checked: [Signature]

Shown:

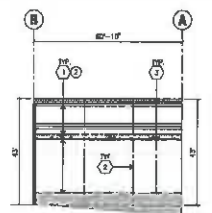
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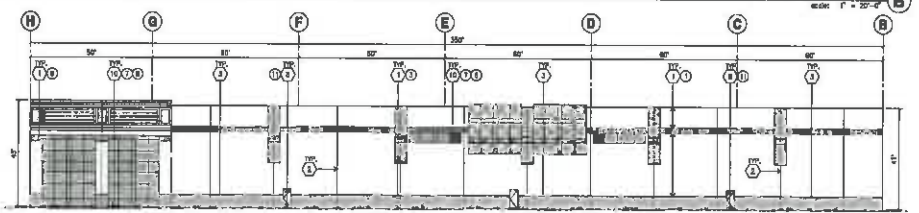
NORTH ELEVATION
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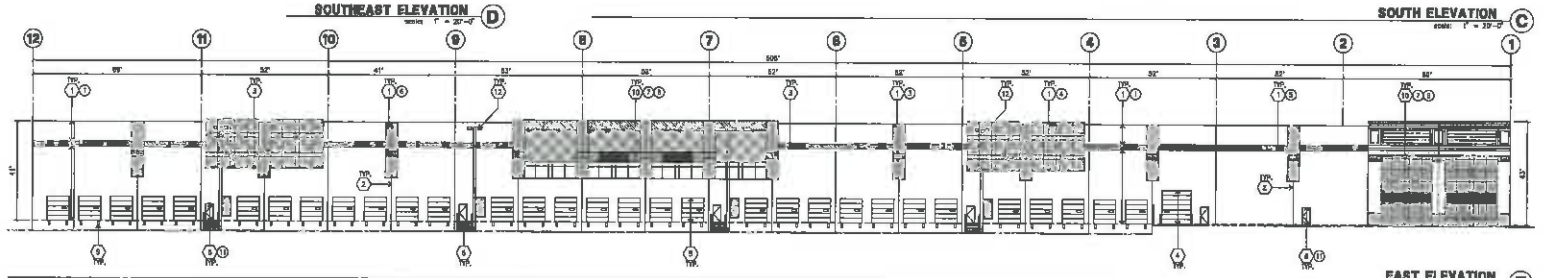
WEST ELEVATION
scale: 1" = 20'-0"



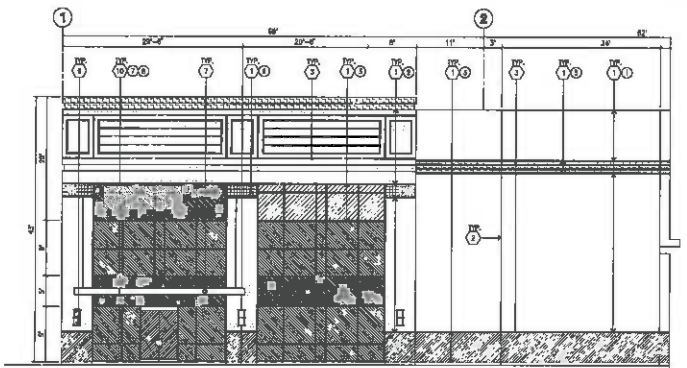
SOUTHEAST ELEVATION
scale: 1" = 20'-0"



SOUTH ELEVATION
scale: 1" = 20'-0"



EAST ELEVATION
scale: 1" = 20'-0"



ENLARGED WEST ELEVATION
scale: 1/2" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL(PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FLOOR COLOR, UNLESS OTHERWISE NOTED.
- 4 OVERHEAD DOOR @ 3/8" THICK.
- 5 OVERHEAD DOOR @ 3/8" THICK.
- 6 CONCRETE STEEL LANDING AND CANTILEVER. 1/2" METAL PIPE HANDRAIL.
- 7 METAL CANOPY.
- 8 HOLLOW METAL DOORS.
- 9 DOCK BUMPER.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEmPERED GLAZING AT ALL DOORS. SUBMITTEES QUANTIFY TO DOORS AND GLAZING WITH NOTATION LESS THAN 10' ABOVE FINISH FLOOR ELEVATION. DESIGN TO BE SPRAVED-IN.
- 11 TUBE STEEL OVER CANOPY.
- 12 EXTERIOR CORNERPOST WITH OVERFLOW SCUPPER.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. TYP. CL. = TOP OF FINISH FLOOR ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE SUBMITTED TO BESECT TO MATCH TEMPERATURE OF BRICK. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL PRIME PAINT ONE CONCRETE PANEL BY SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH EXTERIOR FINISH.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. USE AMBERISH BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- I. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

COLOR SCHED. - ELEVATIONS

1 CONCRETE TILT-UP PANEL	PAINT BRAND/PAINTER: OGI WHITE
2 CONCRETE TILT-UP PANEL	PAINT BRAND/PAINTER: CLAYTONS SMOKE
3 CONCRETE TILT-UP PANEL	PAINT BRAND/PAINTER: CLAYTONS HAZEL HURDLE
4 CONCRETE TILT-UP PANEL	PAINT BRAND/PAINTER: CLAYTONS CHOCOLATE
5 CONCRETE TILT-UP PANEL	PAINT BRAND/PAINTER: CLAYTONS TOUCH WOOD
6 CONCRETE TILT-UP PANEL	PAINT BRAND/PAINTER: CLAYTONS FINISH
7 WALLS	COLOR: CLEAR ANTI-CORROSION
8 GLAZING	COLOR: BRN. REFLECTIVE
9 GLAZING	COLOR: BRN. REFLECTIVE
10 METAL CANOPY	COLOR: BRN. REFLECTIVE
11 DOORS	COLOR: PRIMER: ROY WHITE

GLAZING LEGEND

- SPANDREL GLASS
- TEMPERED VISION GLASS
- VISION GLASS

HPA
ARCHITECTS

HPA, Inc.
19001 Harbor Avenue - Ste. #100
Irvine, CA 92612
Tel: 949-452-1770
Fax: 949-452-0551
email: hpa@hpaarch.com

FIRST

809 PL Sepulveda Blvd, Ste. 750
El Segundo, CA 90245

Tel: (310) 208-4621
Fax: (310) 414-5482

Project:
**First Nandina
Logistics Center**

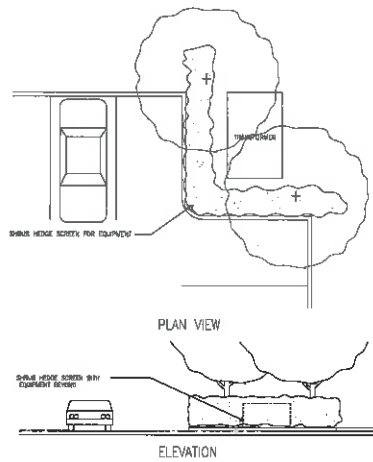
Merlene Valley, Co

Consultants:
THOMAS ENG.
HSA
ACS
SOCAL GED

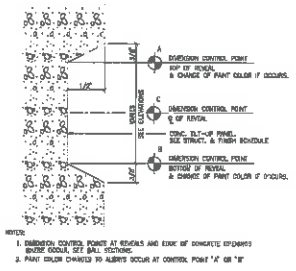
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Project Number:
Drawn By:
Date:
Revision:

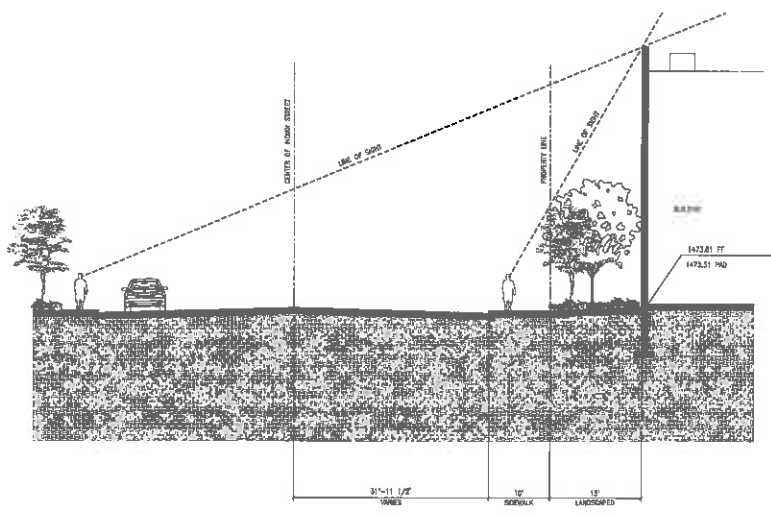
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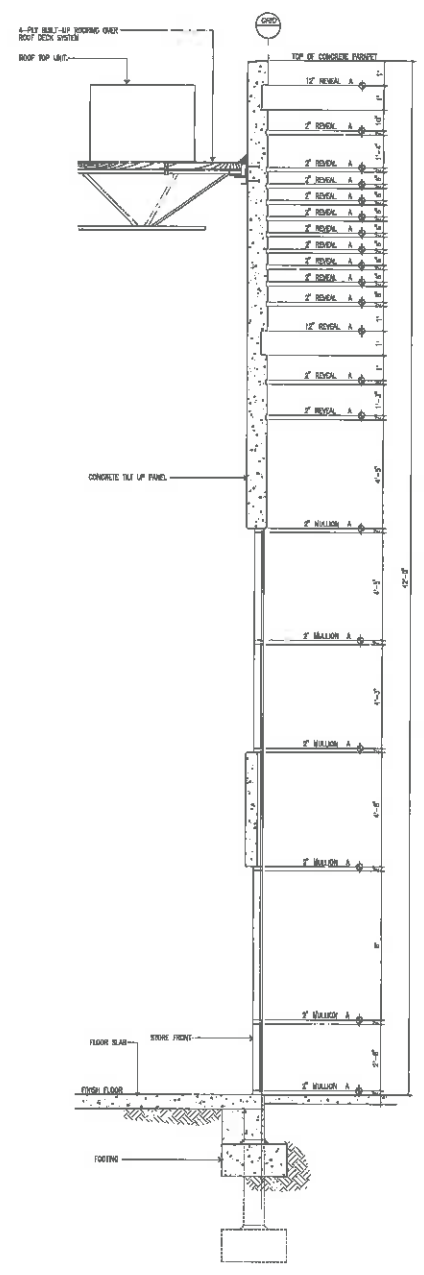
GROUND MOUNTED EQUIPMENT SCREENING
 scale: 1/2" = 1'-0"



CONCRETE REVEAL
 scale: 1/2" = 1'-0"



SITE SECTION
 scale: 1/8" = 1'-0"



OFFICE SECTION
 scale: 1/2" = 1'-0"

HPA
 Architects
 HPA, Inc.
 10851 Bardonia Avenue - #10, #100
 Irvine, CA
 92618
 Tel: 949-853-1770
 Fax: 949-853-0851
 email: hpa@hparch.com

FIRST
 600 N. Sepulveda Blvd. Ste. 750
 El Segundo, CA 90245
 Tel: (310) 305-4001
 Fax: (310) 414-5402

Project:
**First Nandina
 Logistics Center**
 Moreno Valley, Ca

Consultants:
 THIEMER ENCL
 HSA
 ACS
 . . .
 SOCIAL GEO

Title: **SITE SECTION**

Project Number:
 Drawn by:
 Date:
 Revisors:

Sheet:
A4.1

KNOX STREET

NANDINA AVENUE

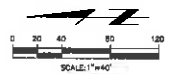
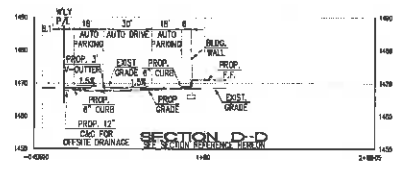
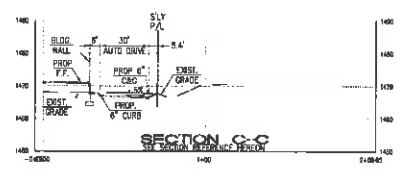
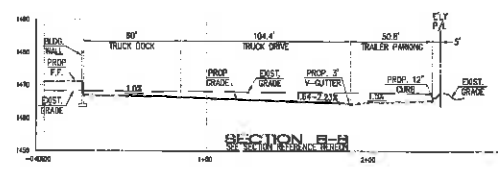
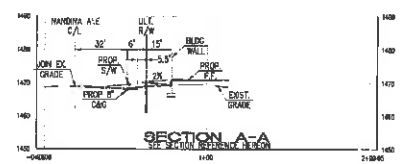
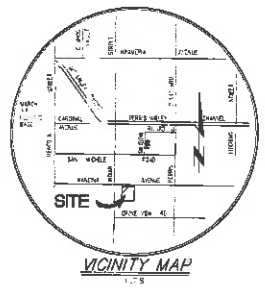
BUILDING AREA
221,860 S.F.
1470.98 FF
1470.48 PAD

10/22/18

PROJECT: **RAILYONS BALANCE CALCULATIONS**
JOB: **First Industrial Logistics**

K. SITE AREA:	429,442 SF
L. SUBSIDENCE FACTOR:	0.00%
M. SURFACE FACTOR:	7.2%
N. SITE STRIPPING FACTOR:	0.0%
O. OVEREXCAVATIONS:	28,270 CY
A. CALCULATED CUT:	17,488 CY
R. FODDING AND UTILITY SPILLS:	2,820 CY
B.L. PRIVATE SPILLS (STREET AND STORM DRAIN):	480 CY
C. TOTAL CUT: (A+R):	20,808 CY
D. CALCULATED FILL:	14,071 CY
E. LIGHT PAVING FILL:	0 CY
F. SUBSIDENCE (W/OUT):	7,801 CY
G. SURFACE FACTOR:	1,560 CY
H. SITE STRIPPING:	634 CY
I. OVEREXCAVATION ENHANCEMENT:	2,860 CY
J. TOTAL FILL: (D+H+I+J):	28,826 CY
K. TOTAL (IMPORT) OR EXPORT:	0 CY

SITE ACQUISITION: 0.00



PREPARED FOR:
FIRST INDUSTRIAL TRUST, INC.
100 S. Sepulveda Blvd., Suite 120
Brea, CA 92625
Phone: (949) 644-4440
Fax: (949) 444-5482



CITY OF MORENO VALLEY
PUBLIC WORKS DEPARTMENT

CONCEPTUAL GRADING PLAN

FIRST INDUSTRIAL
FIRST NANDINA II LOGISTICS

Designed by	Approved by
Checked by	Scale
Designed by	Scale
Checked by	Scale
Designed by	Scale
Checked by	Scale

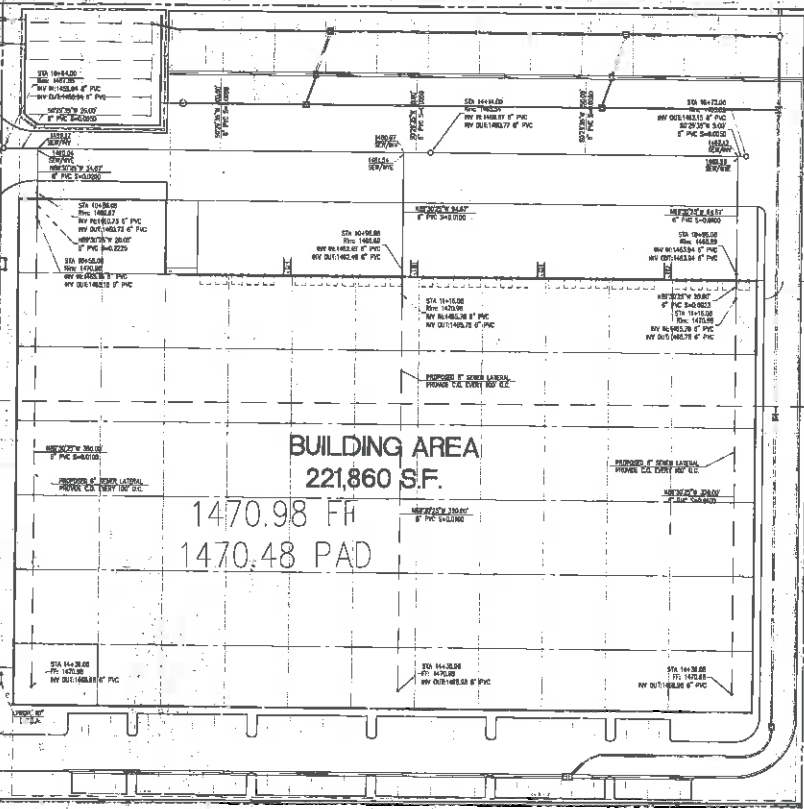
3709 / 1 OF 4 SHEET

E. 15th Street
15th St

KNOX STREET
KNOX ST

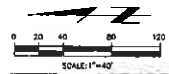
AVENUE
AVENUE

NANDINA
NANDINA



BUILDING AREA
221,860 S.F.

1470.98 FF
1470.48 PAD



PREPARED FOR
FIRST INDUSTRIAL REALTY TRUST, INC.
888 N. Sepulveda Blvd., Suite 175
Covina, CA 91724
PHONE: (916) 844-0800
FAX: (916) 844-3482

CITY OF MORENO VALLEY
PUBLIC WORKS DEPARTMENT
CONCEPTUAL UTILITY PLAN

FIRST INDUSTRIAL
FIRST NANDINA II LOGISTICS



Designed by	_____	Approved by	_____
Checked by	_____	Public Works Director	_____
Drawn by	_____	DATE	02/07/14
Client by	_____	Sheet	2 of 4

37087 / 2 OF 4 SHEET

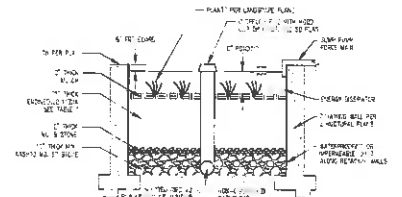
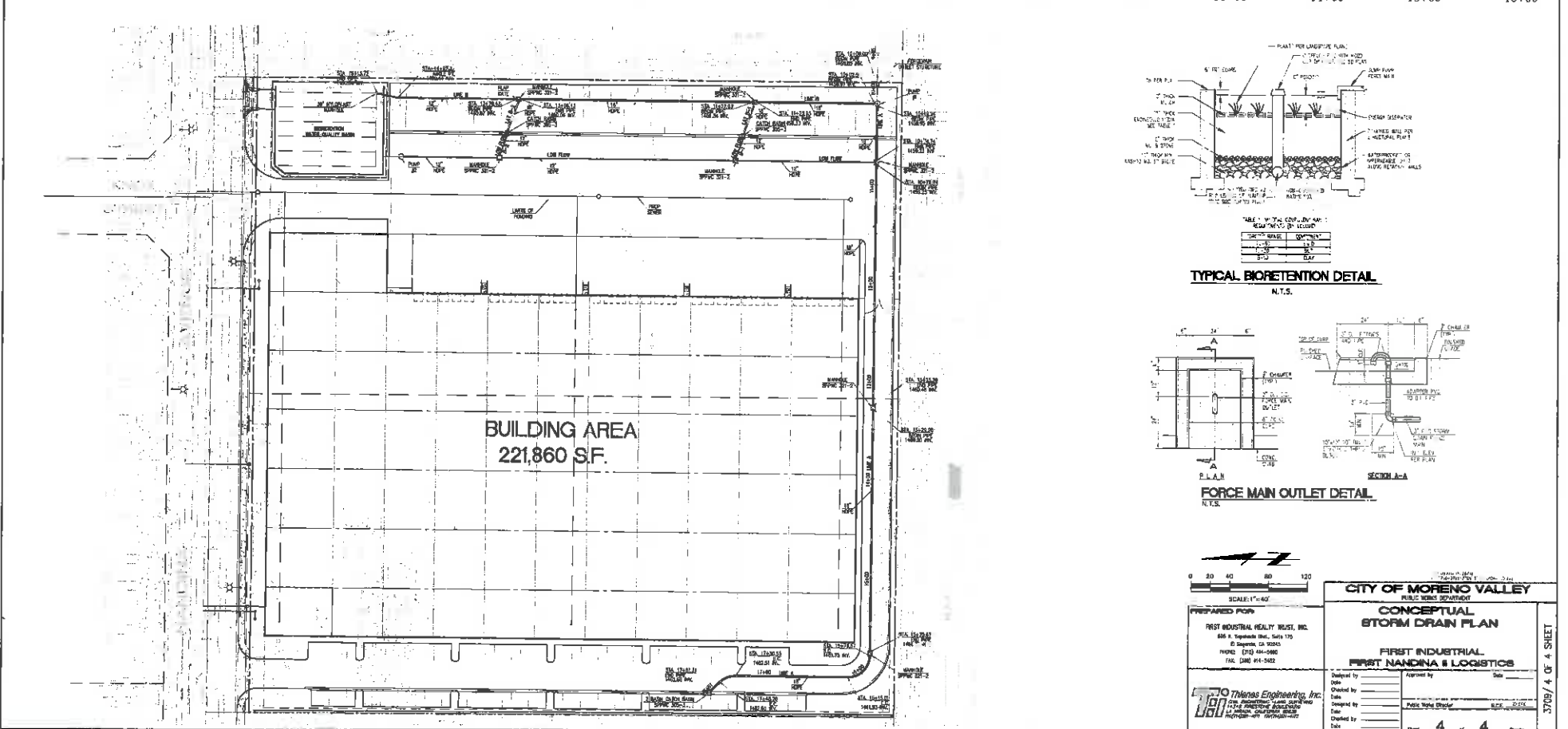
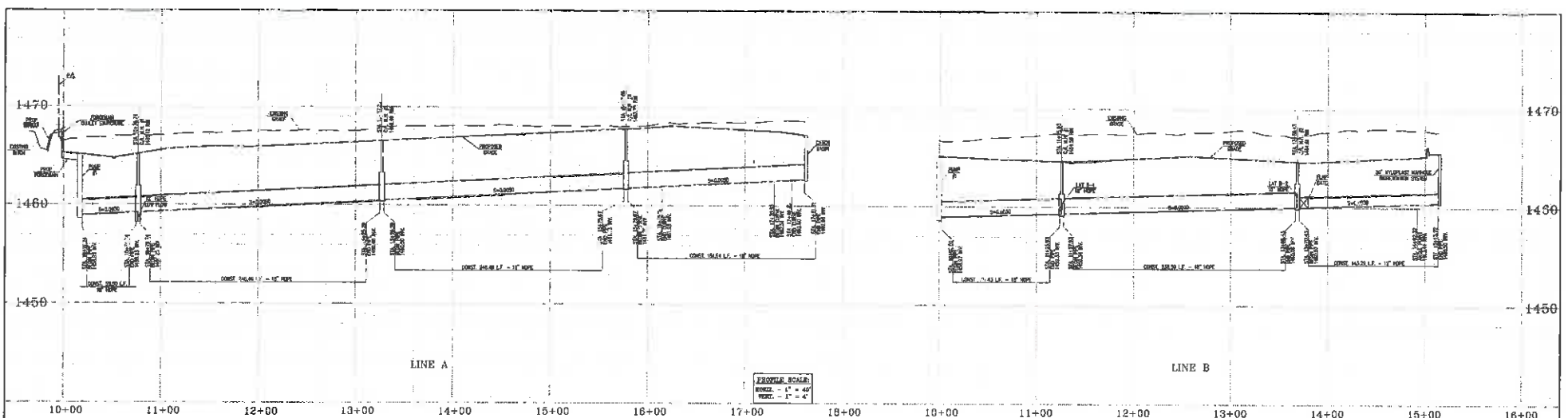
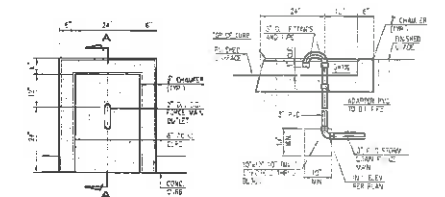



TABLE 1 - 1/4\"/>

DEPTH (INCHES)	PERCENT SAND	PERCENT SILT	PERCENT CLAY
0-2	100	0	0
2-4	85	15	0
4-8	70	30	0
8-12	55	45	0
12-18	40	60	0
18-24	25	75	0
24-30	10	90	0
30-36	0	100	0

TYPICAL BIORETENTION DETAIL
N.T.S.




FORCE MAIN OUTLET DETAIL
N.T.S.


 SCALE: 1"=40'
CITY OF MORENO VALLEY
 PUBLIC WORKS DEPARTMENT
CONCEPTUAL STORM DRAIN PLAN
FIRST INDUSTRIAL NANDINA & LOGISTICS

PREPARED FOR:
 FIRST INDUSTRIAL REALTY TRUST, INC.
 885 S. Sepulveda Blvd., Suite 110
 Los Angeles, CA 90045
 PHONE: (310) 344-0880
 FAX: (310) 344-5822

Designed by: _____ Approved by: _____ Date: _____
 Drawn by: _____ Checked by: _____ Date: _____
 Checked by: _____ Date: _____
 Checked by: _____ Date: _____


Tinas Engineering, Inc.
 1700 Tinas Avenue
 San Jose, CA 95128
 Phone: (408) 261-8800
 Fax: (408) 261-8801

SHEET 4 OF 4

**NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Moreno Valley may hold hearings on this item and should be contacted on non-ALUC issues. For more information please contact City of Moreno Valley Planner Ms. Julia Descoteaux at (951) 413-3209.

The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, February 18, and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: March 14, 2019

TIME OF HEARING: 9:30 A.M.

CASE DESCRIPTION:

ZAP1351MA19 – First Industrial Realty Trust (Representative: Thienes Engineering) – City of Moreno Valley Case No. PEN18-0259 (Plot Plan). A proposal to construct a 221,859 square foot industrial warehouse building with second floor mezzanine on 9.7 acres located southerly of Nandina Avenue, northerly of Grover View Road, easterly of Indian Street, and westerly of Perris Boulevard (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area).



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP13S1MA19 DATE SUBMITTED: 1/30/19

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

March
C1

Applicant	First Industrial Realty Trust, INC.	Phone Number
Mailing Address	ATTN: MICHAEL GARDWIN 898 N. SEPULVEDA BLVD EL SEGUNDO CA 90245	Email
Representative	THIENES ENGINEERING, INC.	Phone Number <u>714-521-4811</u>
Mailing Address	ATTN: SARAH BOVA 14349 FIRESTONE BLVD. LA MIRADA CA 90638	Email
Property Owner		Phone Number
Mailing Address		Email

LOCAL JURISDICTION AGENCY

Local Agency Name	City of Moreno Valley	Phone Number 951-413-3209
Staff Contact	Julia Descoteaux	Email juliad@moval.org
Mailing Address	14177 Frederick Street Moreno Valley, CA 92552	Case Type Plot Plan
Local Agency Project No	PEN18-0259	<input type="checkbox"/> General Plan / Specific Plan Amendment <input type="checkbox"/> Zoning Ordinance Amendment <input type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input checked="" type="checkbox"/> Site Plan Review/Plot Plan <input type="checkbox"/> Other

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	South east of Nandna Avenue and Indian Street Moreno Valley	
Assessor's Parcel No.	316-210-032 & 033	Gross Parcel Size 9.92 acres/ 432,037 s.f.
Subdivision Name		Nearest Airport and distance from Airport
Lot Number		March AFB - 3700' +/-

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	Industrially zoned parcels that are currently vacant.

Proposed Land Use (describe)	Proposed 221,859 s.f. +/- industrial warehouse building		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)		
For Other Land Uses	Hours of Operation	TBD, Generally, warehousing is 24/7	
(See Appendix C)	Number of People on Site	TBD	Maximum Number TBD
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	1470.88	ft.
	Height of buildings or structures (from the ground)	43	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes
	If yes, describe		<input checked="" type="checkbox"/> No

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. REVIEW TIME: Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.

C. SUBMISSION PACKAGE:

1. Completed ALUC Application Form
1. ALUC fee payment
1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
1. Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
1. CD with digital files of the plans (pdf)
1. Vicinity Map (8.5x11)
1. Detailed project description
1. Local jurisdiction project transmittal
3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address (only required if the project is scheduled for a public hearing Commission meeting)

✓

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.3

HEARING DATE: March 14, 2019

CASE NUMBER: ZAP1344MA18 – Meridian Park K-4, LLC (Representative: Jeff Gordon)

APPROVING JURISDICTION: March Joint Powers Authority

JURISDICTION CASE NO: GPA18-02 (General Plan Amendment), CZ18-01 (Change of Zone), PP18-04 (Plot Plan)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Plot Plan CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

PROJECT DESCRIPTION: The applicant proposes to construct a 718,000 square foot industrial warehouse building on 35.6 acres. The applicant also proposes amending the site's General Plan Land use designation from Business Park to Industrial and establishing Industrial zoning on the site (no previous zoning).

PROJECT LOCATION: The site is located southerly of Cactus Avenue, northerly of March Air Reserve Base, easterly of the southerly terminus of Elsworth Street and westerly of the southerly terminus of Joy Street, within the jurisdiction of the March Joint Powers Authority, approximately 3,683 feet northeasterly of the northerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zones C1, D
- c. Noise Levels: 60-65 and below 60 CNEL from aircraft

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zones C1 and D. Zone C1 limits average intensity to 100 people per acre. Within the March Airport Influence Area, Zone D does not restrict non-residential intensity. Approximately 27.57 acres within the site are located in Zone C1, and 8.02 acres are located in Zone D.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and the March Air Reserve Base/Inland Port Airport Compatibility Plan, the following rates were used to calculate potential occupancy for the proposed buildings in Compatibility Zones C1 and D:

- Office – 1 person per 200 square feet (with 50% reduction),
- Warehouse – 1 person per 500 square feet.

The project proposes a total 718,000 square foot industrial warehouse building, including 688,000 square feet of warehouse area and 30,000 square feet of office area, potentially accommodating 1,526 people, resulting in an average intensity of 43 people per acre. The proposed building is split between Zones C1 and D, with 620,500 square feet of warehouse area and 10,000 square feet of office area located in Zone C1 accommodating 1,291 people and an average intensity of 47 people per acre; and 67,500 square feet of warehouse area and 20,000 square feet of office area located in Zone D accommodating 235 people and an average intensity of 29 people per acre. These intensities are consistent with the Compatibility Zone C1 criterion of 100 (and Zone D which is not restricted).

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of parking spaces (604 spaces) and truck trailer spaces (242 spaces) provided, the total occupancy would be estimated at 1,148 people for an average intensity of 32 people per acre, which is consistent with the Compatibility Zone C1 average criterion of 100 and Zone D which is not restricted.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone C1 limits maximum single-acre intensity to 250 people. Within the March Airport Influence Area, Zone D does not restrict non-residential intensity. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area would consist of 33,560 square feet of warehouse area and 10,000 square feet of office area located in Zone C1, resulting in a single acre occupancy of 117 people, which is consistent with the Compatibility Zone C1 single acre criterion of 250. (The maximum single-acre area in the Zone D portion of the site results in an occupancy of 147 people, which would also be consistent with the Compatibility Zone C1 criterion and Zone D, which is not restricted).

March Air Reserve Base/United States Air Force Input: Given that the project site is located in Zone C1 northerly of the runway at March Air Reserve Base, the March Air Reserve Base staff was notified of the project and sent a package of plans for their review. As of the time this staff report was prepared, we were still awaiting comments from the Air Force regarding this project.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zones C1 and D.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as between 60-65 and outside the 60 CNEL range from aircraft noise. As a primarily industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the warehousing area would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the building.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (1,535 feet AMSL). At a distance of approximately 3,683 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,571.8 feet AMSL. The site's maximum elevation is 1,556 feet AMSL and the proposed building height is 50 feet, for a top point elevation of 1,606 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service (FAA OES) is required. Submittal to the FAAOES was made, and Aeronautical Study Number 2019-AWP-964-OE has been assigned to this project. At the time of writing of this staff report, no determination has been made, but the study is in a "Work in Progress" status.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

General Plan Amendment/Zone Change: The proposed Industrial General Plan designation and zoning would be as, or more, consistent with the Compatibility Plan than the existing designation.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight

final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

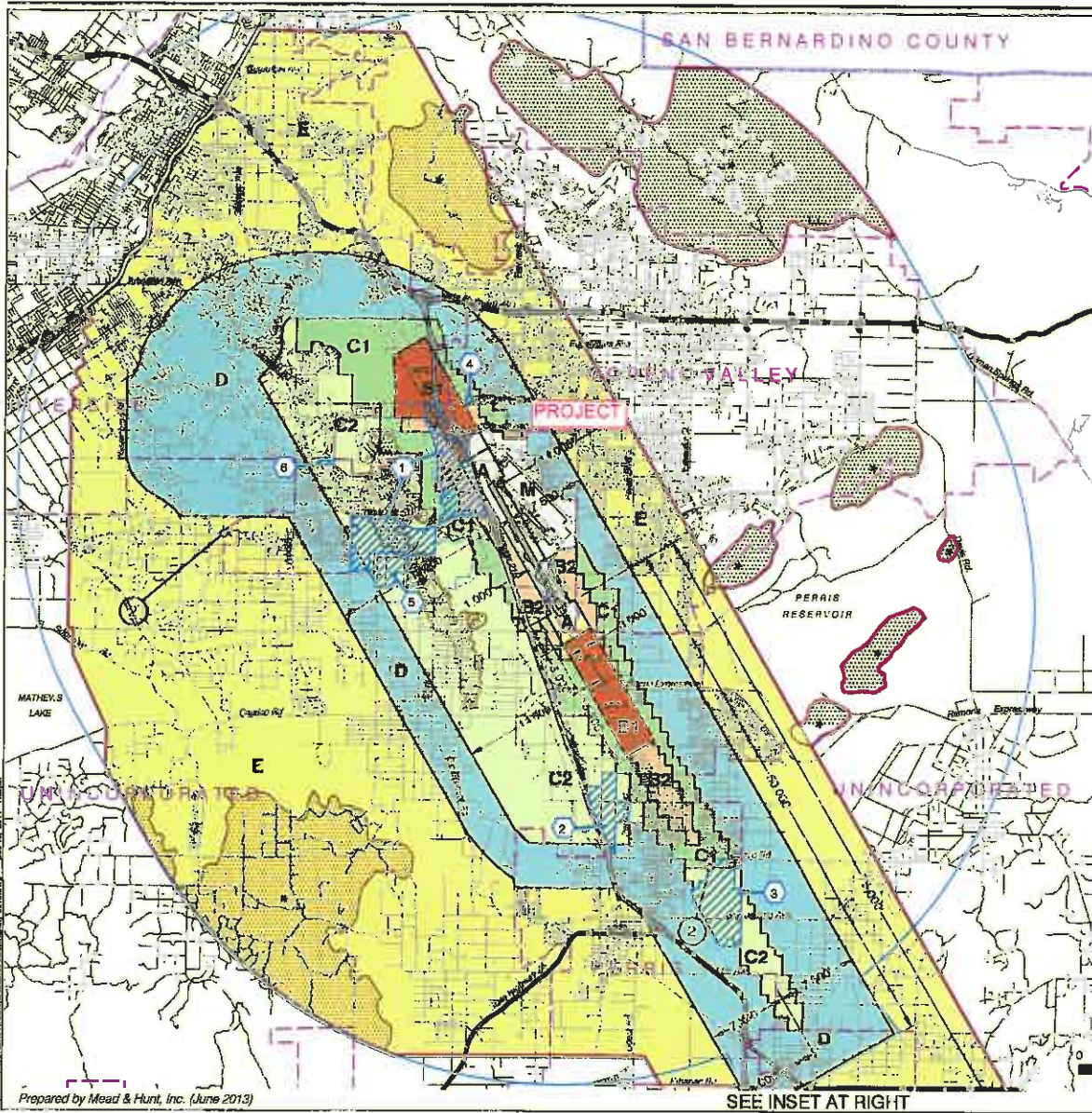
- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, places of assembly (including churches and theaters), noise sensitive outdoor nonresidential uses, and hazards to flight.
3. The attached notice shall be given to all prospective purchasers of the property and tenants or lessees of the building, and shall be recorded as a deed notice.
 4. The site plan does not depict any aboveground detention basins on the property. Any detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around such detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
 6. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.

7. This project has been evaluated for a 718,000 square foot building including 688,000 square feet of warehouse area and 30,000 square feet of office area. Any increase in building area or change in use other than for warehouse and designated office uses will require an amended review by the Airport Land Use Commission.
8. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

Y:\AIRPORT CASE FILES\March\ZAP1344MA18\ZAP1344MA18sr.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

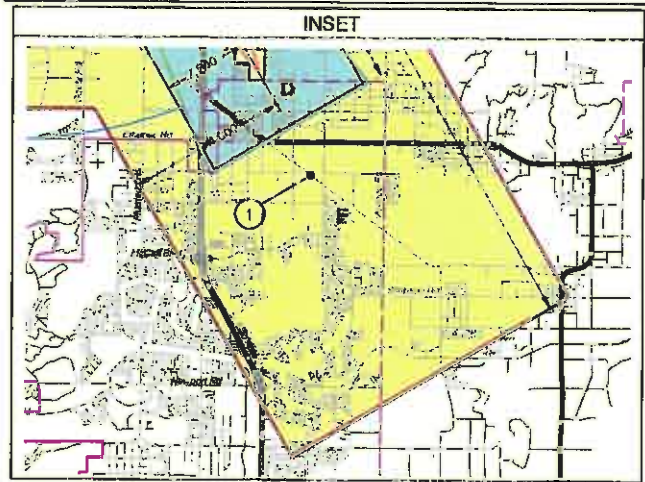
Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

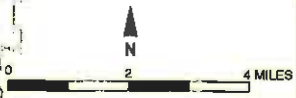
② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian
 ② Perris: Harvest Landing
 ③ Perris: Park West
 ④ Moreno Valley: Affordable Housing
 ⑤ March JPA: Ben Clark Training Center
 ⑥ Riverside: Ridge Crest Subdivision



**Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)**

Note:
 All dimensions are measured from
 runway ends and centerlines.



Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

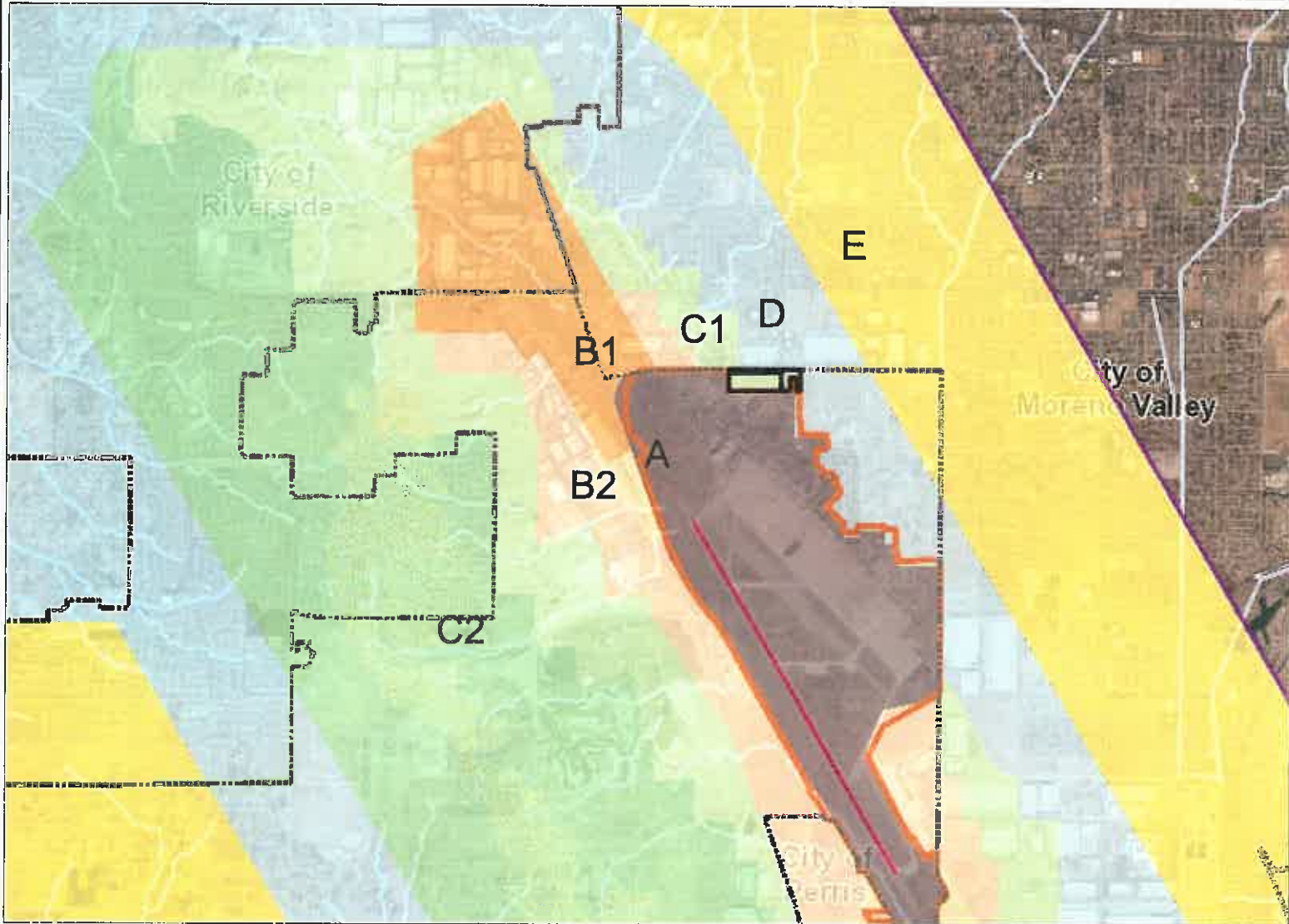
SEE INSET AT RIGHT

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

K-4 Vicinity Map



Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas

Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

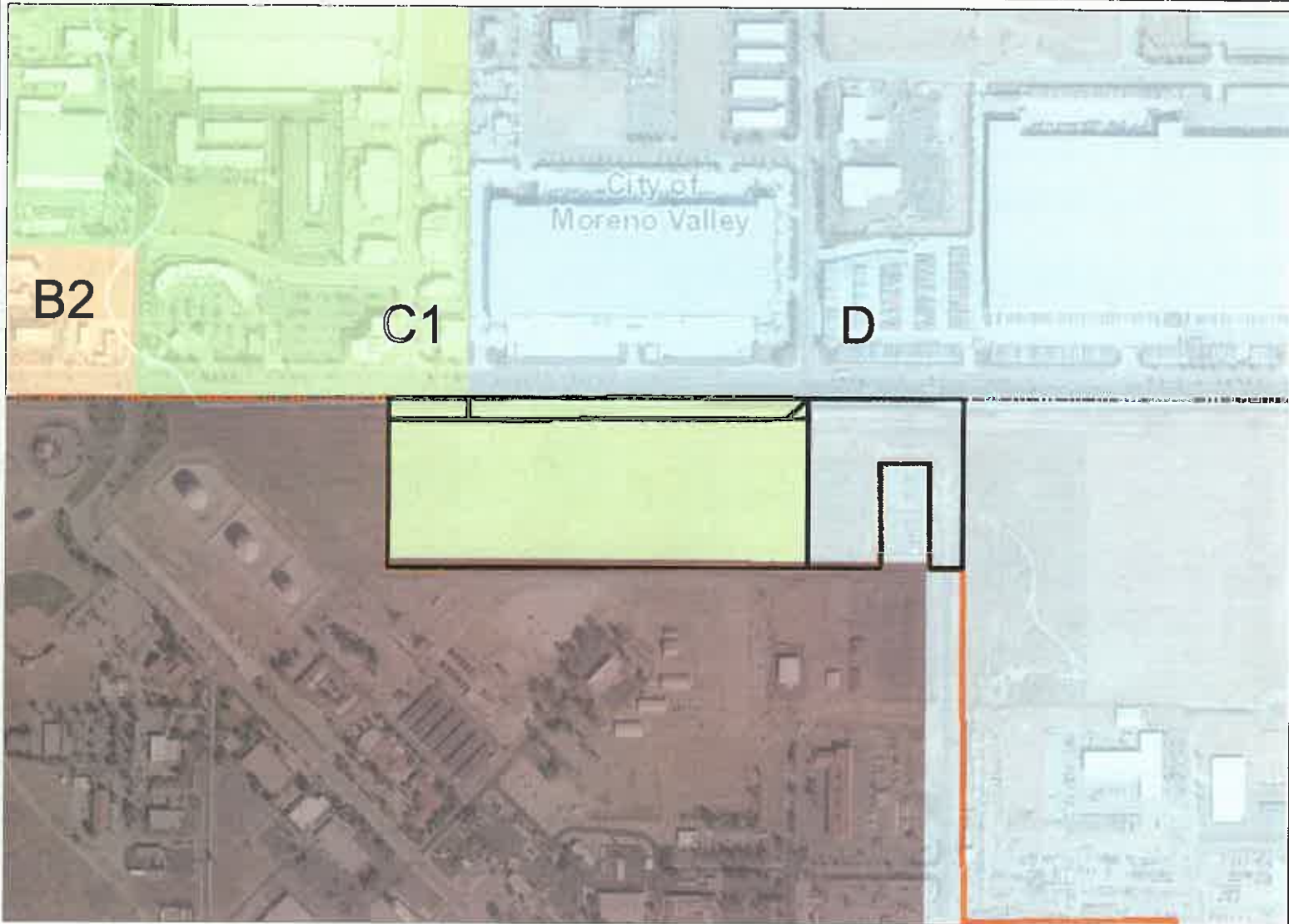


REPORT PRINTED ON... 1/9/2019 8:24:00 AM

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Notes

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-FXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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Notes

Map My County Map



Legend

-  City Areas
-  World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map

Notes



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Map My County Map



Legend

- Blue Line Streams
- City Areas
- World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Notes

The proposed Project known as K-4 collectively involves the development of the five (5) parcels on approximately 35.4-acre site with 718,000 square foot building and the installation of a box culvert within the Cactus Channel. The proposed site plan for development on the K4 Parcel with a proposed e-commerce/fulfillment center, which is the most intense use that could operate on the Project site is shown in Figure 4, K4 Warehouse Site Plan. The maximum exterior building height would be 46 feet at the parapet. A total of 289 automobile parking stalls and 317 truck trailer parking stalls would be provided. The building would include a total of 105 loading dock positions for trucks. Vehicles would access the Project site via Cactus Avenue, a designated truck route, and new driveways aligned with the termination of Veterans Way on the west end of the Project site and the terminus of Frederick Street towards the eastern end of the Project site. Once constructed, the e-commerce/fulfillment center use occupying the Project site could potentially be used up to 7 days per week and 24 hours per day. Use of the building would entail storage of smaller products and packages for direct distribution of e-commerce product to end users.

Additionally, the Project would include improvements to the Cactus Channel drainage ditch that runs along the south side of Cactus Avenue, commencing just east of Ellsworth Street, then along the Project frontage, and further to the east ending at the Heacock Channel. The current drainage ditch is proposed to be undergrounded in a box culvert that would run approximately 7,900 linear feet and would vary in width from an 11-foot wide box to a 9-foot wide double box (approximately 19 feet in width). This portion of the Project is being discussed with Riverside County Flood Control and Water Conservation District, the City of Moreno Valley, the United States Department of Agriculture (USDA), the Western Riverside County Regional Conservation Authority, and other agencies and landowners that control the land necessary to implement the length of the improvement. The box culvert would be jointly constructed with the Riverside County Flood Control District and Water Conservation District and it would function as part of the District's Master Plan and may require compliance with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) because portions of the work would be done within jurisdictions that are permittees to the MSHCP.

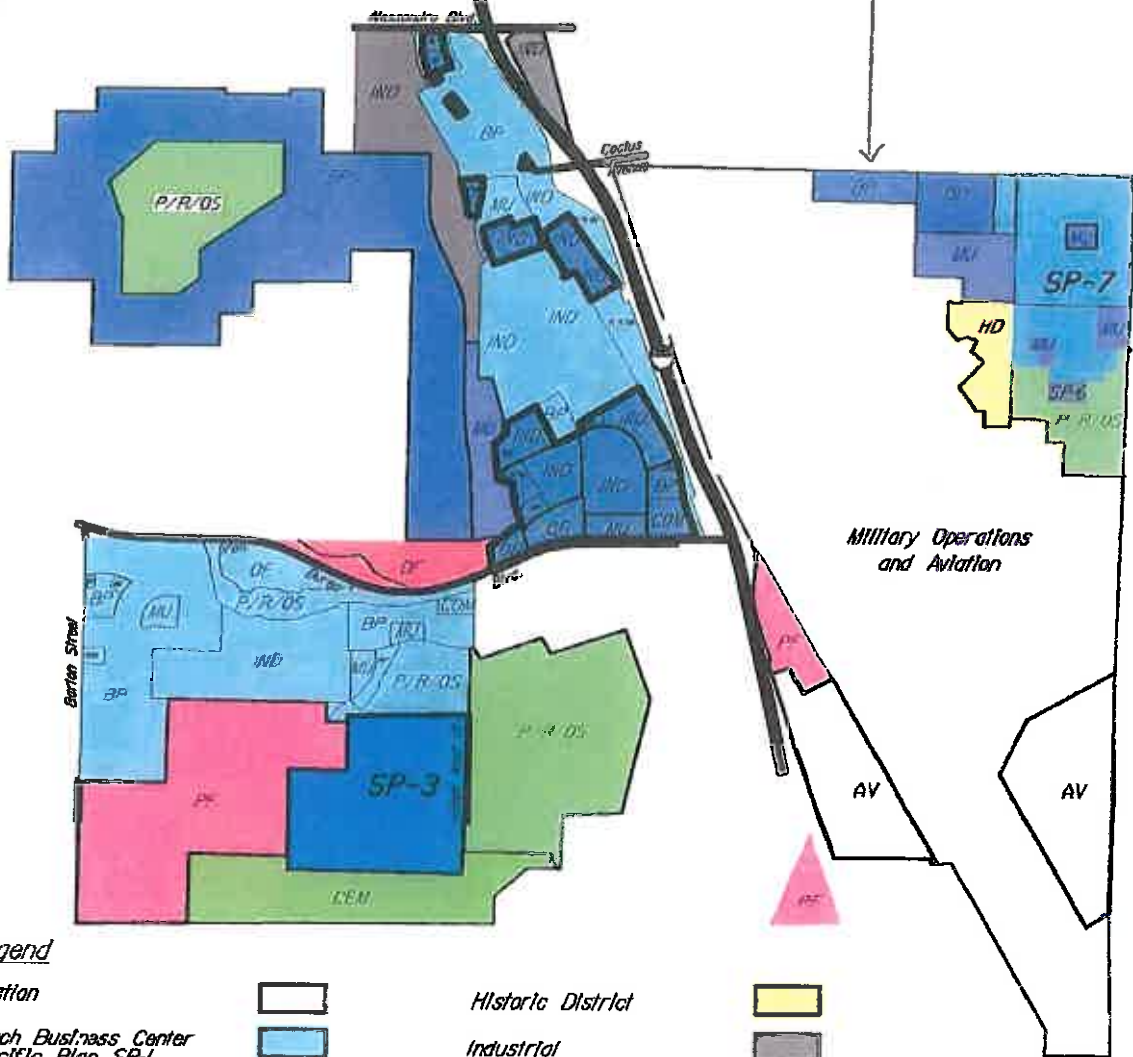
The following approvals may be required for the proposed Project:

- **General Plan Amendment:** The Project site has a land use designation of Business Park within the existing March JPA General Plan. The Project proposes to change the existing Business Park land use designation to Industrial; as such, a General Plan Amendment is required for this change.
- **Zoning Designation:** As the Project site has not previously been given a zoning designation, to be consistent with the requested General Plan land use designations of Industrial, the proposed Project is pursuing a zoning designation of Industrial (IND) for the 35.4-acre site.
- **Plot Plan:** A plot plan approval is required to construct the 718,000 square foot building, 289 automobile parking stalls, and 317 truck trailer parking stalls.

K-4 Existing General Plan

Subject Site

K:\Meridian\South Campus\Specific Plan Amendment\Figures\Fig1-3-EX_General_Plan_Land_Uses-GPA.dwg 10-06-17-12:37 PM



Legend

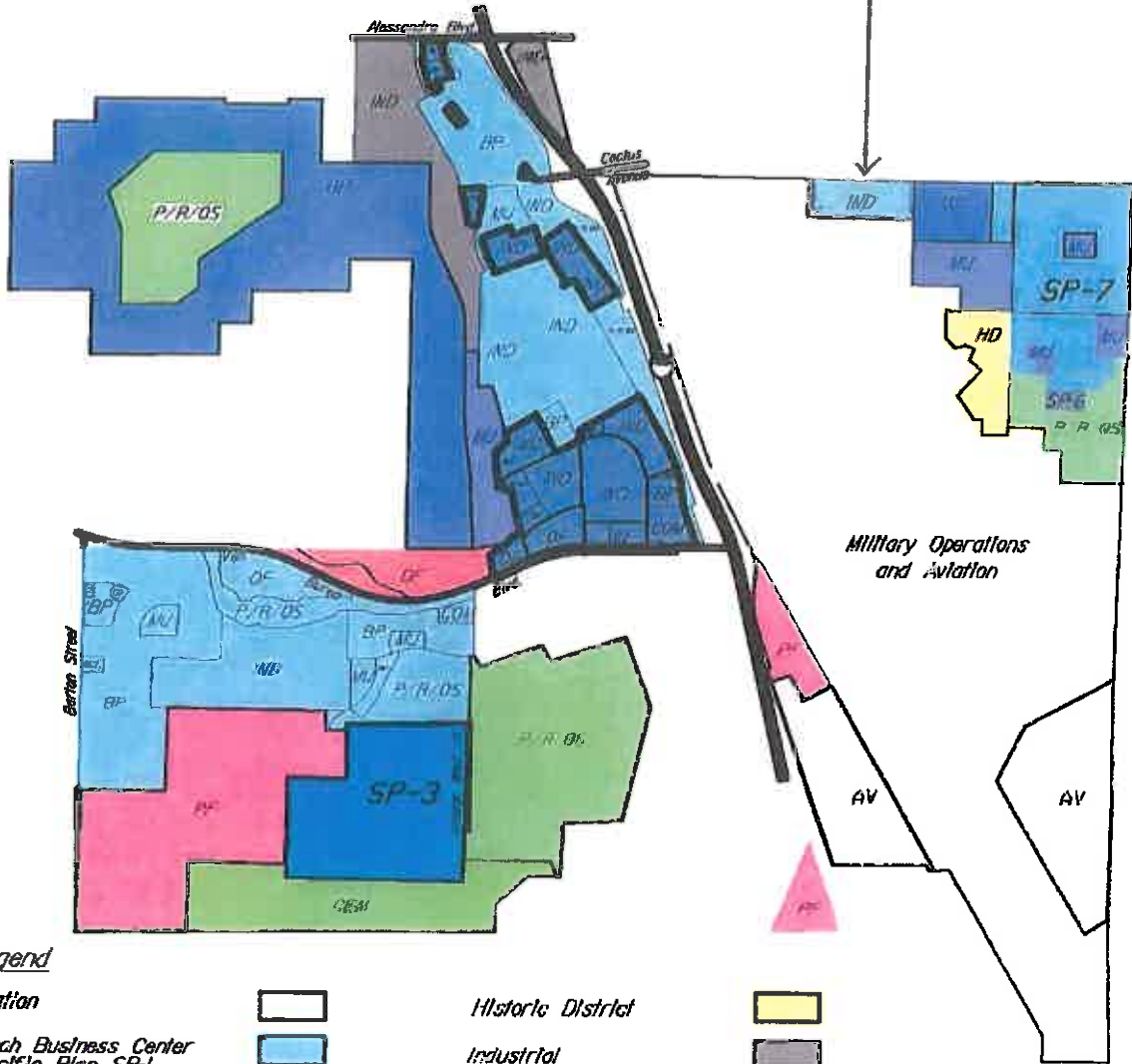
Aviation		Historic District	
March Business Center Specific Plan SP-1		Industrial	
Meridian Specific Plan Amendment SP-5		March Air Reserve Base	
Air Force Village West Specific Plan SP-3		Mixed Use	
US Vets Specific Plan SP-6		Office	
March LifeCare Campus Specific Plan SP-7		Park/Recreation/Open Space	
Business Park		Public Facility	
Cemetery		Meridian Specific Plan Amendment, SP-5 Ord 10-2	
		*NAP-Not a Part	

GENERAL PLAN LAND USE PLAN

K-4 Proposed General Plan

Subject Site

K:\Meridian\South Campus\Specific Plan Amendment\Exhibits\Figures\DWG\2017.09.28 - Revisions\y-Fig1-3-EX_General_Plan_Land_Uses-GPA.dwg 10-06-17-12:37 PM



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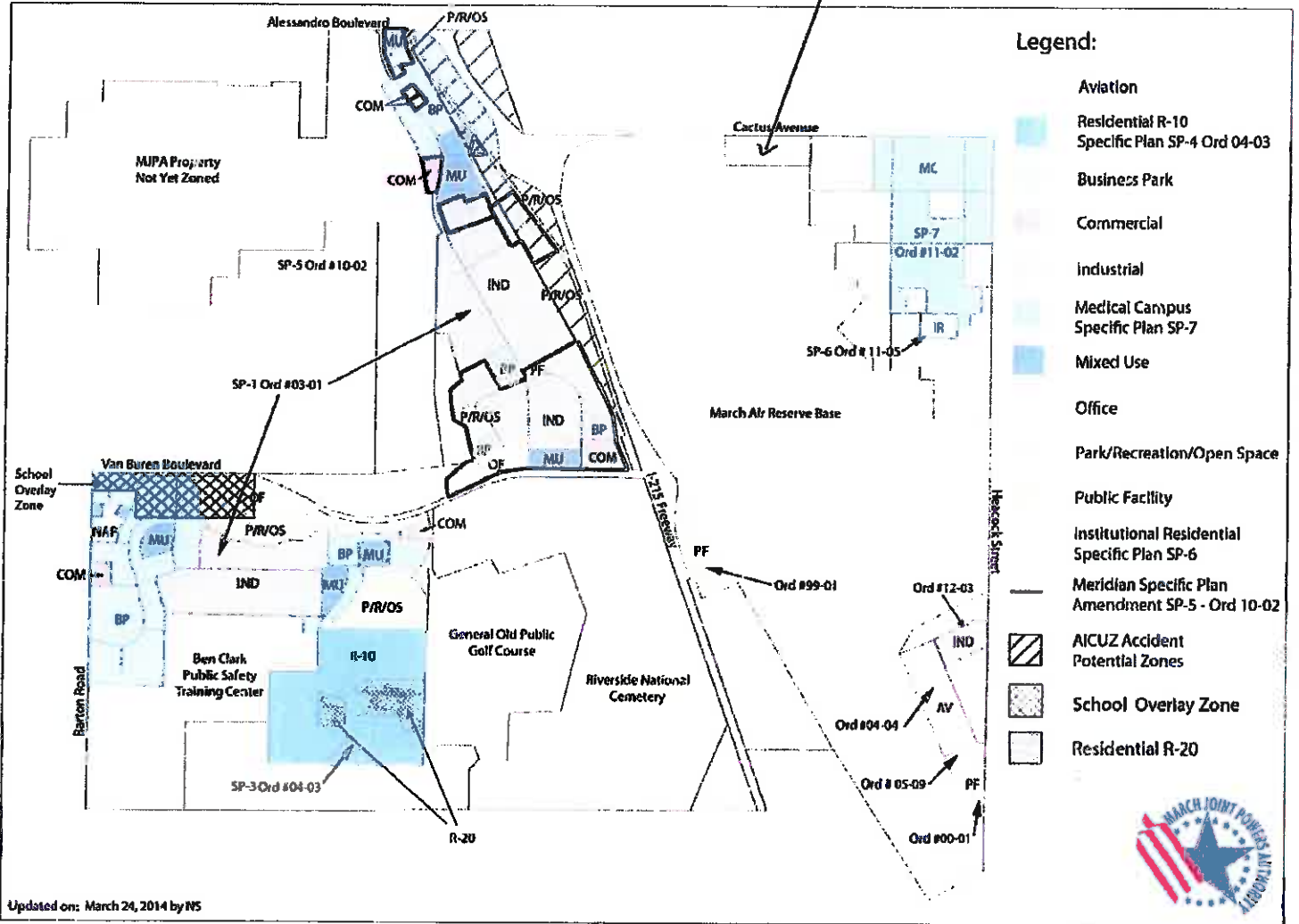
Aviation		Historic District	
March Business Center Specific Plan SP-1		Industrial	
Meridian Specific Plan Amendment SP-5		Marsh Air Reserve Base	
Air Force Village West Specific Plan SP-3		Mixed Use	
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March LifeCare Campus Specific Plan SP-7		Park/Recreation/Open Space	
Business Park		Public Facility	
Cemetery		Meridian Specific Plan Amendment, SP-5 Ord 10-2	
		*NAP-Not a Part	

GENERAL PLAN LAND USE PLAN

K-4 Existing Zoning (not zoned)

Zoning Map March Joint Powers Authority

Subject Property



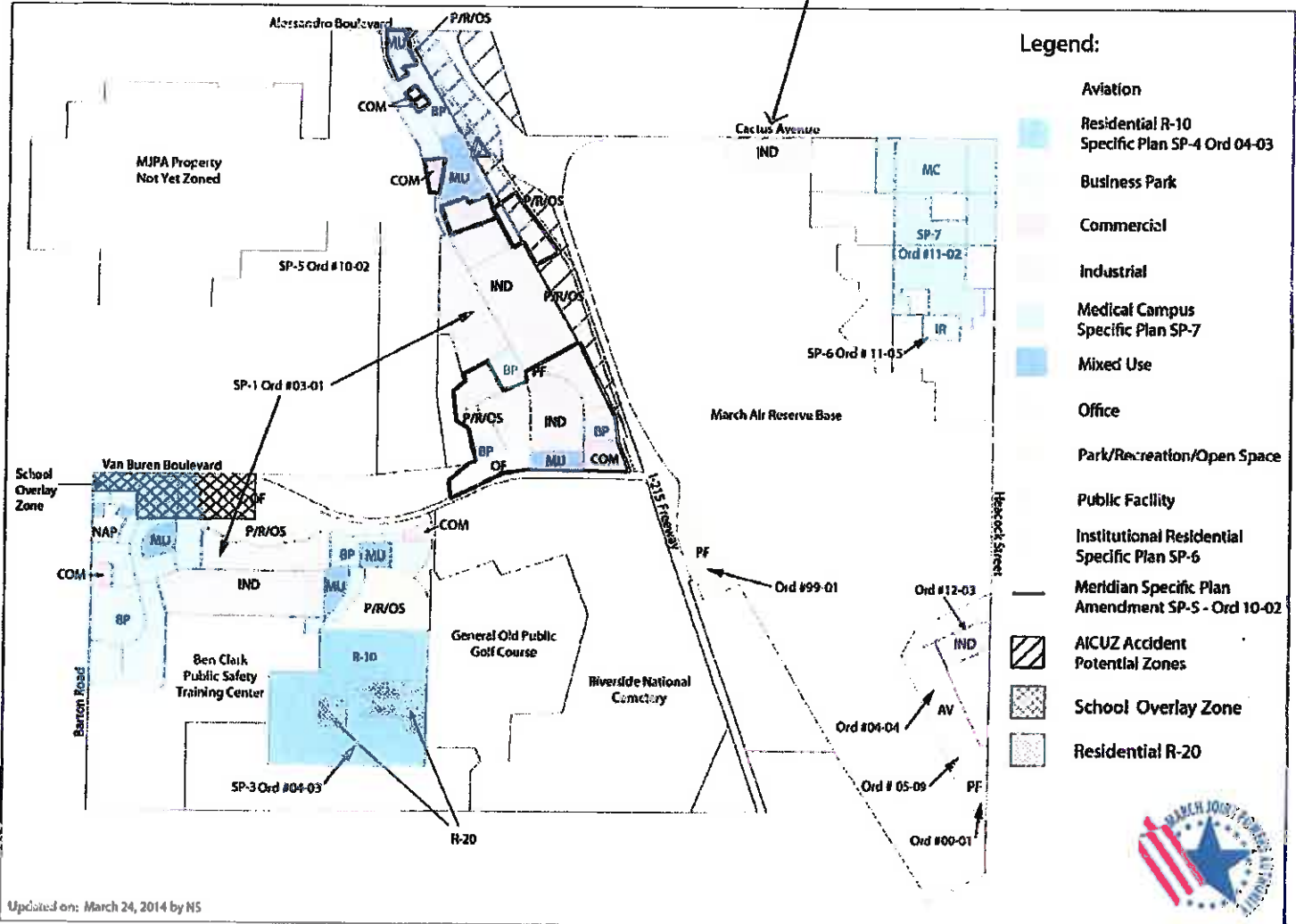
Updated on: March 24, 2014 by WS



K-4 Proposed Zoning

Zoning Map March Joint Powers Authority

Subject Property



Updated on: March 24, 2014 by NS



AIRPORT COMPATIBILITY ZONES

	SITE IN ACRES	ESTIMATED OFFICE WORKERS	ESTIMATED WAREHOUSE	TOTAL BUILDING SF
ZONE C-1	17.27	12,000	650,000	810,000
TOTAL	35.50	35,000	680,000	710,000

PROJECT DATA

SITE AREA:	35.44 AC
BUILDING AREA:	710,000 SF
GROUND FLOOR:	710,000 SF
MEZZANINE:	0 SF
TOTAL:	710,000 SF
OD: CRAGE:	46.51'

PARKING REQUIRED:

16,000 SF OFFICE @ 0.3/1,000	69 STALLS
0 - 50,000 SF @ 1/1,000	96 STALLS
50,000 - 200,000 SF @ 0.2/1,000	56 STALLS
500,000 SF @ 0.2/1,000	100 STALLS
TOTAL STALLS REQUIRED	269 STALLS

AUTO PARKING PROVIDED:

STANDARD STALLS	545 STALLS
STANDARD ACCESSIBLE	9 STALLS
STANDARD ACCESSIBLE EV	1 STALL
VAN ACCESSIBLE	2 STALLS
VAN ACCESSIBLE EV	1 STALL
AMBU-LATORY	1 STALL
CLEAN AIR	12 STALLS
EV CHARGING	38 STALLS
TOTAL STALLS PROVIDED	604 STALLS

LOADING DOCK POSITIONS: 105 DOCKS
GRADE DOOR POSITIONS: 2 DOORS
TRUCK TRAILER STALLS 12' X 55': 242 STALLS

BIKE PARKING: REQUIRED @ 1/200 AUTO STALLS PROVIDED: 18

LANDSCAPE AREA REQUIRED @ 10%: 124,362 SF
LANDSCAPE AREA PROVIDED: 150,000 SF

MINIMUM SETBACKS REQUIRED (NO CHANGE):

FRONT BUILDING	20'
SIDE BUILDING	10'
REAR BUILDING	20'
REAR LANDSCAPING	5'

BUILDING HEIGHT: 46'-0"
ARCHITECTURAL FEATURE HEIGHT (AT BUILDING'S MAIN CORNERS ONLY): 60'-0"

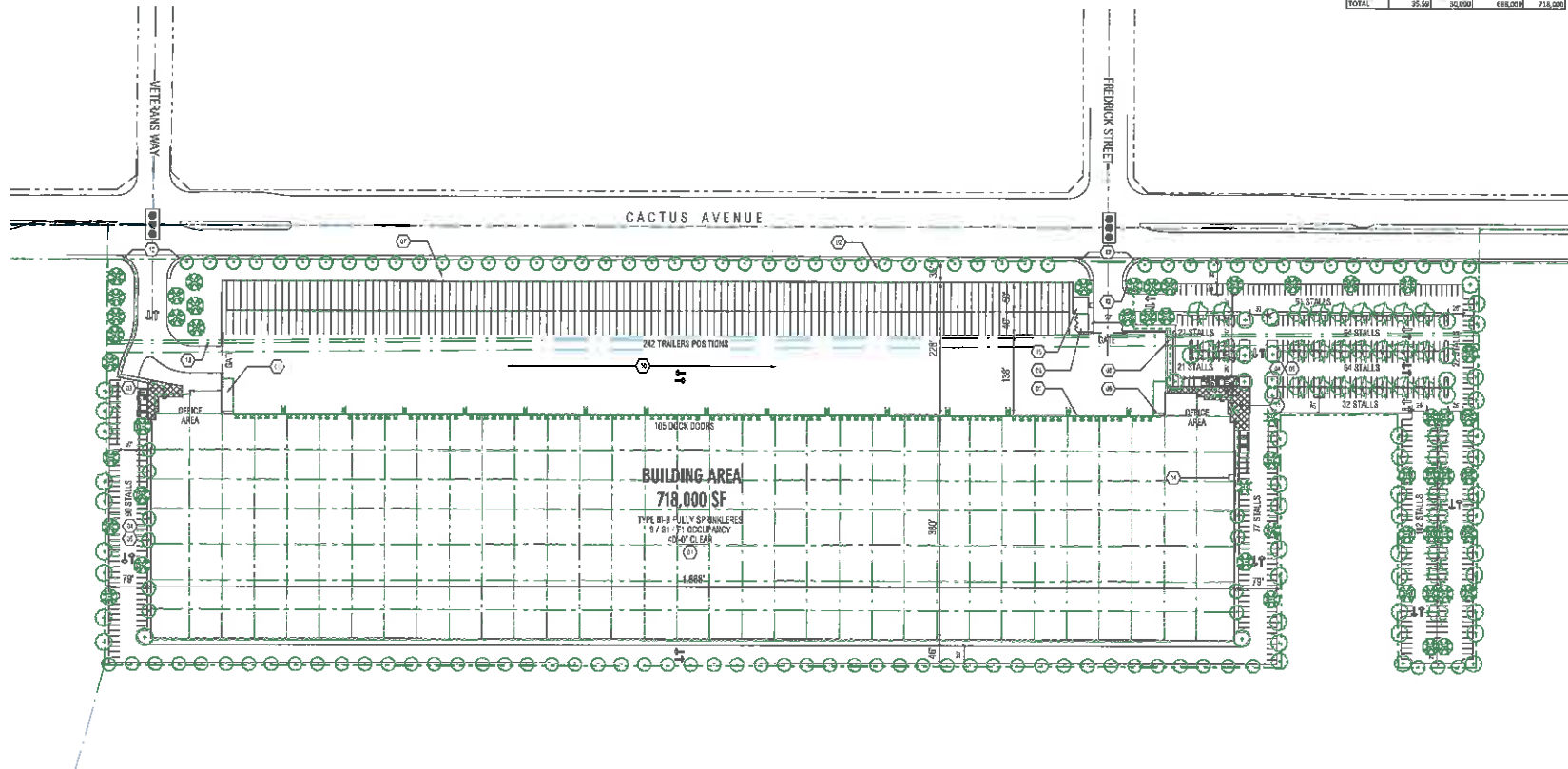
KEYNOTES

1. ALL UTILITIES SHALL BE DEEPENED TO 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
2. ALL UTILITIES SHALL BE DEEPENED TO 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
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UTILITY PROVIDERS

ELECTRIC	SDG&E
WATER	SDG&E
SEWER	SDG&E
TELEPHONE	SDG&E

VICINITY MAP



SITE PLAN

STANDARD JPA NOTES

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30. ALL UTILITIES SHALL BE DEEPENED TO 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.



K-4 PARCEL
 CACTUS AVE. RIVERSIDE, CA
 PRELIMINARY SITE PLAN

NO.	DATE	DESCRIPTION	BY	CHKD.
10	08/11/2021	PRELIMINARY SITE PLAN	MM	MM
11	08/11/2021	CONCEPTUAL SITE PLAN	MM	MM
12	08/11/2021	REVISIONS	MM	MM

PROJECT NO: 2021-08-01
 SHEET NO: 108 OF 108
 DATE: 08/11/2021
 DRAWN BY: MM
 CHECKED BY: MM
 PROJECT TITLE: PRELIMINARY SITE PLAN

A1-01P

PROJECT DATA	
SITE AREA:	154,621 SF 35.44 AC
BUILDING AREA:	718,000 SF
MEZZANINE:	718,000 SF
TOTAL:	718,000 SF
	46.51 %

PARKING REQUIRED:	
18,000 SF OFFICE @ 0.2:1000	60 STALLS
0 - 50,000 SF @ 1:1000	50 STALLS
50,000 - 200,000 SF @ 0.5:1000	50 STALLS
200,000 SF @ 0.2:1000	100 STALLS
TOTAL STALLS REQUIRED	260 STALLS

AUTO PARKING PROVIDED:	
STANDARD STALLS	545 STALLS
STANDARD ACCESSIBLE	8 STALLS
STANDARD ACCESSIBLE BY VAN ACCESSIBLE BY	1 STALL
VAN ACCESSIBLE BY	2 STALLS
AMBULATORY	1 STALL
CY CHANGING	12 STALLS
CLEAN AIR	1 STALL
TOTAL STALLS PROVIDED	604 STALLS

LOADING DOCK POSITIONS	105 DOCKS
GRADE DOOR POSITIONS	2 DOORS
TRUCK TRAILER STALLS 12' X 10'	242 STALLS

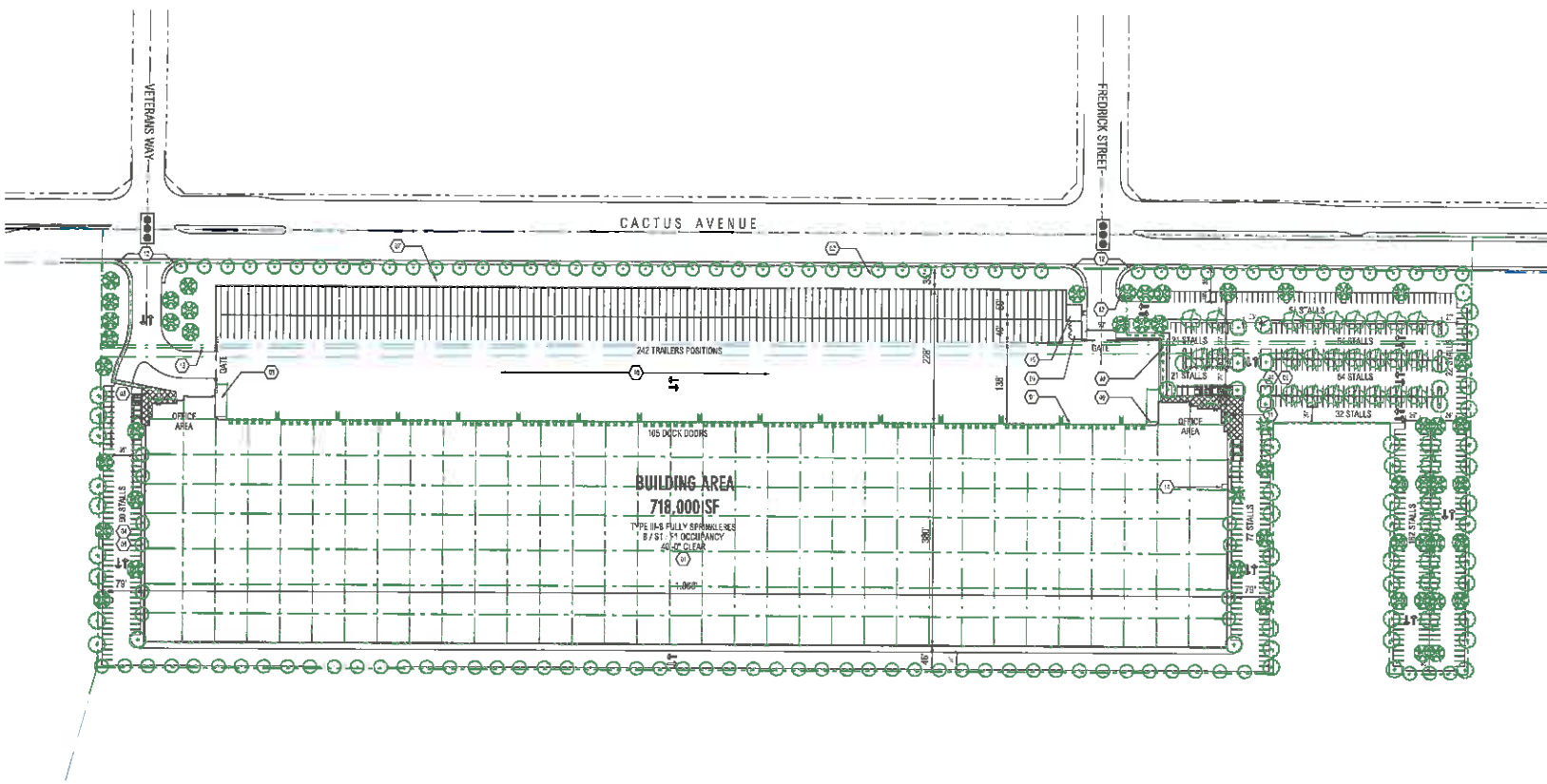
BIKE PARKING:	15
PROVIDED @ 1/200 AUTO STALLS	15
PROVIDED	15

LANDSCAPE AREA REQUIRED @ 10%:	54,362 SF
LANDSCAPE AREA PROVIDED:	56,022 SF
	10.7%

MINIMUM SETBACKS REQUIRED (NO CHANGE)	
FRONT BUILDING	20'
FRONT LANDSCAPE	10'
SIDE BUILDING	5'
SIDE LANDSCAPE	5'
REAR BUILDING	20'
REAR LANDSCAPE	5'

BUILDING HEIGHT	45'-0"
ARCHITECTURAL FEATURE HEIGHT (IF BUILDING'S MAIN CORNER ONLY)	50'-0"

- KEYNOTES**
1. UNFINISHED CONCRETE SLAB, FINISHED CONCRETE FLOOR FINISH AREA TO BE DETERMINED BY THE ARCHITECT. FINISH AREA TO BE DETERMINED BY THE ARCHITECT. FINISH AREA TO BE DETERMINED BY THE ARCHITECT.
 2. BUILDING SHALL BE PROVIDED WITH 105 DOCKS AND 2 DOORS.
 3. FINISHED CONCRETE FLOOR FINISH AREA TO BE DETERMINED BY THE ARCHITECT. FINISH AREA TO BE DETERMINED BY THE ARCHITECT.
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 15. FINISHED CONCRETE FLOOR FINISH AREA TO BE DETERMINED BY THE ARCHITECT. FINISH AREA TO BE DETERMINED BY THE ARCHITECT.



SITE PLAN

STANDARD JPA NOTES

1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
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UTILITY PROVIDERS

ELECTRIC	SDG&E
WATER	SDG&E
SEWER	SDG&E
TELEPHONE	SDG&E
CABLE	SDG&E
INTERNET	SDG&E

VICINITY MAP



K-4 PARCEL
CACTUS AVE. RIVERSIDE, CA
PRELIMINARY SITE PLAN

NO.	DATE	DESCRIPTION	BY
1	08/15/2024	PRELIMINARY SITE PLAN	J. J. J.
2	08/15/2024	PRELIMINARY SITE PLAN	J. J. J.

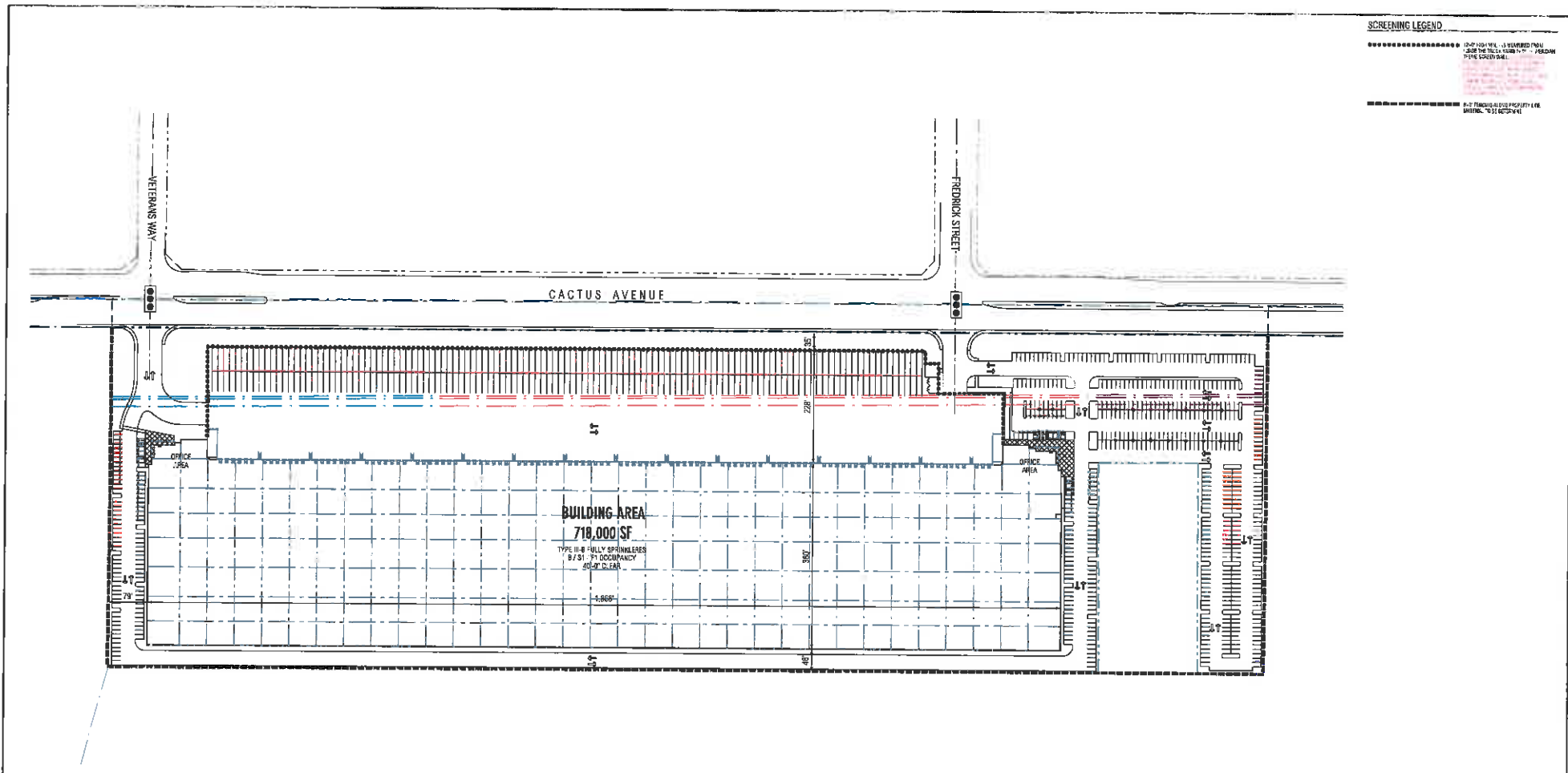
FOR PROJECT NO.		REPORT
PROJECT NAME	185-133-01	CD
DATE	08/15/2024	CD
CITY	RIVERSIDE, CALIFORNIA	CD
PROJECT NO.	185-133-01	CD
DATE	08/15/2024	CD

A1-01P

SCREENING LEGEND

..... 10' TYPICAL ALUMINUM POST/PIPE RAILING - 10' SECTION

..... 10' TYPICAL ALUMINUM POST/PIPE RAILING - 10' SECTION



BUILDING AREA
718,000 SF
 TYPE III-B FULLY SPRINKLERED
 9/51-71 OCCUPANCY
 95'-0" CLEAR

SITE FENCING & SCREENING PLAN

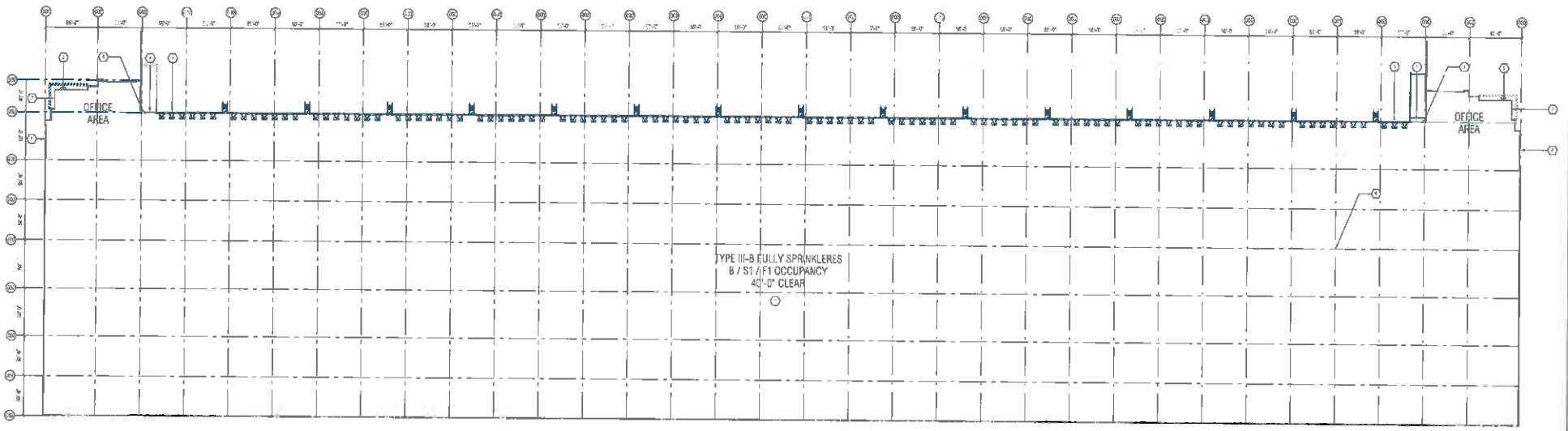


K-4 PARCEL
 CACTUS AVE. RIVERSIDE, CA
 SITE FENCING & SCREENING PLAN

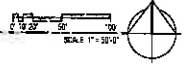
NO.	DATE	DESCRIPTION
1	08/11/18	PLANS SUBMITTED
2	09/07/18	CONCEPTUAL SITE PLAN
3	09/21/18	REVISIONS

PROJECT NO.	18040
PROJECT NAME	18040-K-4
DATE	08/11/18
DESIGNER	CS
DESIGNER'S MAIL STOP # OF ARCHITECTURAL RECORDS	
SHEET NO.	A1-02P

- KEYNOTES**
- 1. SPRINKLER SYMBOLS TO BE INSTALLED AS SHOWN
 - 2. RATED SPRINKLER
 - 3. SPACING TO BE MAINTAINED AS SHOWN
 - 4. SPRINKLER TO BE INSTALLED AS SHOWN
 - 5. SPRINKLER TO BE INSTALLED AS SHOWN
 - 6. SPRINKLER TO BE INSTALLED AS SHOWN
 - 7. SPRINKLER TO BE INSTALLED AS SHOWN
 - 8. SPRINKLER TO BE INSTALLED AS SHOWN



FLOOR PLAN



K-4 PARCEL

CACTUS AVE. RIVERSIDE, CA

FLOOR PLAN

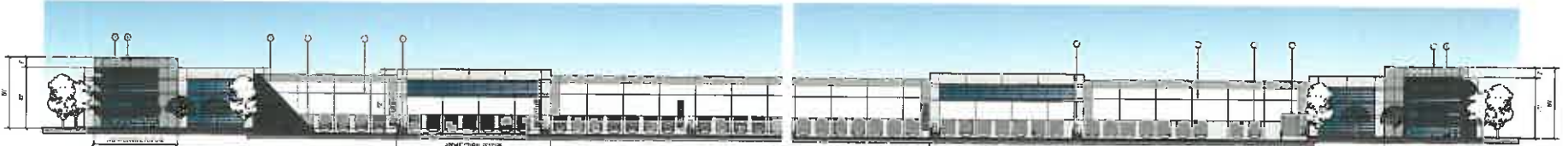
SP	REV	DATE	DESCRIPTION

PROJECT NO.	
DATE	
OWNER	
DESIGNER	
SCALE	

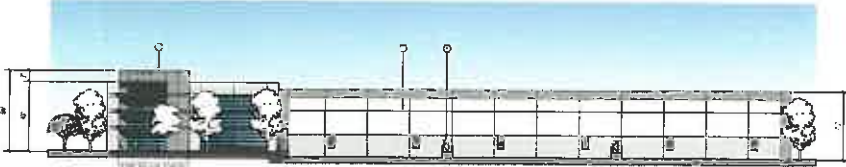
A2-01P



NORTH ELEVATION MAIN - CACTUS AVENUE
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - ENLARGED
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL WORK TO BE ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.

KEYNOTES

1. FINISH SCHEDULE
2. PAINTED SURFACE WITH HIGH GLOSS - EXTERIOR SET TRUCK SIGN
3. PAINTED SURFACE WITH HIGH GLOSS - EXTERIOR SET TRUCK SIGN
4. 3/4" P. PAINTED METAL PANELS
5. 1/2" P. PAINTED METAL PANELS
6. 1/4" P. PAINTED METAL PANELS
7. 1/8" P. PAINTED METAL PANELS
8. 1/16" P. PAINTED METAL PANELS
9. 1/32" P. PAINTED METAL PANELS
10. 1/64" P. PAINTED METAL PANELS

FINISH SCHEDULE

1. PAINTED SURFACE WITH HIGH GLOSS - EXTERIOR SET TRUCK SIGN
2. PAINTED SURFACE WITH HIGH GLOSS - EXTERIOR SET TRUCK SIGN
3. PAINTED SURFACE WITH HIGH GLOSS - EXTERIOR SET TRUCK SIGN
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8. PAINTED SURFACE WITH HIGH GLOSS - EXTERIOR SET TRUCK SIGN
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10. PAINTED SURFACE WITH HIGH GLOSS - EXTERIOR SET TRUCK SIGN

KEYPLAN



SCALE: AS SHOWN

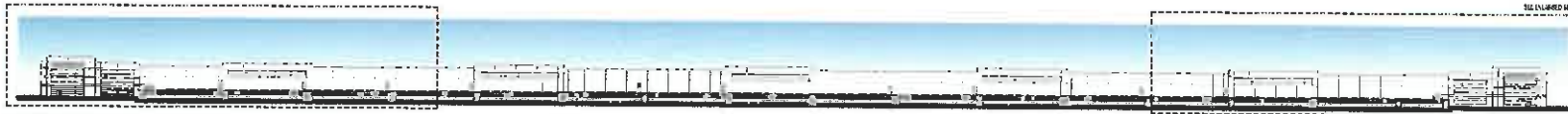


K-4 PARCEL
CACTUS AVE. RIVERSIDE, CA
PRELIMINARY ELEVATIONS

NO.	DATE	DESCRIPTION

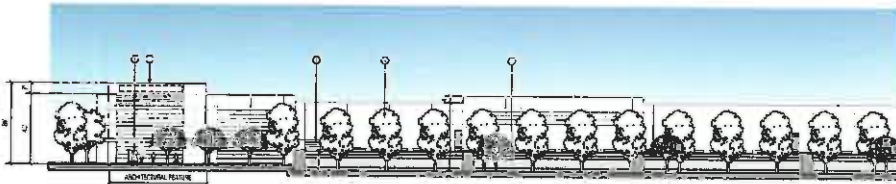
NO.	DATE	DESCRIPTION

A3-01P



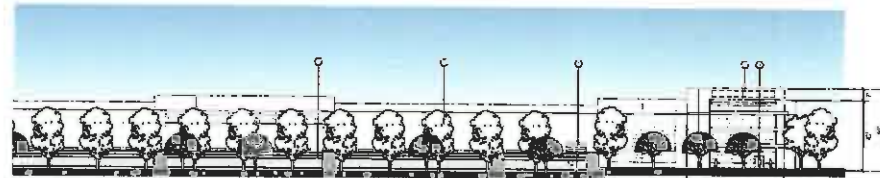
NORTH SCREEN WALL ELEVATION - CACTUS AVENUE

SCALE: 1/4\"/>



NORTH SCREEN WALL ELEVATION - ENLARGED

SCALE: 1/8\"/>



SCALE: ENLARGED 1/8\"/>

GENERAL NOTES

- 1. ALL NOTES AND FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.

KEYNOTES

- 1. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 2. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 3. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
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- 8. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 9. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 10. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.

FINISH SCHEDULE

- 1. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 2. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 3. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 4. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 5. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.
- 6. FINISH SCHEDULES WILL BE SO ORDERED TO APPLY TO THE FINISH SCHEDULES.

KEYPLAN



K-4 PARCEL

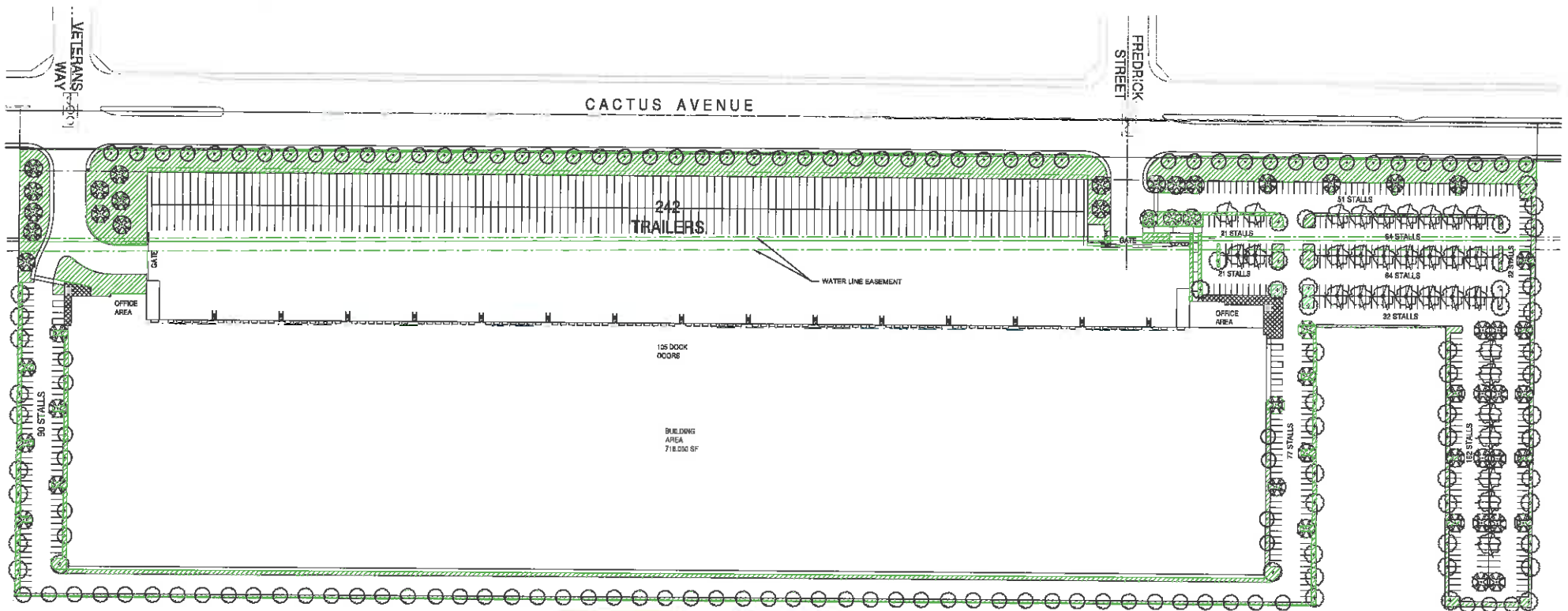
CACTUS AVE. RIVERSIDE, CA

NORTH SCREEN WALL ELEVATION - CACTUS AVE.

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

A3-02P



PLANTING LEGEND

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	COMMENTS
●	TR	TREES				
○	RHU LAN	Rhus lancea	African Sumac	24" Box	L	Standard
○	LAC IND	Lagerstrœmia indica 'Tuckermor'	Crope Myrtle	24" Box	Med	Standard
○	ULM PAR	Ulmus parvifolia	Chinese Elm	15 GAL	L	Standard
○	PIV ELD	Pinus edulis	Alphon Pine	15 GAL	L	Standard
○	PRO CH	Prosepe chilensis	Chilean Mesquite	15 GAL	L	Standard
■	SHRUBS					
■	AGA ATT	Agave attenuata	Fountain Agave	5 Gal	L	
■	ALO VER	Aloe Vera	Medicinal Aloe	5 Gal	L	
■	ART BIA	Argemone mexicana 'Yellow Cam'	Kingsize Pop	5 Gal	L	
■	BOU SPE	Bougainvillea 'Do-La-La'	Bougainvillea	5 Gal	L	
■	CAL LT	Callistemon 'Little John'	Little John Bottle Brush	5 Gal	L	
■	CAR MAC	Carissa m. 'Green Carpet'	Green Carpet Natal Plum	5 Gal	L	
■	FES MAI	Festuca maui	Atlas Fescue	5 Gal	L	
■	HES PAR	Hesperaloe parviflora	Red Yucca	5 Gal	L	
■	MUN HG	Muhlenbergia rigens	Deer Grass	5 Gal	L	
■	ROS OFF	Rosmarinus officinalis 'Prostratus'	Trailing Rosemary	1 Gal	L	
■	SEN MAN	Senecio mandraliscae	Blue Chablis	1 Gal	L	
■	YUC FL	Yucca filamentosa 'Bright Edge'	Adam's Needle	5 Gal	L	



LANDSCAPE CALCULATION

SITE AREA: 1,543,621 SF (35.15 ACRES)
 LANDSCAPE AREA REQUIRED: 10% (154,362 SF)
 LANDSCAPE AREA PROVIDED: 17% (262,415 SF) (+108,053 SF)
 MAXIMUM APPLIED WATER ALLOWANCE (MAXAW): 2,487,662 GALLONS
 ESTIMATED TOTAL WATER USE (ETV): 2,199,884 GALLONS



K4 PARCEL - CONCEPTUAL LANDSCAPE

CACTUS AVENUE - MORENO VALLEY, CA
 7/26/18



**NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The March Joint Powers Authority will hold hearings on this item and should be contacted on non-ALUC issues. For more information please contact March Joint Powers Authority Planner Mr. Mathew Evans at (951) 656-7000.

The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, February 18, and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: March 14, 2019

TIME OF HEARING: 9:30 A.M.

CASE DESCRIPTION:

ZAP1344MA18 – Meridian Park K-4, LLC (Representative: Jeff Gordon) – March Joint Powers Authority Case Nos. GPA18-02 (General Plan Amendment), CZ18-01 (Change of Zone), PP18-04 (Plot Plan). A proposal to construct a 718,000 square foot industrial warehouse building on 35.6 acres located southerly of Cactus Avenue, northerly of the March Air Reserve Base, easterly of the southerly terminus of Elsworth Street, and westerly of the southerly terminus of Joy Street. The applicant also proposes amending the site's General Plan Land use designation from Business Park to Industrial and establishing Industrial zoning on the site (no previous zoning). (Airport Compatibility Zones C1 and D of the March Air Reserve Base/Inland Port Airport Influence Area).



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: 201344 MA 18 DATE SUBMITTED: 12-19-18

March
CI+D

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Meridian Park K-4, LLC	Phone Number (949) 279-7339
Mailing Address	1156 North Mountain Avenue Upland, CA 91786	Email jgordon@waypointpg.com
Representative	Jeff Gordon	Phone Number (949) 279-7339
Mailing Address	567 San Nicolas Dr. Newport Beach, CA 92660	Email jgordon@waypointpg.com
Property Owner	Meridian Park, LLC	Phone Number same as above
Mailing Address	1156 North Mountain Avenue Upland, CA 91786	Email same as above

LOCAL JURISDICTION AGENCY

Local Agency Name	March Joint Powers Authority	Phone Number (951) 656-7000
Staff Contact	Mathew Evans	Email evans@marchjpa.com
Mailing Address	14205 Meridian Parway, Suite 140 Riverside, CA 91258	Case Type
Local Agency Project No	Plot Plan 18-04, GPA 18-02, <u>CZ 18-01</u>	<input checked="" type="checkbox"/> General Plan / Specific Plan Amendment <input checked="" type="checkbox"/> Zoning Ordinance Amendment <input type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input checked="" type="checkbox"/> Site Plan Review/Plot Plan <input type="checkbox"/> Other

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	TBD--23000 Block, Cactus Avenue		
Assessor's Parcel No.	297-150-006, 007, 038, 297-160-005, 297-200-004	Gross Parcel Size	35.4 acres
Subdivision Name	N/A	Nearest Airport	
Lot Number	N/A	and distance from Airport	March ARB- 1/2 mile

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	vacant (see detailed project description attached)

Proposed Land Use (describe)	a single warehouse building of 718,000 square feet. The building will have a height at the parapet of 46'. (see detailed project description attached)		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	N/A	
For Other Land Uses (See Appendix C)	Hours of Operation	N/A	
	Number of People on Site	Maximum Number	
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	1,545	ft.
	Height of buildings or structures (from the ground)	46	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes
	If yes, describe		<input checked="" type="checkbox"/> No

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
1. . . . ✓ . . . Completed ALUC Application Form
 1. ALUC fee payment
 1. . . . ✓ . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 1. . . . ✓ . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. . . . ✓ . . . CD with digital files of the plans (pdf)
 1. . . . ✓ . . . Vicinity Map (8.5x11)
 1. . . . ✓ . . . Detailed project description
 1. Local jurisdiction project transmittal
 3. . . . ✓ . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. ✓ . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address (**only required if the project is scheduled for a public hearing Commission meeting**)

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.4

HEARING DATE: March 14, 2019

CASE NUMBER: ZAP1096RI19 – Passco Pacifica, LLC (Representative: EPD Solutions, Inc.)

APPROVING JURISDICTION: City of Riverside

JURISDICTION CASE NO: P18-0970 (General Plan Amendment), P18-0971 (Rezone), P18-0972 (Tract Map), P18-0973 (Planned Residential Development), P18-0974 (Design Review), P18-0975 (Variance)

MAJOR ISSUES: The proposed project results in a density of 7.9 dwelling units per gross acre, which is inconsistent with the Compatibility Zone C maximum density allowance of 0.2 dwelling units per acre (minimum 5 acre lot).

RECOMMENDATION: Staff recommends that the General Plan Amendment and Rezone be found **INCONSISTENT** with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, and that the Tentative Tract Map, Planned Residential Development, Design Review and Variance also be found **INCONSISTENT**.

PROJECT DESCRIPTION: The applicant proposes the following entitlements to facilitate the development of a Planned Residential Development of 56 single family residential lots on 7.07 acres: 1) a General Plan Amendment to change the site's General Plan land use designation from Commercial (C) to Medium Density Residential (MDR); 2) a Zoning Code Amendment to change the site's zoning from Commercial Retail (CR) to Single-Family Residential and Building Stories Overlay Zone (R-1-7000-S-3); 3) a Tentative Tract Map No. 37626 to divide the site's 7.07 acres into 56 single-family residential lots, 14 open space lots, and 11 lettered lots for street purposes; 4) a Planned Residential Development for the establishment of detached single-family dwellings, private streets and common open space; 5) Design Review of project plans; and 6) a Variance to allow a reduced perimeter landscape setback.

PROJECT LOCATION: The site is located southerly of Jurupa Avenue, easterly of Tyler Street, westerly of Idyllwild Lane, and northerly of Mandalay Court, approximately 8,343 feet northwesterly of the westerly terminus of Runway 9-27 at Riverside Municipal Airport.

LAND USE PLAN: 2005 Riverside Municipal Airport Land Use Compatibility Plan

- a. Airport Influence Area: Riverside Municipal Airport
- b. Land Use Policy: Airport Compatibility Zone C
- c. Noise Levels: 55-60 CNEL contour

BACKGROUND:

Residential Density: The site is located in Airport Compatibility Zone C of the Riverside Municipal Airport Influence Area (AIA), which restricts residential density to 0.2 dwelling units per acre (minimum 5 acre lot size). The proposed project of 56 single family units on 7.07 acres results in a density of 7.9 dwelling units per acre, which is inconsistent with the Zone C residential criterion.

County Wide Policy 3.3.1 Infill: Countywide Policy 3.3.1 (Infill) allows for greater densities than would otherwise be permitted in Compatibility Zone C, but caps densities at double the allowable density of the zone. As the maximum density of the zone is 0.2 dwelling units per acre, doubling the density increases the limit from 0.2 to 0.4 dwelling units per acre (2½ acre lot size), which would still not be close to the project's density of 7.9 dwelling units per acre. The existing surrounding tract communities were predominately established in 1970s and 1980s (with one tract approved in 2014 (although it has only been graded with no homes developed), which predates the Riverside Municipal Airport Land Use Compatibility Plan. The approximate residential density of these tracts are 4.7 dwelling units per acre (2.3 dwelling units per acre for the tract approved in 2014.)

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zone C (children's schools, day care centers, libraries, hospitals, nursing homes, buildings with 3 aboveground habitable floors, highly noise-sensitive outdoor nonresidential uses, and hazards to flight). However, as noted above, the proposed density is not consistent with the Zone C residential criterion.

Noise: The site is located within the 55 to 60 dBA CNEL contour from Riverside Municipal Airport. Single family residences are identified as marginally acceptable within the 55 to 60 CNEL contour range. The single family residences would be affected by aircraft generated noise. However, standard construction is normally considered to provide for a 15 dB reduction from exterior noise levels. In the event that the City were to approve this proposal ALUC staff would recommend a condition to incorporate noise attenuation measures into the design of the single family residences to such extent as may be required to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.

Part 77: The elevation of Runway 9-27 at its westerly terminus is 757.6 feet above mean sea level (AMSL). At a distance of approximately 8,343 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 841 feet AMSL. The project site elevation is 764 feet AMSL. With a maximum building height of 35

feet, the resulting top point elevation is 799 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service (FAAOES) for height/elevation reasons is not required.

Open Area: The site is located within Airport Compatibility C of the Riverside Municipal Airport Influence Area, which requires projects 10 acres or larger to designate 20% of project area as ALUC qualifying open area that could potentially serve as emergency landing areas. The project site is 7.07 acres and, therefore, is not required to provide ALUC open area.

General Plan Amendment/Rezone: The proposed General Plan Amendment (changing land use designation from Commercial to Medium Density Residential) and Rezone (changing the zoning from Commercial Retail Zone to Single-Family Residential Zone and Building Stories Overlay Zone) would allow for the proposed development. However, given the location of the site within Compatibility Zone C, the proposed density of 7.9 dwelling units per acre is inconsistent with this residential criterion of 0.2 dwelling units per acre (minimum 5 acre lot size) and prohibited at this location. Therefore, the proposed General Plan Amendment and Rezone are inconsistent with the 2005 Riverside Municipal Airport Land Use Compatibility Plan.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, hospitals, and nursing homes.
3. The attached notice shall be given to all prospective purchasers of the property and tenants of the dwelling units, and shall be recorded as a deed notice.
 4. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. Noise attenuation measures shall be incorporated into the design of the single family residences, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
 6. An informational brochure shall be provided to prospective purchasers showing the locations of aircraft flight patterns. The frequency of overflights, the typical altitudes of the aircraft, and the range of noise levels that can be expected from individual aircraft overflights shall be described. A copy of the Compatibility Factors exhibit from the Airport Land Use Compatibility Plan shall be included in the brochure.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

GENERAL INFORMATION <ul style="list-style-type: none"> Airport Operator: City of Riverside Year Opened: 1930 Area/Size: <ul style="list-style-type: none"> Fac 171: 451 acres Flight Deck: Required for all development in airport influence area; average intersection Airport Classification: General Aviation Airport Elevation: 165 feet MSL 	AIRPORT PLANNING DOCUMENTS <ul style="list-style-type: none"> Airport Master Plan <ul style="list-style-type: none"> Approved by Riverside City Council, November 1995 Airport Layout Plan Drawing <ul style="list-style-type: none"> Issued April, January 2001 FAA Part 150 Airport Noise Compatibility Program <ul style="list-style-type: none"> Approved by FAA, March 1998
RUNWAY/TAXIWAY DESIGN <p>Runway 9-27</p> <ul style="list-style-type: none"> Obstacle Approach: Small business jet Airport Reference Code: 5-1 Dimensions: 3,400 ft. long, 100 ft. wide pavement Strength (max. landing gear configuration) <ul style="list-style-type: none"> 45,000 lbs. (single wheel) 70,000 lbs. (dual wheel) 110,000 lbs. (dual wheel/wheel) Average Gradient: 1% rising to south Runway Lighting <ul style="list-style-type: none"> Medium intensity edge lights (MEL) Runway 9: Approach lights (MALSF) Runway 27: Runway End Identifier Lights (TEIL) Primary Taxicway: Full-length parallel taxiway <p>Runway 16-34</p> <ul style="list-style-type: none"> Obstacle Approach: Single-engine airplane Airport Reference Code: 4-1 Dimensions: 2,400 ft. long, 45 ft. wide pavement Strength (max. landing gear configuration) <ul style="list-style-type: none"> 40,000 lbs. (single wheel) 50,000 lbs. (dual wheel) 80,000 lbs. (dual wheel/wheel) Average Gradient: 0.8% rising to south Runway Lighting <ul style="list-style-type: none"> Medium intensity edge lights (MEL) Primary Taxicway: Full-length parallel taxiway on west 	TRAFFIC PATTERNS AND APPROACH PROCEDURES <ul style="list-style-type: none"> Obstacle Traffic Patterns <ul style="list-style-type: none"> Runway 9-27: All Traffic Runway 16: Light traffic Pattern altitude: 1,000 ft. AGL; light aircraft: 1,000 ft. AGL; jets and others Instrument Approach Procedures (lowest minimums) <ul style="list-style-type: none"> Runway 9-27 <ul style="list-style-type: none"> Step climb: 1 mile - visibility: 2,000 ft. descent height Obstacle clearance: 400 ft. descent height to 1 mile; 1 mile of Runway 9-27 Runway 16-34: 0.8% Step climb: 1 mile - visibility: 400 ft. descent height Obstacle clearance: 400 ft. descent height The obstacle clearance procedure applies only Standard Instrument Procedures: None Visual Approach Procedure <ul style="list-style-type: none"> Runway 9-27: Visual Approach Slope Indicator (VASI) Runway 16: Precision Approach Edge Lights Obstacle Clearance: None Approach Obstacle: None
BUILDING AREA <ul style="list-style-type: none"> Location: Southeast quadrant of airport Airport Parking Garage <ul style="list-style-type: none"> Hangar spaces: 100' x 100' x 10' in large hangar Theoretical: Unlimited Other Major Facilities <ul style="list-style-type: none"> As built control tower Lighted helipad southeast of runway intersection Terminal building with pilots lounge, restaurant Services <ul style="list-style-type: none"> Fixed Jet A, 100LL Jet fuel Other: Aircraft rental & storage, flight instruction 	APPROACH PROTECTION <ul style="list-style-type: none"> Riverside Protection Zone (RPZ) <ul style="list-style-type: none"> Runway 9: 2,500 ft. long, 244' on average on road to E Runway 27: 1,000 ft. long, 100' on average on road to E Runway 16: 1,200 ft. long, 100' on average on road to E Runway 34: 1,000 ft. long, 100' on average on road to E Approach Obstacle: None
PLANNED FACILITY IMPROVEMENTS <ul style="list-style-type: none"> Asphalt <ul style="list-style-type: none"> Extend Taxiway 9-27 westward to 165 ft. south Extend Taxiway 16-34 eastward to 100 ft. south Building Area <ul style="list-style-type: none"> Increase based on needs, zoning Security <ul style="list-style-type: none"> None 	

Exhibit RI-1


BASED AIRCRAFT <table border="1"> <thead> <tr> <th>Aircraft Type</th> <th>Current¹ 2002 data</th> <th>Future² 2025</th> <th>Ultimate³</th> </tr> </thead> <tbody> <tr> <td>Single-Engine</td> <td>205</td> <td>250</td> <td></td> </tr> <tr> <td>Two-Engine Piston & Turboprop</td> <td>24</td> <td>100</td> <td>data not available</td> </tr> <tr> <td>Business Jets</td> <td>1</td> <td>50</td> <td></td> </tr> <tr> <td>Helicopters - Others</td> <td>10</td> <td>50</td> <td></td> </tr> <tr> <td>Total</td> <td>240</td> <td>450</td> <td></td> </tr> </tbody> </table>	Aircraft Type	Current ¹ 2002 data	Future ² 2025	Ultimate ³	Single-Engine	205	250		Two-Engine Piston & Turboprop	24	100	data not available	Business Jets	1	50		Helicopters - Others	10	50		Total	240	450		TIME OF DAY DISTRIBUTION⁴ <table border="1"> <thead> <tr> <th></th> <th>Current</th> <th>Future & Ultimate</th> </tr> </thead> <tbody> <tr> <td>Single-engine Day</td> <td>80%</td> <td>no change</td> </tr> <tr> <td>Evening Night</td> <td>10%</td> <td>2%</td> </tr> <tr> <td>Other Aircraft Day</td> <td>8%</td> <td>no change</td> </tr> <tr> <td>Evening Night</td> <td>3%</td> <td>1%</td> </tr> </tbody> </table>		Current	Future & Ultimate	Single-engine Day	80%	no change	Evening Night	10%	2%	Other Aircraft Day	8%	no change	Evening Night	3%	1%																																																																																																											
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Notes <p>¹ Source: Riverside Municipal Airport Forecast (October 2002)</p> <p>² Source: Air Traffic Control (ATC) tower spacing plus estimated night operations</p> <p>³ Source: Estimated projected to meet compatibility planning purposes based on discussions with Airport Manager (February 2004)</p>																																																																																																																																																			

Exhibit RI-3

Presence of Aircraft Overflight: Riverside Municipal Airport

EXPANDED BUYER AWARENESS MEASURES

As stipulated in the Riverside County Airport Land Use Compatibility Plan (ALUCP) for Riverside Municipal Airport, any new single-family or multi-family residential development within the Riverside Municipal Airport Influence Area (except Compatibility Zone E) shall be provided measures intended to ensure that prospective buyers or renters are informed about the presence of aircraft overflights of the property.

This brochure provides buyers or renters with information showing the locations of aircraft flight patterns, frequency of overflights, typical altitudes of the aircraft, and range of noise levels that can be expected from individual aircraft overflight.

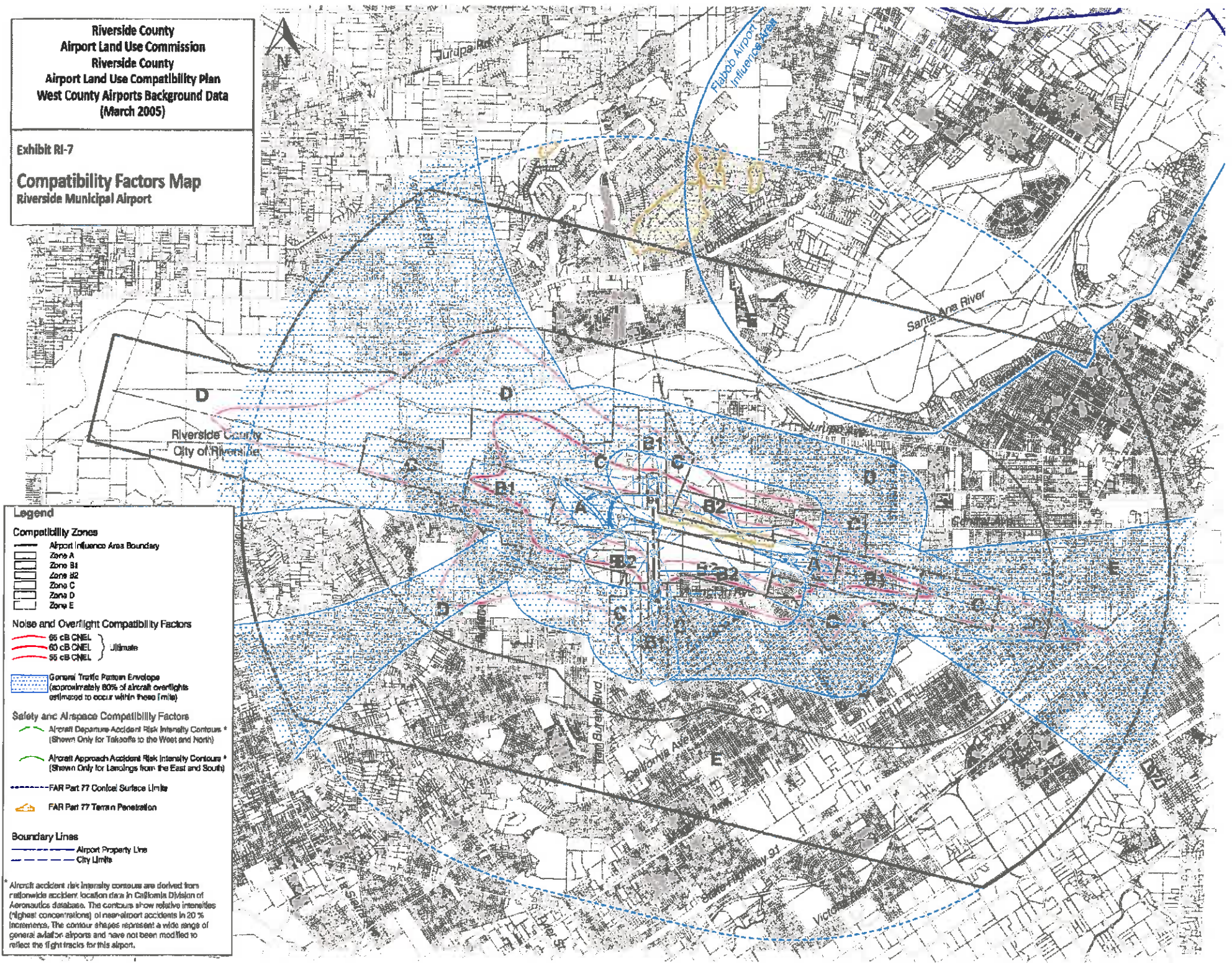
For more information contact:
Airport Land Use Commission
(951) 955-5132
www.rcaluc.org



Riverside County
 Airport Land Use Commission
 Riverside County
 Airport Land Use Compatibility Plan
 West County Airports Background Data
 (March 2005)

Exhibit RI-7

Compatibility Factors Map
 Riverside Municipal Airport



Legend

Compatibility Zones

- Airport Influence Area Boundary
- ▭ Zone A
- ▭ Zone B1
- ▭ Zone B2
- ▭ Zone C
- ▭ Zone D
- ▭ Zone E

Noise and Overflight Compatibility Factors

- 65 dB CNEL
- 60 dB CNEL
- 55 dB CNEL

Ultimate

▭ General Traffic Pattern Envelope (approximately 80% of aircraft overflights estimated to occur within these limits)

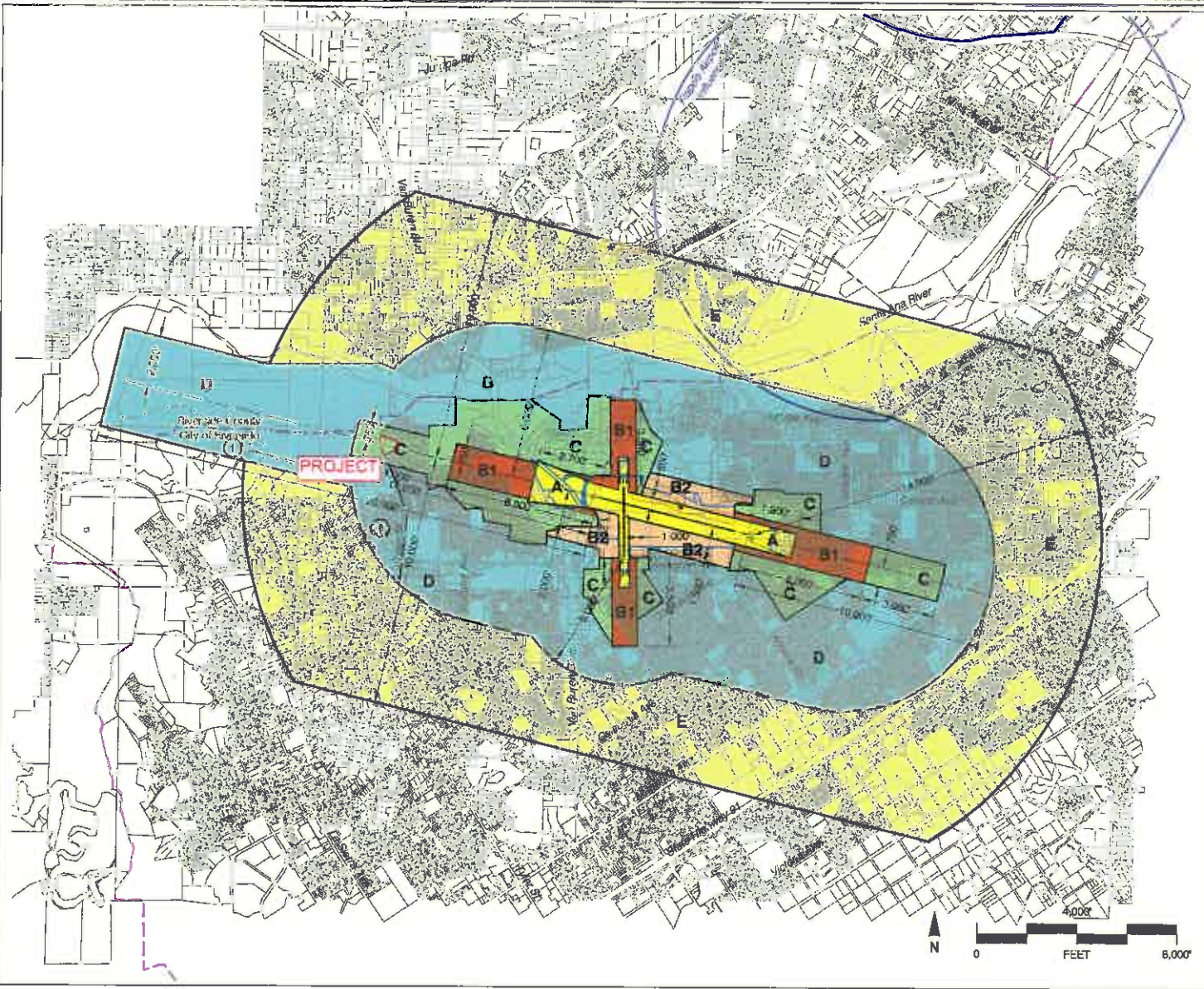
Safety and Airspace Compatibility Factors

- Aircraft Departure Accident Risk Intensity Contours* (Shown Only for Takeoffs to the West and North)
- Aircraft Approach Accident Risk Intensity Contours* (Shown Only for Landings from the East and South)
- FAR Part 77 Central Surface Limits
- FAR Part 77 Terrain Penetration

Boundary Lines

- Airport Property Line
- City Limits

* Aircraft accident risk intensity contours are derived from nationwide accident location data in California Division of Aeronautics database. The contours show relative intensities (highest concentrations) of near-airport accidents in 20% increments. The contour shapes represent a wide range of general aviation airports and have not been modified to reflect the flight tracks for this airport.



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits

Note
 Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RI.2 for special exceptions to the Table 2A criteria.

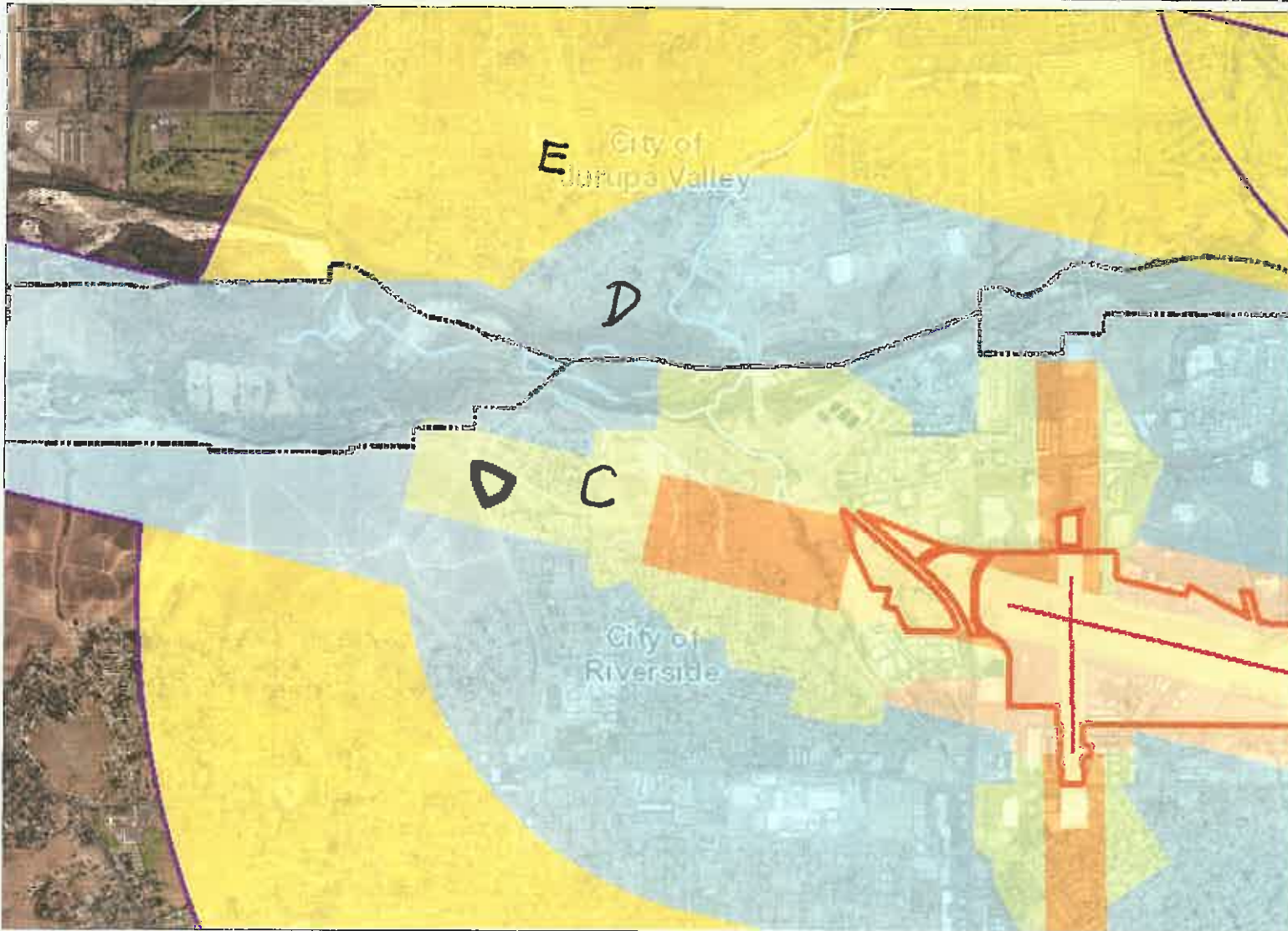
Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted March 2005)

Map RI-1

Compatibility Map
Riverside Municipal Airport

P:\RCD\Map\RIAL_CompMap\RIAL_CompMap.dwg Mar 22, 2005 - 12:27 PM

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-FXC6



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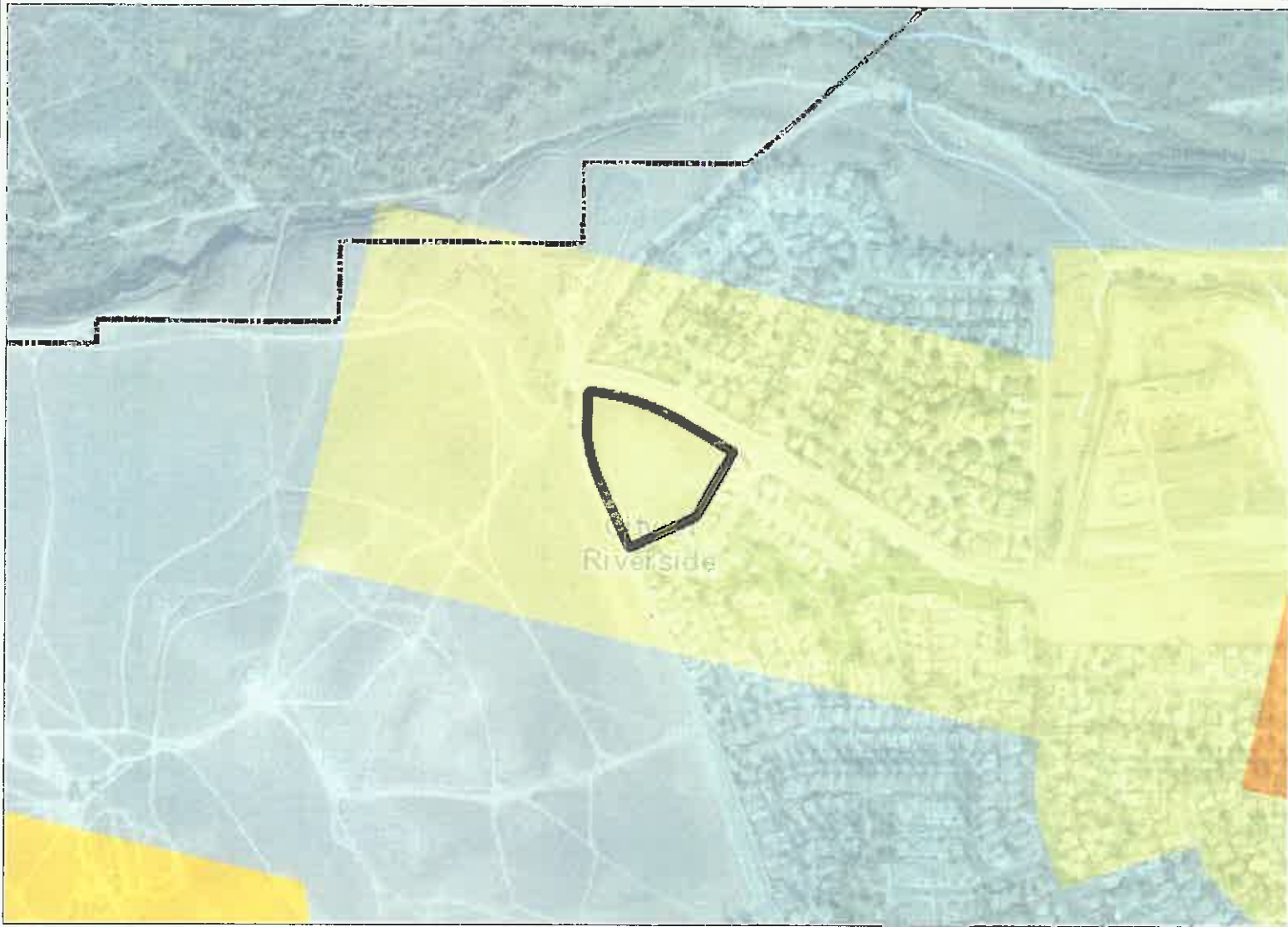


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Notes

Map My County Map



Legend

- Runways
- ▣ Airports
- ▣ Airport Influence Areas
- Airport Compatibility Zones**
- ▨ OTHER COMPATIBILITY_ZONE
- A
- A-EXC1
- B1
- B1-APZ I
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- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8

0 758 1,516 Feet

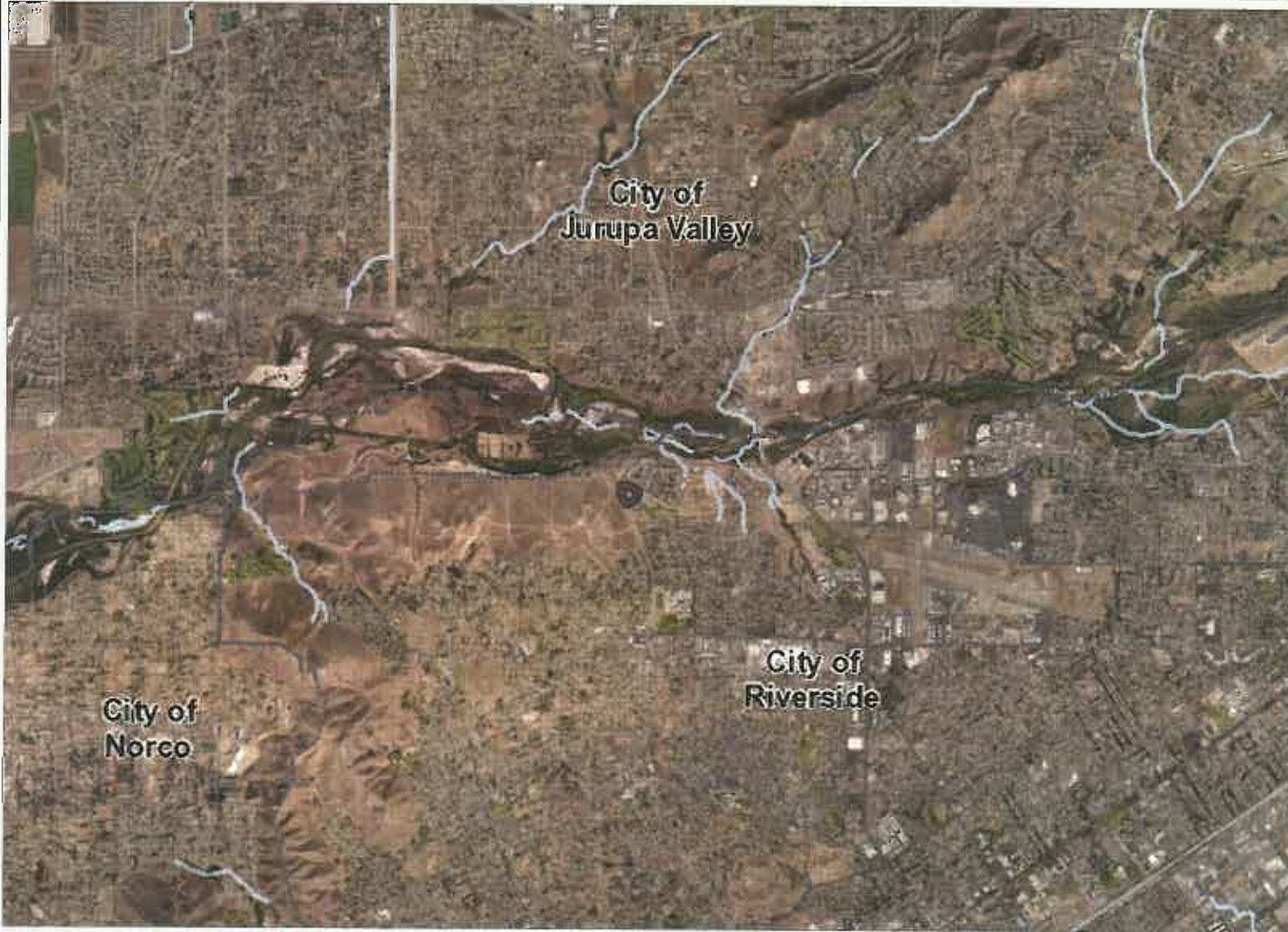
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Notes

Map My County Map



- Legend**
- Blue line symbol: Blueline Streams
 - Grid symbol: City Areas
 - World Street Map symbol: World Street Map



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Notes

Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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Notes

Map My County Map



Legend

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-  City Areas
-  World Street Map



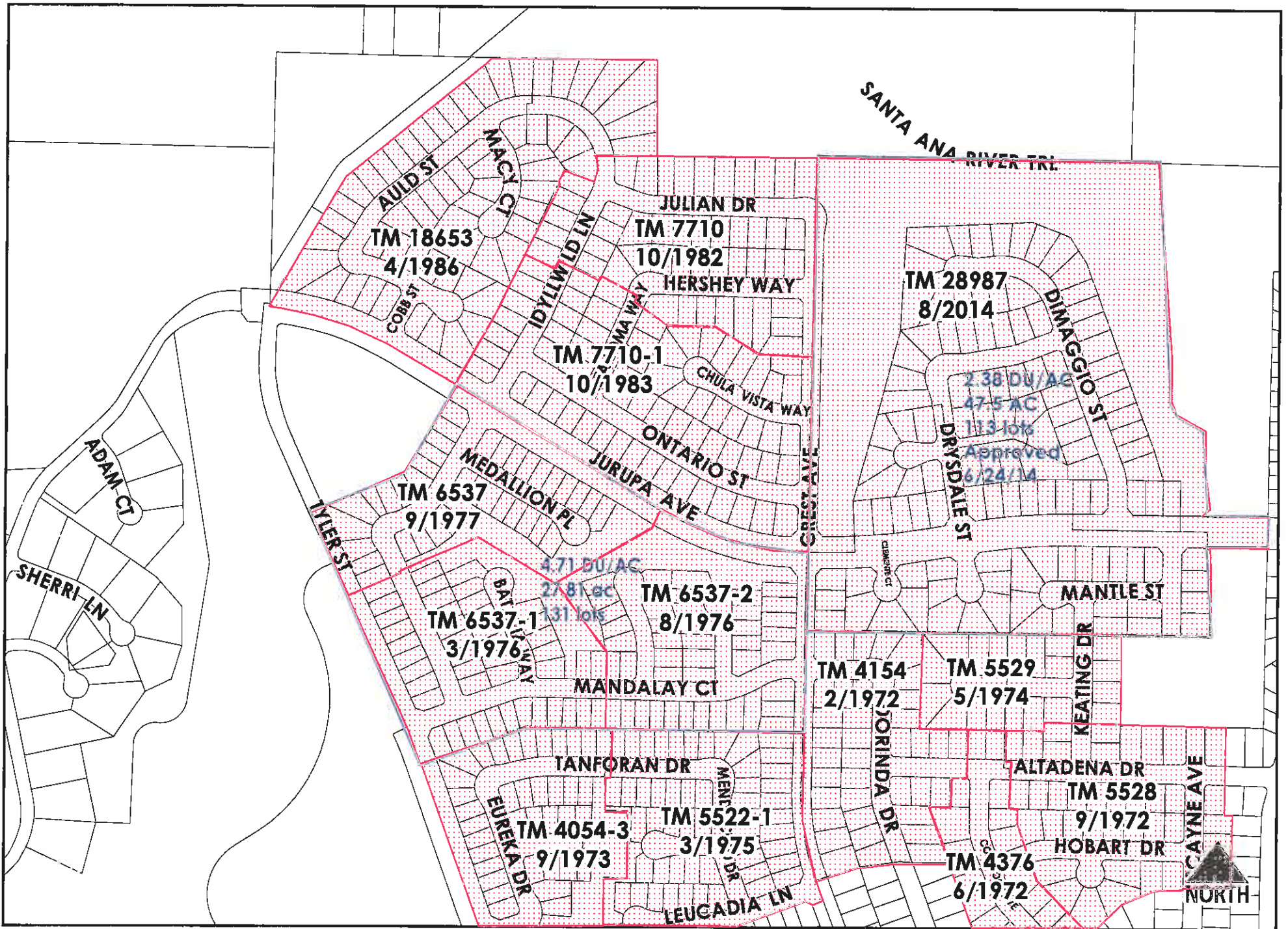
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Notes



P18-0646 & P18-0648-0649, Exhibit 3 - Location Map



**General Application Form
Environmental Information Form
Riverpoint
APN 155-441-023**

December 19, 2018

PROJECT DESCRIPTION

The proposed project is the construction of 56 detached single-family homes on a 7.07-gross acre site (7.92 units/acre). Homes would range from 1,732 square feet to 2,390 square feet, subject to final design, in two- and three-story floorplans. Homes would have 3 bedrooms and 2.5 baths. A diverse range of color palettes and elevation types, including Craftsman, Spanish, Farmhouse, are proposed. Lots would range from 1,886 to 2,669 square feet. Each unit would include two garage parking spaces, with an additional 34 onsite street parking spaces, yielding 146 parking spaces (15 spaces more than required by the Municipal Code). Additional parking along the project's Jurupa Avenue frontage is not included in the parking calculation.

Primary access to the site would be via Jurupa Avenue. An emergency vehicle access drive would be located off of Tyler Street. The community is organized with a primary loop road with sidewalks, landscaping, and an attractive streetscape with no garages or driveways. Garages would be located on a secondary loop and off of courts with clusters of homes. The project includes a large, centrally-located Community Green covering 0.30 acre, and a Community Paseo of 0.20 acre. The Community Green will include amenities such as a multipurpose lawn, shade structure, picnic tables, and barbecues. A walkway bounded by landscaping will connect the Community Green with the Community Paseo, which will include a lawn and picnic area. A detention basin at the northwest corner would provide stormwater management.

The project's single-family detached residential land use is consistent with that of surrounding neighborhoods to the north and east. A buffer planting area is provided along the eastern edge of the site. Along Jurupa Avenue and Tyler Street, an attractive streetscape will be developed with trees, groundcover, entry portals leading into the community, and attractive building elevations with no garages or driveways on either street.

Required entitlements are expected to include:

- **General Plan Amendment** to change the General Plan Land Use Designation from C – Commercial to MDR – Medium-Density Residential
- **Rezoning** to change the Zoning Designation of the site from CR – Commercial Retail to R-1-7000 – Single-Family Residential with an S-3 Building Stories Overlay to allow homes to have a third story
- **Variance** to allow for a reduction from 20 feet to 5 feet of the setback requirement along street frontages for areas within a Planned Residential Development
- **Tentative Tract Map** to subdivide the parcel to 56 residential lots
- **Planned Residential Development Permit**
- **Design Review**

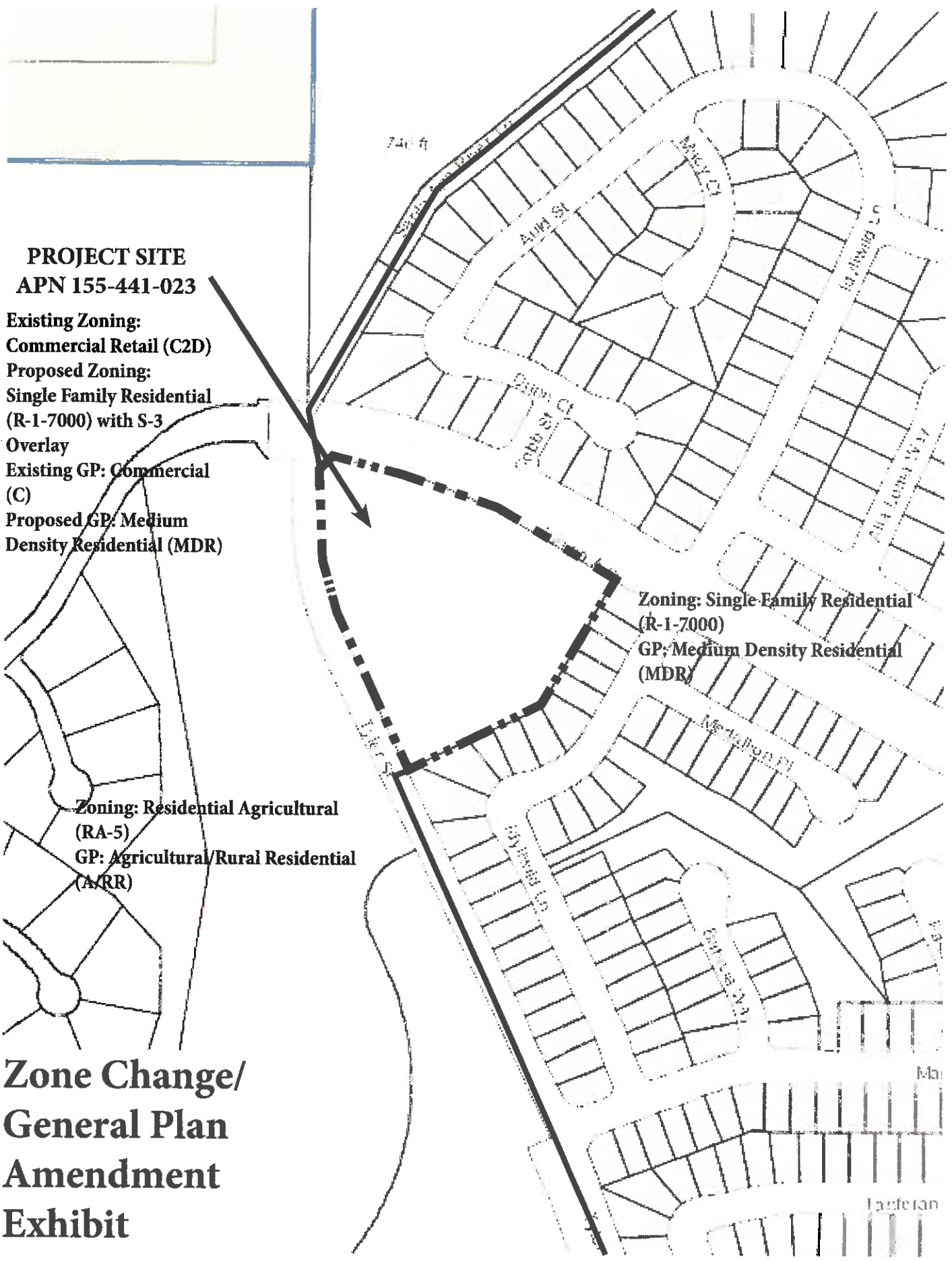
PROJECT SITE
APN 155-441-023

Existing Zoning:
Commercial Retail (C2D)
Proposed Zoning:
Single Family Residential
(R-1-7000) with S-3
Overlay
Existing GP: Commercial
(C)
Proposed GP: Medium
Density Residential (MDR)

Zoning: Residential Agricultural
(RA-5)
GP: Agricultural/Rural Residential
(A/RR)

Zoning: Single-Family Residential
(R-1-7000)
GP: Medium Density Residential
(MDR)

**Zone Change/
General Plan
Amendment
Exhibit**





PROJECT SUMMARY

PROJECT AREA: +/- 7.07 GROSS ACRES
 DENSITY: +/- 7.92 LOTS PER ACRE
 NUMBER OF RESIDENTIAL LOTS: 56

AVERAGE RESIDENTIAL LOT AREA = 2,071 SF

RESIDENTIAL LOT COVERAGE = 2.66 ACRES OR 38%

COMMON OPEN SPACE = 29,488 SF
 PRIVATE OPEN SPACE = 15,120 SF
 RETENTION BASIN = 7,681 SF

TOTAL = 52,289 SF

PARKING: 2.33 PARKING SPACES/UNIT X 56 UNITS
 REQUIRED = 130 PARKING SPACES (2.33 PARKING SPACES/UNIT X 56 UNITS)
 PROVIDED = 112 (COVERED) + 34 (GUEST) = 146 SPACES

CONTACT

PACIFICA INVESTMENTS
 333 CITY BOULEVARD WEST SUITE 1700
 ORANGE, CA 92668
 CONTACT: OSCAR GRAHAM
 (714) 609-7257

TENTATIVE TRACT MAP NO. 37626

LEGAL DESCRIPTION:
 THE FOLLOWING LEGAL DESCRIPTION IS PER A PRELIMINARY SITE REPORT PREPARED BY CHUCK COX, THE COUNTY, ORDER NO. 0808295-001-441-354, EFFECTIVE DATE FEBRUARY 28, 2018 AT 7:30 AM, AMENDED MARCH 13, 2018.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF RIVERSIDE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

ALL THOSE PORTIONS OF LOTS 1 AND 6, LOT 4* (JURUPA AVENUE), AND LOT 5* (JURUPA AVENUE), OF THE BUNNELL TRACT, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGES 218 THROUGH 230, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF LOT 8 OF TRACT NO. 6537, AS PER MAP RECORDED IN BOOK 62, PAGES 206 AND 27 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTH 04° 28' 32" EAST, A DISTANCE OF 298.38 FEET;

THENCE NORTH 30° 02' 16" EAST, A DISTANCE OF 297.94 FEET TO THE MOST NORTHERLY CORNER OF LOT 17 OF SAID TRACT NO. 6537;

THE LAST TWO COURSES AND DISTANCES FOLLOW THE NORTHWESTERLY LINE OF SAID TRACT NO. 6537;

THENCE NORTH 38° 37' 44" WEST, A DISTANCE OF 250.00 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 945.00 FEET;

THENCE WESTERLY ON SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 22° 50' 37", AN ARC DISTANCE OF 378.77 FEET TO A POINT THEREIN, A RADIAL LINE THROUGH SAID POINT BEARS NORTH 07° 11' 39" EAST;

THENCE SOUTH 48° 48' 03" WEST, A DISTANCE OF 33.68 FEET;

THENCE SOUTH 08° 20' 28" WEST, A DISTANCE OF 56.65 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 645.00 FEET;

THENCE SOUTHERLY ON SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 27° 51' 51", AN ARC DISTANCE OF 313.69 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 25° 31' 28" EAST, A DISTANCE OF 275.00 FEET TO THE POINT OF BEGINNING.

SAID DESCRIPTION IS MADE PURSUANT TO THAT CERTAIN CONDITIONAL CERTIFICATE OF COMPLIANCE NO. C00-18-008, RECORDED NOVEMBER 13, 1979 AS INSTRUMENT NO. 241224 OF OFFICIAL RECORDS, APN(C): 150-441-023-5

Lot Statistics

Subtract of Lots							
Lot Number	Width (ft)	Depth (ft)	Area (sq ft)	Lot Number	Width (ft)	Depth (ft)	Area (sq ft)
1	48	54	2,592	25	42	48	2,016
2	48	54	2,592	26	42	48	2,016
3	48	42	2,016	27	42	48	2,016
4	48	42	2,016	28	42	48	2,016
5	48	42	2,016	29	42	48	2,016
6	48	42	2,016	30	42	48	2,016
7	48	42	2,016	31	42	48	2,016
8	42	42	1,764	32	42	48	2,016
9	42	42	1,764	33	42	48	2,016
10	42	42	1,764	34	42	48	2,016
11	42	42	1,764	35	42	48	2,016
12	42	42	1,764	36	42	48	2,016
13	42	42	1,764	37	42	48	2,016
14	42	42	1,764	38	42	48	2,016
15	42	42	1,764	39	42	48	2,016
16	42	42	1,764	40	42	48	2,016
17	42	42	1,764	41	42	48	2,016
18	42	42	1,764	42	42	48	2,016
19	42	42	1,764	43	42	48	2,016
20	42	42	1,764	44	42	48	2,016
21	42	42	1,764	45	42	48	2,016
22	42	42	1,764	46	42	48	2,016
23	42	42	1,764	47	42	48	2,016
24	42	42	1,764	48	42	48	2,016
25	42	42	1,764	49	42	48	2,016
26	42	42	1,764	50	42	48	2,016
27	42	42	1,764	51	42	48	2,016
28	42	42	1,764	52	42	48	2,016
29	42	42	1,764	53	42	48	2,016
30	42	42	1,764	54	42	48	2,016
31	42	42	1,764	55	42	48	2,016
32	42	42	1,764	56	42	48	2,016
33	42	42	1,764	57	42	48	2,016
34	42	42	1,764	58	42	48	2,016
35	42	42	1,764	59	42	48	2,016
36	42	42	1,764	60	42	48	2,016
37	42	42	1,764	61	42	48	2,016
38	42	42	1,764	62	42	48	2,016
39	42	42	1,764	63	42	48	2,016
40	42	42	1,764	64	42	48	2,016
41	42	42	1,764	65	42	48	2,016
42	42	42	1,764	66	42	48	2,016
43	42	42	1,764	67	42	48	2,016
44	42	42	1,764	68	42	48	2,016
45	42	42	1,764	69	42	48	2,016
46	42	42	1,764	70	42	48	2,016
47	42	42	1,764	71	42	48	2,016
48	42	42	1,764	72	42	48	2,016
49	42	42	1,764	73	42	48	2,016
50	42	42	1,764	74	42	48	2,016
51	42	42	1,764	75	42	48	2,016
52	42	42	1,764	76	42	48	2,016
53	42	42	1,764	77	42	48	2,016
54	42	42	1,764	78	42	48	2,016
55	42	42	1,764	79	42	48	2,016
56	42	42	1,764	80	42	48	2,016
57	42	42	1,764	81	42	48	2,016
58	42	42	1,764	82	42	48	2,016
59	42	42	1,764	83	42	48	2,016
60	42	42	1,764	84	42	48	2,016
61	42	42	1,764	85	42	48	2,016
62	42	42	1,764	86	42	48	2,016
63	42	42	1,764	87	42	48	2,016
64	42	42	1,764	88	42	48	2,016
65	42	42	1,764	89	42	48	2,016
66	42	42	1,764	90	42	48	2,016
67	42	42	1,764	91	42	48	2,016
68	42	42	1,764	92	42	48	2,016
69	42	42	1,764	93	42	48	2,016
70	42	42	1,764	94	42	48	2,016
71	42	42	1,764	95	42	48	2,016
72	42	42	1,764	96	42	48	2,016
73	42	42	1,764	97	42	48	2,016
74	42	42	1,764	98	42	48	2,016
75	42	42	1,764	99	42	48	2,016
76	42	42	1,764	100	42	48	2,016
77	42	42	1,764	101	42	48	2,016
78	42	42	1,764	102	42	48	2,016
79	42	42	1,764	103	42	48	2,016
80	42	42	1,764	104	42	48	2,016
81	42	42	1,764	105	42	48	2,016
82	42	42	1,764	106	42	48	2,016
83	42	42	1,764	107	42	48	2,016
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106	42	42	1,764	130	42	48	2,016
107	42	42	1,764	131	42	48	2,016
108	42	42	1,764	132	42	48	2,016
109	42	42	1,764	133	42	48	2,016
110	42	42	1,764	134	42	48	2,016
111	42	42	1,764	135	42	48	2,016
112	42	42	1,764	136	42	48	2,016
113	42	42	1,764	137	42	48	2,016
114	42	42	1,764	138	42	48	2,016
115	42	42	1,764	139	42	48	2,016
116	42	42	1,764	140	42	48	2,016
117	42	42	1,764	141	42	48	2,016
118	42	42	1,764	142	42	48	2,016
119	42	42	1,764	143	42	48	2,016
120	42	42	1,764	144	42	48	2,016
121	42	42	1,764	145	42	48	2,016
122	42	42	1,764	146	42	48	2,016
123	42	42	1,764	147	42	48	2,016
124	42	42	1,764	148	42	48	2,016
125	42	42	1,764	149	42	48	2,016
126	42	42	1,764	150	42	48	2,016
127	42	42	1,764	151	42	48	2,016
128	42	42	1,764	152	42	48	2,016
129	42	42	1,764	153	42	48	2,016
130	42	42	1,764	154	42	48	2,016
131	42	42	1,764	155	42	48	2,016
132	42	42	1,764	156	42	48	2,016
133	42	42	1,764	157	42	48	2,016
134	42	42	1,764	158	42	48	2,016
135	42	42	1,764	159	42	48	2,016
136	42	42	1,764	160	42	48	2,016
137	42	42	1,764	161	42	48	2,016
138	42	42	1,764	162	42	48	2,016
139	42	42	1,764	163	42	48	2,016
140	42	42	1,764	164	42	48	2,016
141	42	42	1,764	165	42	48	2,016
142	42	42	1,764	166	42	48	2,016
143	42	42	1,764	167	42	48	2,016
144	42	42	1,764	168	42	48	2,016
145	42	42	1,764	169	42	48	2,016
146	42	42	1,764	170	42	48	2,016
147	42	42	1,764	171	42	48	2,016
148	42	42	1,764	172	42	48	2,016
149	42	42	1,764	173	42	48	2,016
150	42	42	1,764	174	42	48	2,016
151	42	42	1,764	175	42	48	2,016
152	42	42	1,764	176	42	48	2,016
153	42	42	1,764	177	42	48	2,016
154	42	42	1,764	178	42	48	2,016
155	42	42	1,764	179	42	48	2,016
156	42	42	1,764	180	42	48	2,016
157	42	42	1,764	181	42	48	2,016
158	42	42	1,764	182	42	48	2,016
159	42	42	1,764	183	42	4	

TENTATIVE TRACT MAP NO. 37626

LEGAL DESCRIPTION:
 THE FOLLOWING LEGAL DESCRIPTION IS PER A PRELIMINARY FILE REPORT PREPARED BY CHICAGO FILE COMPANY, INSTR. NO. 208255-202-104-204, RECORDING DATE FEBRUARY 24, 2018 AT 7:33 AM, AMENDED MARCH 13, 2018.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF RIVERSIDE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

ALL THOSE PORTIONS OF LOTS 1 AND 6, LOT "A" (DINO AVENUE), AND LOT "C" (JURUPA AVENUE), OF THE BIVARI TRACT, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGES 26 THROUGH 30, INCLUDING OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF LOT 6 OF TRACT NO. 8537, AS PER MAP RECORDED IN BOOK 82, PAGES 26 AND 27 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTH 64° 28' 32" EAST, A DISTANCE OF 298.38 FEET;

THENCE NORTH 30° 02' 16" EAST, A DISTANCE OF 292.94 FEET TO THE MOST NORTHERLY CORNER OF LOT 17 OF SAID TRACT NO. 8537;

THE LAST TWO COURSES AND DISTANCES FOLLOW THE NORTHWESTERLY LINE OF SAID TRACT NO. 8537;

THENCE NORTH 55° 57' 44" WEST, A DISTANCE OF 290.00 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 945.60 FEET;

THENCE WESTERLY ON SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 22° 50' 37", AN ARC DISTANCE OF 376.77 FEET TO A POINT THEREON, A RADIAL LINE THROUGH SAID POINT BEARS NORTH 07° 11' 39" EAST;

THENCE SOUTH 49° 46' 03" WEST, A DISTANCE OF 33.88 FEET;

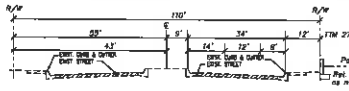
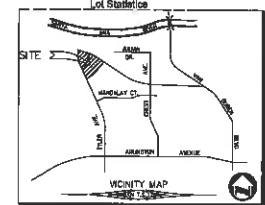
THENCE SOUTH 02° 20' 28" WEST, A DISTANCE OF 56.85 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 545.00 FEET;

THENCE SOUTHWESTERLY ON SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 27° 51' 56", AN ARC DISTANCE OF 313.69 FEET TO THE END THEREOF;

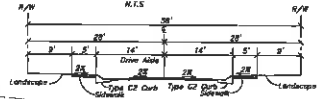
THENCE SOUTH 25° 31' 28" EAST, A DISTANCE OF 275.00 FEET TO THE POINT OF BEGINNING.

SAID DESCRIPTION IS MADE PURSUANT TO THAT CERTAIN CONDITIONAL CERTIFICATE OF COMPLIANCE NO. COC-03-199, RECORDED NOVEMBER 13, 1978 AS INSTRUMENT NO. 241824 OF OFFICIAL RECORDS.

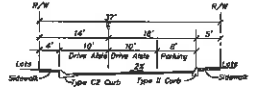
APN's: 155-441-023-5



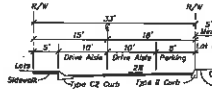
TYPICAL SECTION JURUPA AVENUE
N.T.S.



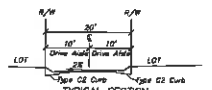
TYPICAL SECTION STREET "F"
N.T.S.



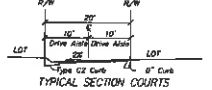
TYPICAL SECTION STREETS "A" & "B"
N.T.S.



TYPICAL SECTION STREET "E"
N.T.S.



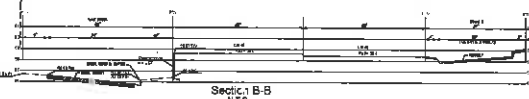
TYPICAL SECTION STREETS "C" & "D"
N.T.S.



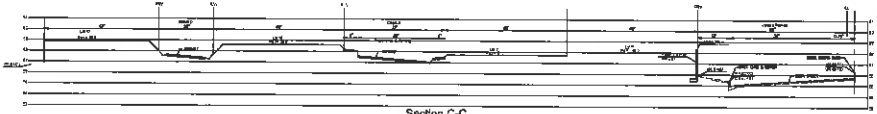
TYPICAL SECTION COURTS "A" THROUGH "K"
N.T.S.



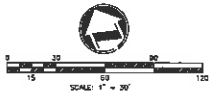
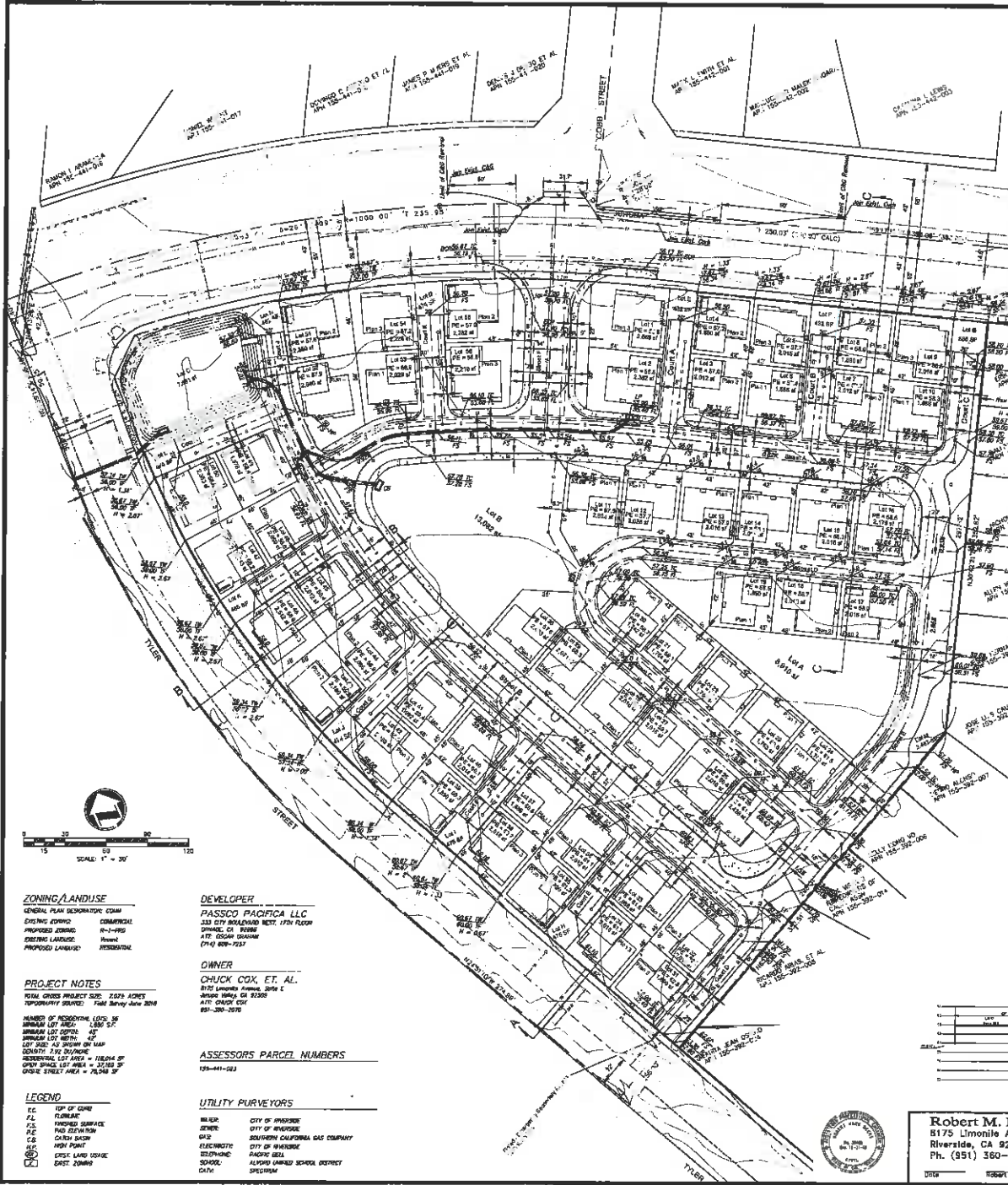
Section A-A
N.T.S.



Section B-B
N.T.S.



Section C-C
N.T.S.



ZONING/LANDUSE
 GENERAL PLAN DESIGNATION: COMM
 EXISTING ZONING: COMMERCIAL
 PROPOSED ZONING: R-1-PRO
 EXISTING LANDUSE: Retail
 PROPOSED LANDUSE: RESIDENTIAL

DEVELOPER
 PASSCO PACIFICA LLC
 330 CITY BOULEVARD, SUITE 1700
 RIVERSIDE, CA 92509
 ATTY: COOPER GOSWAMI
 (714) 608-7257

OWNER
 CHUCK COX, ET AL.
 8175 LIMONITE AVENUE, SUITE 1
 RIVERSIDE, CA 92509
 ATTY: CHUCK COX
 951-360-2070

PROJECT NOTES
 TOTAL GROSS PROJECT SIZE: 2,028 ACRES
 PROPORTION SHARED: 7.6% (Share Date 2018)
 NUMBER OF RESIDENTIAL LOTS: 30
 MINIMUM LOT AREA: 1,000 SQ FT
 MINIMUM LOT WIDTH: 100 FT
 LOT SIZE AS SHOWN ON MAP
 DENSITY: 2.96 UNITS/ACRE
 RESIDENTIAL LOT AREA = 18,000 SQ FT
 OPEN SPACE LOT AREA = 22,000 SQ FT
 DRIVE STREET AREA = 70,000 SQ FT

ASSESSORS PARCEL NUMBERS
 155-441-023

LEGEND
 CC: TOP OF CURB
 FL: FINISH
 P.E: PROPOSED SURFACE
 P.E: PROPOSED ELEVATION
 C.S: CATCH BASIN
 H.P: HIGH POINT
 D.L: DRIVE LAND ISSUE
 D.C: DRIVE CURB

UTILITY PURVEYORS
 WATER: CITY OF RIVERSIDE
 SEWER: CITY OF RIVERSIDE
 GAS: SOUTHERN CALIFORNIA GAS COMPANY
 ELECTRICITY: CITY OF RIVERSIDE
 TELEPHONE: PACIFIC BELL
 CABLE: HANFORD UNIFIED SCHOOL DISTRICT
 DATA: SPECTRUM



Robert M. Beers
 8175 Limonite Avenue, Suite E
 Riverside, CA 92509
 Ph. (951) 360-2070 Fax (951) 360-2080

PREPARED FOR:
PASSCO PACIFICA LLC
 330 CITY BOULEVARD WEST
 17TH FLOOR
 ORANGE, CA 92668
 (714) 608-7257

Preliminary Grading Plan for
 ITM No. 37626
 RIVERSIDE, CALIFORNIA
 DATE: 12-12-18



PROPOSED TREE LIST

BOTANICAL	COMMON	SIZE	WUCOL
JURUPA STREET			
RHUS LANCEA	AFRICAN SUMAC	24" BOX	Low
TYLER STREET			
MAGNOLIA G. ST. MARY	SOUTHERN MAGNOLIA	24" BOX	Med
COMMON AREAS - ACCENT			
CERCIS C. 'FOREST PANSY'	REDBUD	24" BOX	Med
CITRUS SPECIES	THORNLESS LIME	24" BOX	Med
LAGERSTROEMIA MUSKOGEE	ORANGE MYRTLE	24" BOX	Med
OLEA E. 'SWAN HILL'	FRUITLESS OLIVE	30" BOX	Med
PHOENIX DACTYLOPUS MEXICANA	DATE PALM	18" BTH	Med
ROBINIA 'PURPLE ROBE'	PURPLE LOCUST	24" BOX	Med
COMMON AREAS			
CUPRESSUS FEMINIFRONS	ITALIAN CYPRESS	24" BOX	Med
MAGNOLIA LITTLE OLM	MAGNOLIA	24" BOX	Med
MELALEUCA QUINCULNERVA	CAJUPUT TREE	18" BOX	Med
PARKINSONIA DESERT MUSEUM	HYBRID PALM VERDE	31" BOX	Very Low
PIRUS ELZARICA	AFGHAN PINE	24" BOX	Med
PLATANUS WRIGHTII	ARIZONA SYCAMORE	24" BOX	Med
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX	Med
RHUS LANCEA	AFRICAN SUMAC	24" BOX	Low
TRACHYCARPUS FORTUNEI	WINDMILL PALM	8-12 BLT.H	Med
ULMUS PARVIFLORA 'DRAKE'	EVERGREEN ELM	24" BOX	Med
PERIMETER SCREENING TREES w/ S.F.D.			
MELALEUCA QUINCULNERVA	CAJUPUT TREE	24" BOX	Med
PIRUS ELZARICA	AFGHAN PINE	24" BOX	Med
PODOCARPUS BRACLIOR	FERN PINE	24" BOX	Med

PROPOSED SHRUB LIST

ALL PROPOSED SHRUBS WILL BE COMPLIANT WITH CAL GREEN REQUIREMENTS FOR WATER CONSERVING AND NON-INVASIVE AS DETERMINED BY ETC.

SHRUBS	SIZE	WUCOL
AMORFANTHOS 'KANSAS REY'	RED KANSASBUD PINK	5 GAL Low
BOUGAINVILLEA	BOUGAINVILLEA	5 GAL Low
CALLISTEMON CITRINUS	ORANGE WEEPING BOTTLE BRUSH	5 GAL Low
CISTUS PURPUREUS	ORCHID ROCKROSE	5 GAL Low
LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL Low
LEUCOPHYLLUM FRUTESCENS	TEXAS CADE	5 GAL Low
MYOPORUM PARVIFOLIUM	MYOPORUM	1 GAL Medium
IMPATIENS 'MEXICANA COMPACTA'	ORANGE FISHBONE BAMBUS	5 GAL Low
PERNETIA SETACEUM TRUBERTII	PURPLE FOUNTAIN GRASS	5 GAL Medium
PROCHRISMA TEXAS	NEW ZEALAND FLAX	5 GAL Low
ROSA CALIFORNICA	CALIFORNIA WILD ROSE	1 GAL Low
SANTOLINA CHAMAECYPARISSUS	LAZARUS COTTON	1 GAL Low
SALICARIA 'MEXICANA'	SPANISH GAUGE	1 GAL Low
SENECIO GERPERIS	BLUE CHALKSTICK	1 GAL Low
DIANELLA TASMARICA	GOLDEN FLAX LILY	1 GAL Low
IMPATIENS 'MEXICANA'	RED HOT POKER	5 GAL Low
MULLEBERBERIS 'RIBENS'	DEER GRASS	5 GAL Low
PERNETIA SETACEUM	PURPLE FOUNTAIN GRASS	15 GAL Medium
PROCHRISMA TEXAS	NEW ZEALAND FLAX	5 GAL Low
STREPTICARPA 'PARADISE'	BIRD OF PARADISE	5 GAL Low

GENERAL PLANTING NOTES

1. ALL SHRUB AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF BARK MULCH
2. SCREENING NOTE: SCREENING SHALL BE PROVIDED FOR ALL UTILITIES, INCLUDING TRANSFORMERS AND TELEPHONE BOXES, AND UTILITIES SHALL CONFLICT WITH PLANTINGS.
3. IRRIGATION DESIGN SHALL COMPLY WITH AS1801 AND ESTIMATED ANNUAL WATER USE (EAWU) WILL NOT EXCEED MAXIMUM ANNUAL WATER USE (MAWU) CALCULATIONS.
4. LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CITY OF RIVERSIDE DEVELOPMENT STANDARDS AND CODES FOR LANDSCAPE IMPROVEMENTS.
5. TREES WITHIN 6 FEET OF LANDSCAPE SHALL BE INSTALLED WITH APPROVED ROOT CONTROL BARRIER (16 FEET LENGTH MIN. EACH TREE).
6. PLANTER AREAS WILL BE ON A DRIP IRRIGATION. TREES WILL BE IRRIGATED BY A DEEP-ROOT WATERING BUBBLER.



MULTI-PURPOSE LAWN (7,074 S.F.)

- PICNIC GROVE
- picnic table & chairs
 - pedestal mounted barbecue
 - trash receptacle

- PROJECT SIGN on MASONRY WALL
- COMMUNITY ENTRY
- matching ht. palms
 - enhanced vehicular paving

MASONRY WALL at ENTRY

HOMEOWNER PRIVATE YARD

MAIL KIOSK

BIKE RACKS (2)

- PARK PAVILION
- overhead shade structure
 - picnic tables
 - pedestal barbecue & ash urn
 - trash receptacle

ENHANCED PEDESTRIAN CROSSING to COMMUNITY PASSE

CENTRAL GREEN ENLARGEMENT - L.2

DECORATIVE PILASTERS
ENHANCED PEDESTRIAN
CROSSING to CENTRAL GREEN

TURF (484 S FT)

PRIVATE STREET

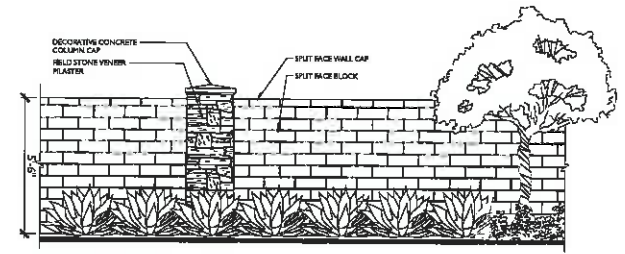
TURF (425 S FT)

PRIVATE YARD

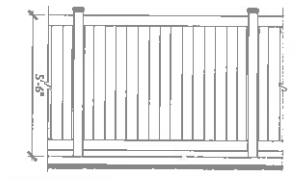
MATCHING HT. PALMS

OLIVE TREES in DECOMPOSED GRANITE
PAVING

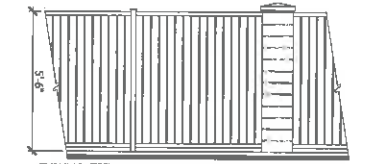
PICNIC AREA



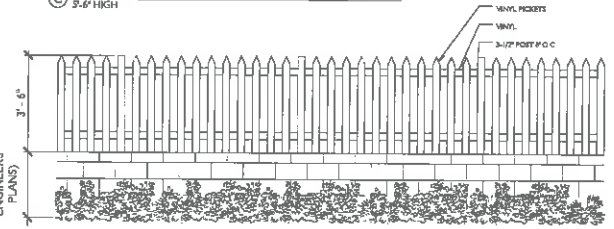
(A) COMMUNITY THEME WALL and PILASTER 3'-6" HIGH



(B) VINYL PRIVACY FENCE 3'-6" HIGH



(C) TUBULAR STEEL VIEW FENCE (BLACK) with PILASTER 3'-6" HIGH



(VARIES PER CIVIL ENGINEERS PLANS)

(D) FENCE with CHIU WALL



IRRIGATION HYDROZONES:

- HYDRO-ZONE 1 - Common Landscape Area - Enhanced Plant Palette - Sub Surface Irrigation - 44,113 s.f.
- HYDRO-ZONE 2 - Water Quality Planting in Basin - Water Conserving Plant Palette - Overhead Spray - 7,394 s.f.
- HYDRO-ZONE 3 - Turf - 2,102 s.f.

TOTAL LANDSCAPE AREA: 60,898 s.f.

WATER CONSERVATION FEATURES

THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:

1. Installation of automatic "smart" irrigation controller with rain-sensor.
2. The use of low precipitation/low angle irrigation spray heads.
3. The use of low water consuming plants.
4. Soil amendments to achieve good soil moisture retention.
5. Mulching to reduce evapotranspiration from the root zone.

WATER CONSERVATION STATEMENT

PURPOSE: To provide the maintenance staff a mechanical device to distribute water and ensure plant survival in the most efficient manner and within a time frame that best interfaces with the activities of the community.

The irrigation system for each hydrozone will be automatic and incorporate low volume drip emitters, bubblers and high efficiency low angle spray heads asurf only. Drip irrigation systems may be employed where considered to be effective and feasible. Irrigation valves shall be installed to allow for the systems operation in response to aridation and exposure.

Planting will be designed to enhance the visual character of the site and the architectural elements. Plants shall be grouped with similar water, climatic and soil requirements to conserve water and create a drought responsive landscape.

Each hydrozone consists of moderate to low water consuming plants. In areas of moderate water consuming plants the shall be properly amended to retain moisture for healthy growth and to conserve water.

Plant Material within each hydrozone shall be specified in consideration of north, south, east and west exposures.

Soil shall be prepared and oriented to provide for maximum moisture retention and permeation. Planting beds shall be mulched to retain soil moisture and reduce evapotranspiration.

To avoid wasted water, the controls will be overseen by a flow meter that will detect any broken sprinkler heads to stop that station's operation, advancing to the next workable station. In the event of pressure supply line leakage, it will automatically stop the operation of the system. All material will be non-toxic, with the exception of the brass piping, and out of the backflow units. All work will be in the best acceptable manner in accordance with applicable codes and standards prevailing in the industry.

WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS):

WUCOLS: Water Use Classification of Landscape Species, is a University of California Cooperative Extension Publication and is a guide to the water needs of landscape plants.

CROP FACTOR	PERCENT OF ETa
H - HIGH	70% - 90%
HL - MODERATE	40% - 60%
L - LOW	10% - 30%
VL - VERY LOW	< 10%

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference	Evapotranspiration (ETa)	S&G		ETAF for BIANA		ETAF + Area	Estimated Total Water Use (ETAWU)
		Plant Factor (PF)	Irrigation Method (IM)	ETAF (ETAF)	Landscape Area (sq. ft.)		
Regular Landscape Areas							
1 Common Area - Low	0.50	0.80	0.81	0.37	44,113	18,296	571,570
2 Water Quality Basin - Medium	0.40	spray	0.75	0.30	7,394	2,943	137,805
3 Turf - High	0.70	spray	0.75	0.53	2,102	1,103	86,635
SPECIAL LANDSCAPE AREAS							
Active Turf Area				1.00	7,074	7,074	247,384
Totals					7,074	7,074	247,384
				Maximum Allowed Water Consumption (MWCMA)	0.90	6,367	1,093,335

Maximum PF for BIANA: 0.81
 Maximum IM for BIANA: 0.81
 Maximum ETAF for BIANA: 0.37
 Maximum Landscape Area for BIANA: 44,113 sq. ft.

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	23,240
Total Area	53,812
Average ETAF	0.41
All Landscape Areas	
Total ETAF x Area	28,310
Total Area	60,898
Average ETAF	0.46

Average ETAF for Regular Landscape Areas must be 0.36 or below for residential areas, and 0.46 or below for non-residential areas.

Site data for City of Riverside from: MWELO Appendix A 12/19/2016



EXTERIOR LIGHTING LEGEND

SYMBOL	TYPETED IN/INQUE	LOCATION
	BOLLARD	COMMON AREA WALKWAYS
	POLE LIGHT	PRIVATE STRIPS
	DOWN LIGHT	HICKETED ON OVERHANG PAVILION AT CENTRAL GREEN
	PALM TREE UPLIGHT	ENTRY DRIVE & CENTRAL GREEN

LIGHTING CONCEPT:

THIS OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.
 WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTRUSIVE. LIGHT SOURCES WILL BE LED 4000K - 4500K.
 LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND TO LIGHTING DIRECTLY NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DESIGNED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED.
 ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES SHALL BE SYMPHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.

BOLLARD

Model: BOLLARD
Material: ALUMINUM
Finish: POLYURETHANE
Height: 1.2m
Weight: 15kg
Power: 10W
Color: WARM WHITE
Beam Angle: 30°
IP Rating: IP65
CE Marking: CE
RoHS Compliant: YES

POLE LIGHT

Model: POLE LIGHT
Material: ALUMINUM
Finish: POLYURETHANE
Height: 2.5m
Weight: 25kg
Power: 20W
Color: WARM WHITE
Beam Angle: 45°
IP Rating: IP65
CE Marking: CE
RoHS Compliant: YES

DOWN LIGHT

Model: DOWN LIGHT
Material: ALUMINUM
Finish: POLYURETHANE
Height: 0.1m
Weight: 0.5kg
Power: 5W
Color: WARM WHITE
Beam Angle: 15°
IP Rating: IP65
CE Marking: CE
RoHS Compliant: YES

PALM TREE UPLIGHT

Model: PALM TREE UPLIGHT
Material: ALUMINUM
Finish: POLYURETHANE
Height: 1.5m
Weight: 10kg
Power: 10W
Color: WARM WHITE
Beam Angle: 120°
IP Rating: IP65
CE Marking: CE
RoHS Compliant: YES



PROJECT SUMMARY:

COMMON OPEN SPACE:

REQUIRED COMMON OPEN SPACE = 500 SF / UNIT x 56 UNITS = 28,000 SF

PROVIDED COMMON OPEN SPACE = 37,169 SF (SEE LETTERED LOTS TABLE)

PRIVATE OPEN SPACE:

REQUIRED PRIVATE OPEN SPACE = 200 SF / UNIT x 56 UNITS = 11,200 SF

PROVIDED PRIVATE OPEN SPACE = AVERAGE 270 SF / UNIT = 15,120 SF

DETENTION BASIN:

DETENTION BASIN = 7,681 SF

TOTAL = 52,389 SF

OPEN SPACE:

COMMON OPEN SPACE

LETTERED LOTS

LETTER	DESCRIPTION	AREA (SF)
A	OPEN SPACE	3,190 SF
B	OPEN SPACE	13,092 SF
C	DETENTION BASIN (not included in common open space)	7,681 SF
D	OPEN SPACE	474 SF
E	OPEN SPACE	435 SF
F	OPEN SPACE	432 SF
G	OPEN SPACE	536 SF
H	OPEN SPACE	475 SF
I	OPEN SPACE	475 SF
J	OPEN SPACE	474 SF
K	OPEN SPACE	465 SF
L	OPEN SPACE	474 SF
M	OPEN SPACE	3,467 SF
N	OPEN SPACE	463 SF
TOTAL OPEN SPACE =		37,169 SF

RIVERPOINTE

SINGLE FAMILY HOME COMMUNITY



DEVELOPMENT TEAM

PACIFICA INVESTMENTS AND DEVELOPMENT
333 CITY BLVD WEST, SUITE 1700, ORANGE, CA
CONTACT: OSCAR GRAHAM
714.609.7257

PASSCO COMPANIES DEVELOPMENT
2050 MAIN STREET, SUITE 650, IRVINE, CA
CONTACT: SCOTT ALLEN
949.263.7908

PROJECT TEAM

IDEArc ARCHITECTURE & PLANNING
17848 SKY PARK CIRCLE, IRVINE, CA
CONTACT: VANCE GRAHAM
949.336.6056

MJS LANDSCAPE ARCHITECTURE
507 30TH STREET, NEWPORT BEACH, CA
CONTACT: PAUL MAKSY
949.675.9964

RMB ENGINEERING
5172 QUEEN STREET, RIVERSIDE, CA
CONTACT: BOB BEERS
951.317.2041

EPD SOLUTIONS
2030 MAIN STREET, SUITE 1200, IRVINE, CA
CONTACT: RAFIK ALBERT
949.794.1180



3B - CRAFTSMAN
COLOR PALETTE: B3

2A - SPANISH
COLOR PALETTE: A3

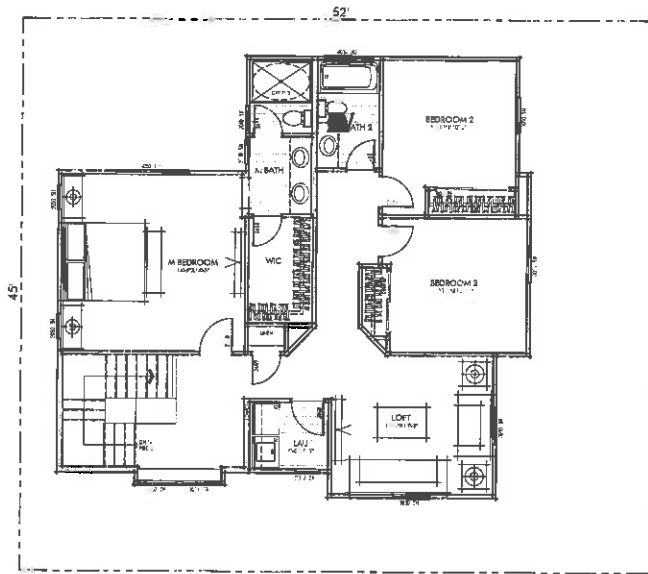
3C - FARMHOUSE
COLOR PALETTE: B3

2B - CRAFTSMAN
COLOR PALETTE: B3

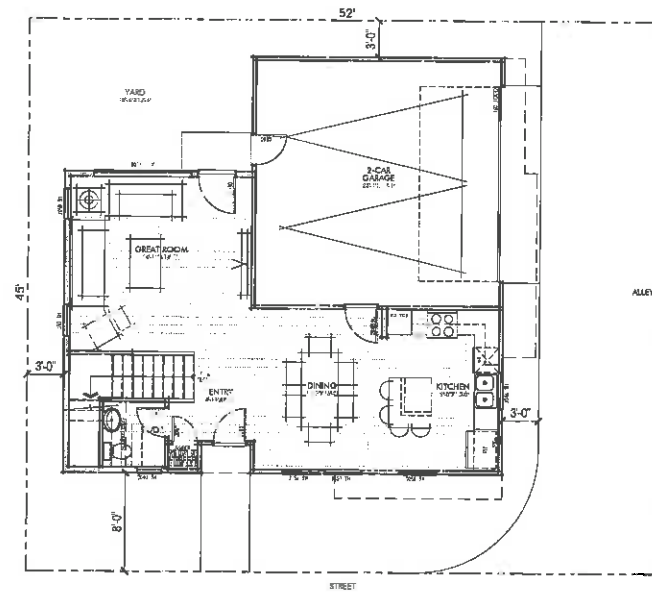
3XA - SPANISH
COLOR PALETTE: A3

JURUPA AVE

PHASE 1
RIVERPOINTE
DESIGN DEVELOPMENT STREET SCENE



SECOND FLOOR



FIRST FLOOR

Floor Area: Plan 1

LIVING AREA:	
FIRST FLOOR LIVING:	661.3 SQ. FT.
SECOND FLOOR LIVING:	1060.8 SQ. FT.
TOTAL LIVING AREA:	1732 SQ. FT.
OTHER AREAS:	
GARAGE:	418 SQ. FT.
COVERED PORCH:	9 SQ. FT.

PLAN 1
1,732 SQFT
3 BED/2.5 BATH

SCALE: 1/4" = 1'-0"

RIVERPOINTE

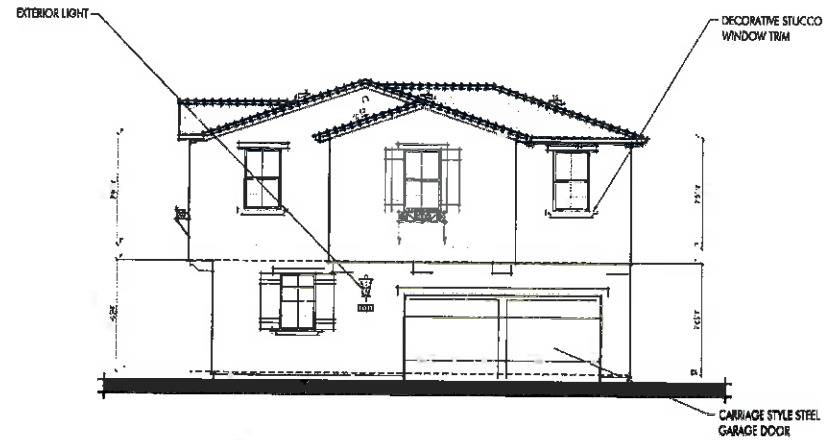
DESIGN DEVELOPMENT FLOOR PLANS

PASSCO

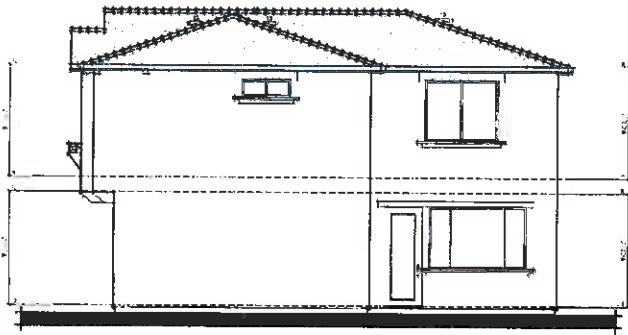
Pacifica Investments



1A - STREET (SPANISH)
(FRONT)



1A - ALLEY (SPANISH)
(RIGHT)



1A - REAR (SPANISH)



1A - LEFT (SPANISH)

PLAN 1

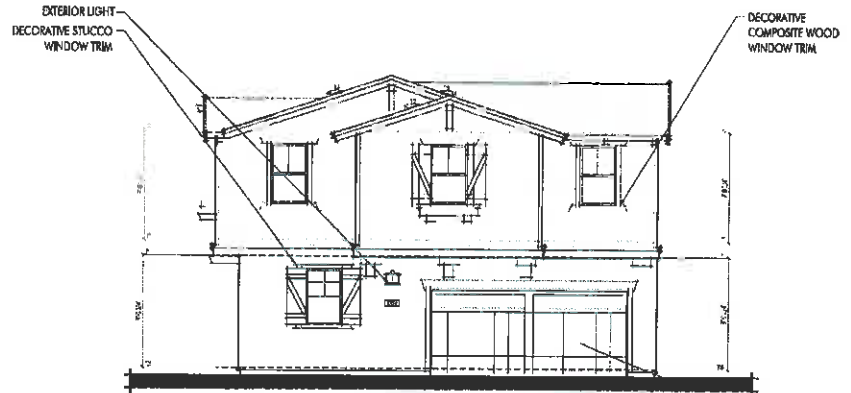
SCALE: 1/4" = 1'-0"

RIVERPOINTE

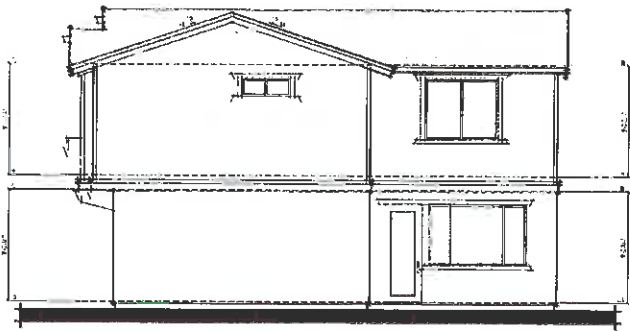
DESIGN DEVELOPMENT ELEVATIONS



1B - STREET (CRAFTSMAN)
(FRONT)



1B - ALLEY (CRAFTSMAN)
(RIGHT)



1B - REAR (CRAFTSMAN)



1B - LEFT (CRAFTSMAN)

PLAN 1

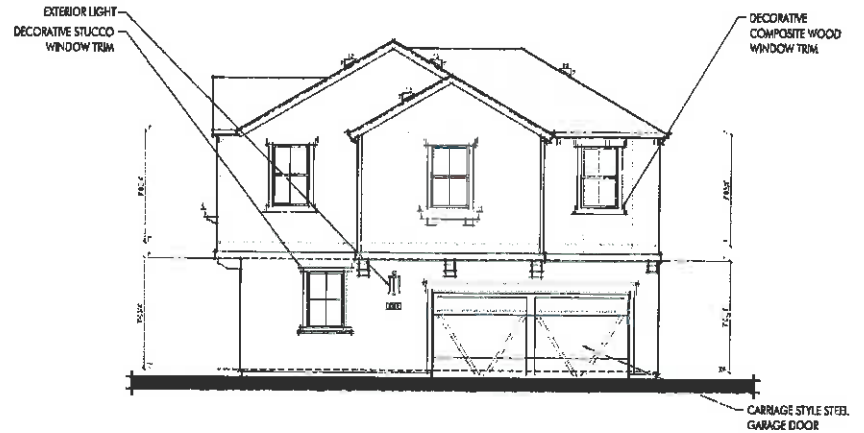
SCALE: 1/4" = 1'-0"

RIVERPOINTE

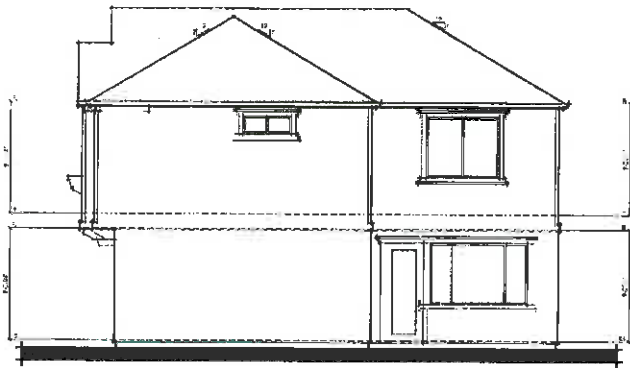
DESIGN DEVELOPMENT ELEVATIONS



1A - STREET (FARMHOUSE)
(FRONT)



1A - ALLEY (FARMHOUSE)
(RIGHT)



1A - REAR (FARMHOUSE)



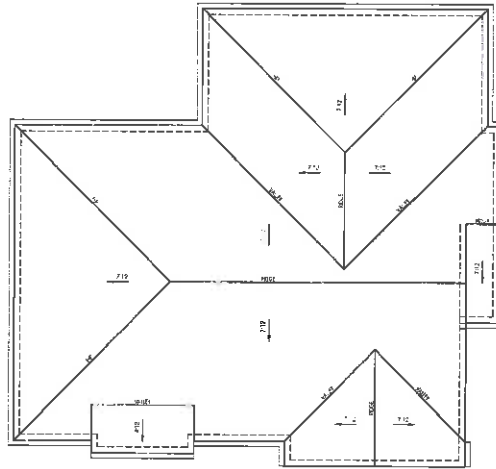
1A - LEFT (FARMHOUSE)

PLAN 1

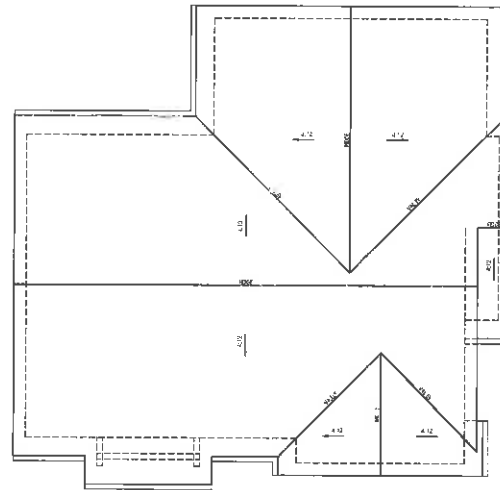
SCALE: 1/4" = 1'-0"

RIVERPOINTE

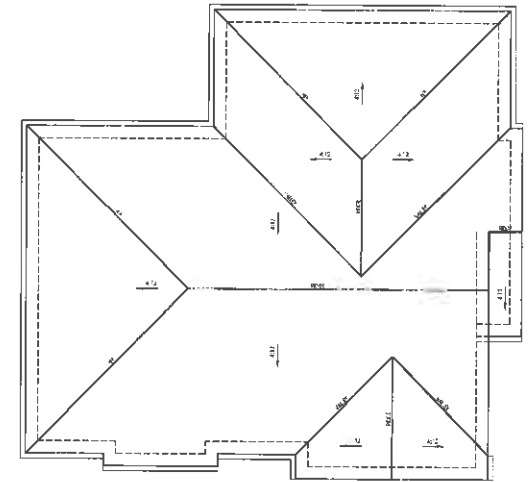
DESIGN DEVELOPMENT ELEVATIONS



1C - FARMHOUSE



1B - CRAFTSMAN

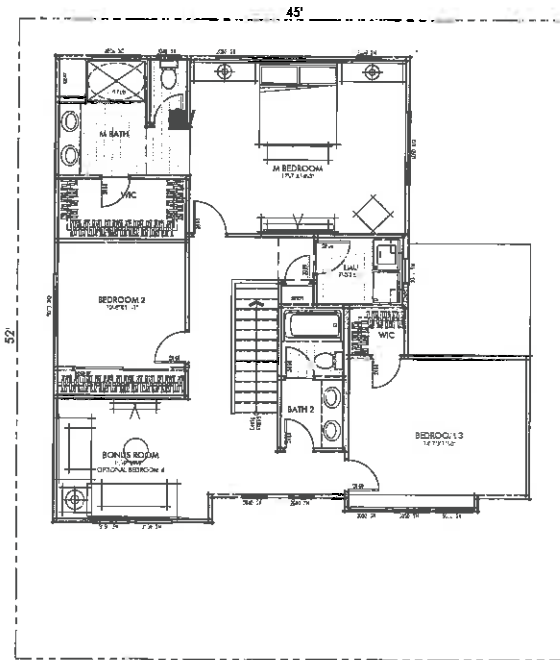


1A - SPANISH

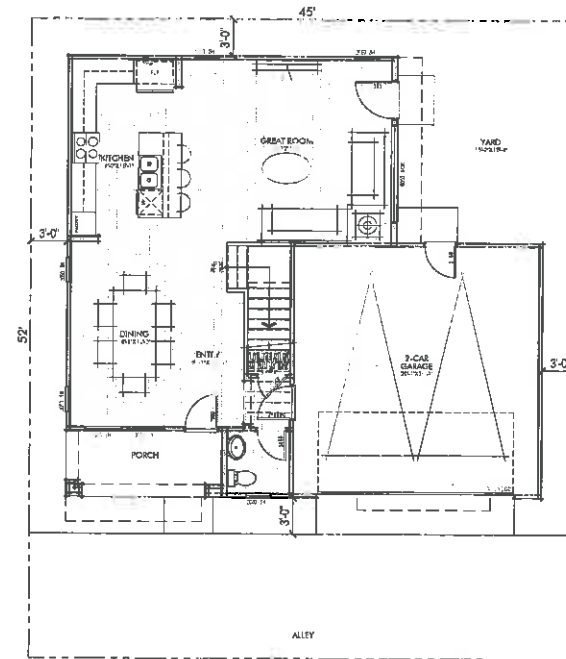
PLAN 1

SCALE: 1/4" = 1'-0"

RIVERPOINTE
DESIGN DEVELOPMENT ROOF PLAN



SECOND FLOOR



FIRST FLOOR

Floor Area: Plan 2

LIVING AREA:	752.8 SQ. FT.
FIRST FLOOR LIVING:	1186.1 SQ. FT.
SECOND FLOOR LIVING:	1893 SQ. FT.
TOTAL LIVING AREA:	3079.1 SQ. FT.
OTHER AREAS:	
GARAGE:	419 SQ. FT.
COVERED PORCH:	69 SQ. FT.

PLAN 2
1,893 SQFT
3 BED/2.5 BATH

SCALE: 1/4" = 1'-0"

RIVERPOINTE

DESIGN DEVELOPMENT FLOOR PLANS

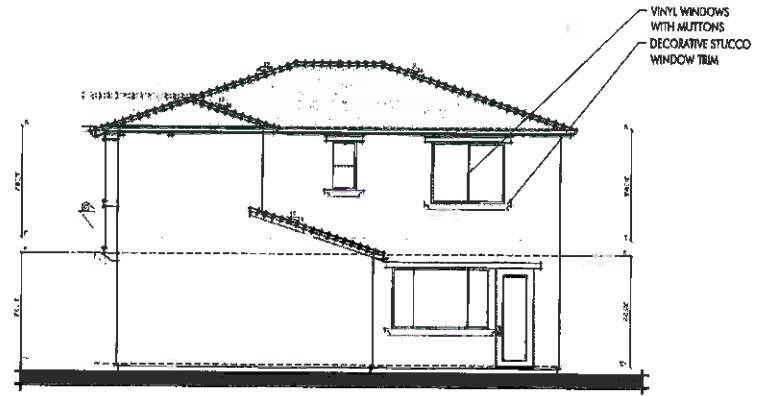


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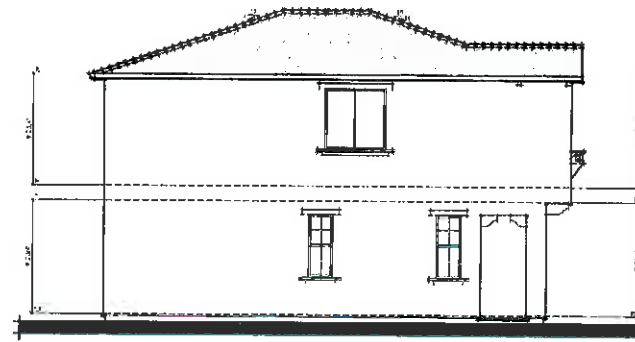
2A - ALLEY (SPANISH)
(FRONT)



2A - RIGHT (SPANISH)



2A - REAR (SPANISH)



2A - LEFT (SPANISH)

PLAN 2

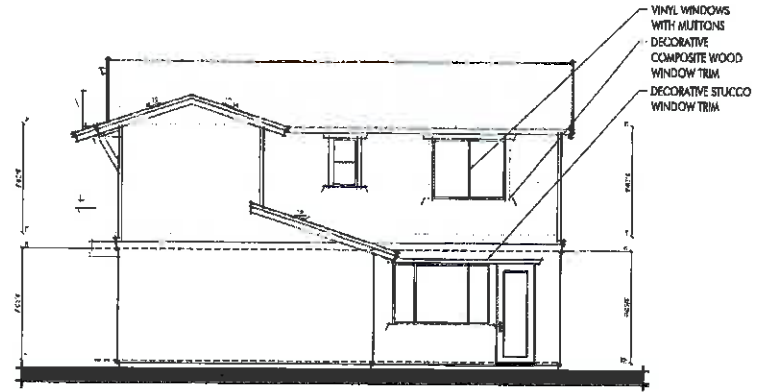
SCALE: 1/8" = 1'-0"

RIVERPOINTE

DESIGN DEVELOPMENT ELEVATIONS



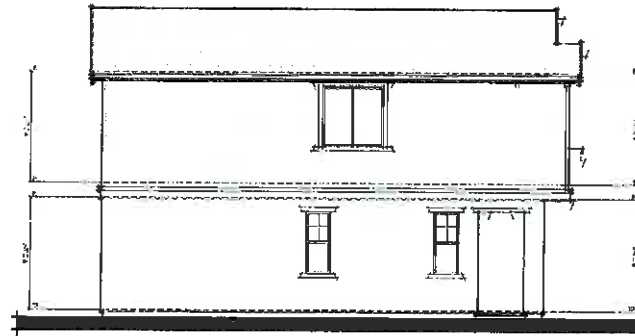
2B - ALLEY (CRAFTSMAN)
(FRONT)



2B - RIGHT (CRAFTSMAN)



2B - REAR (CRAFTSMAN)



2B - LEFT (CRAFTSMAN)

PLAN 2

SCALE: 1/8" = 1'-0"

RIVERPOINTE

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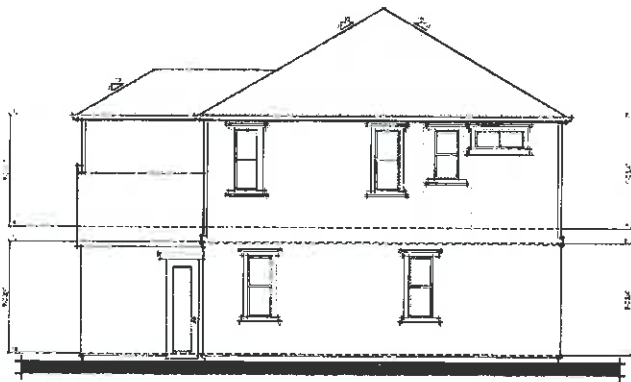
DESIGN DEVELOPMENT ELEVATIONS



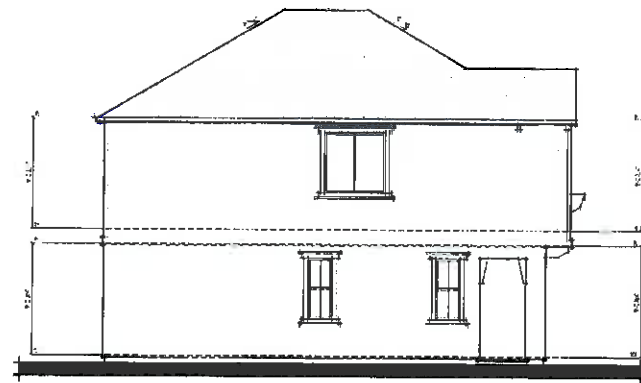
2C - ALLEY (FARMHOUSE)
(FRONT)



2C - RIGHT (FARMHOUSE)



2C - REAR (FARMHOUSE)



2C - LEFT (FARMHOUSE)

PLAN 2

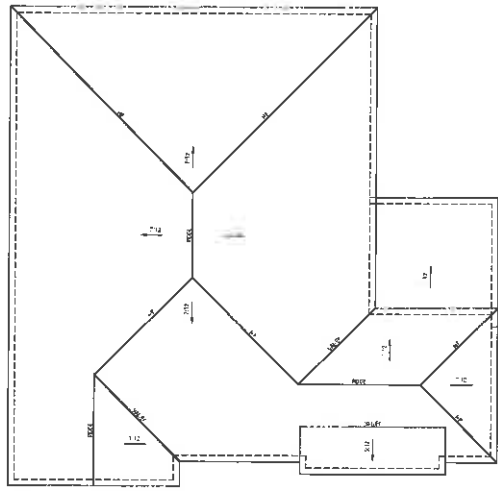
SCALE: 1/4" = 1'-0"

RIVERPOINTE

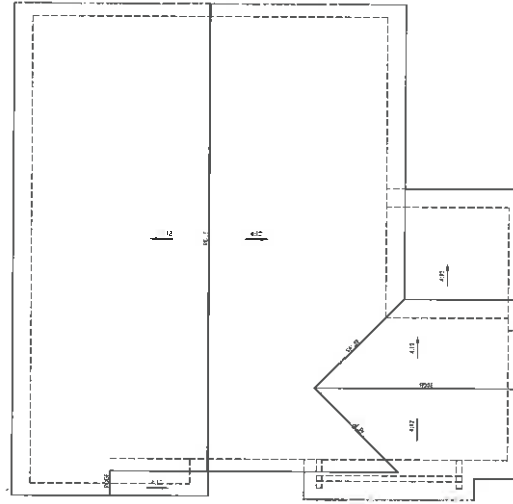
WOODBRIDGE, CA

December 19, 2018

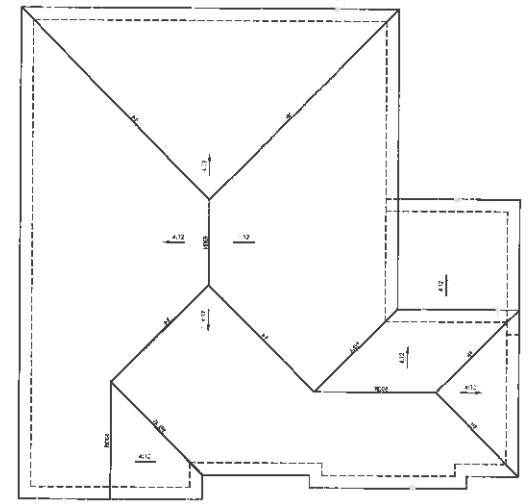
DESIGN DEVELOPMENT ELEVATIONS



2C - FARMHOUSE



2B - CRAFTSMAN

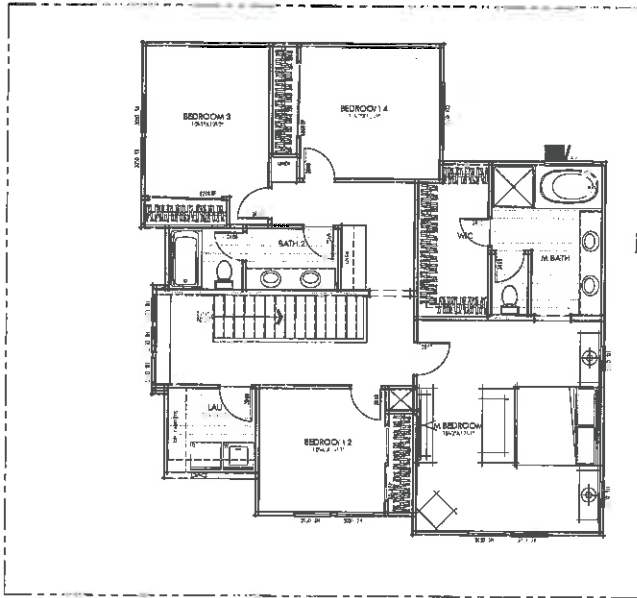


2A - SPANISH

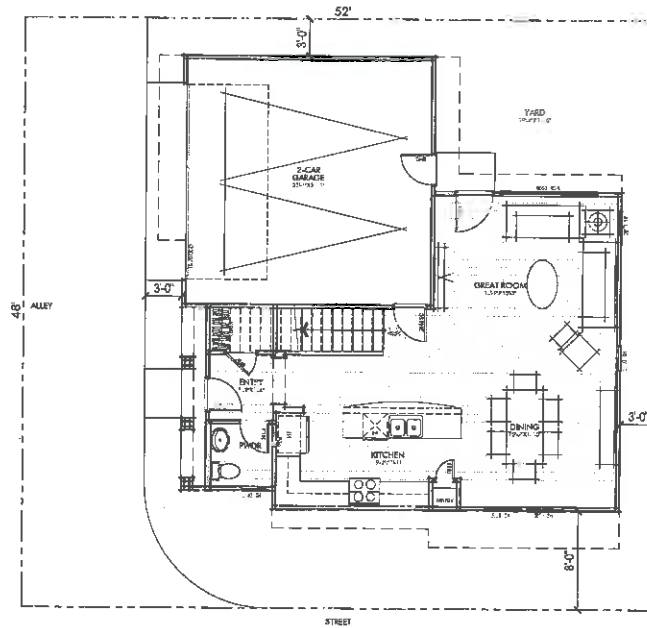
PLAN 2

SCALE: 1/4" = 1'-0"

RIVERPOINTE
DESIGN DEVELOPMENT ROOF PLAN



SECOND FLOOR



FIRST FLOOR

Floor Area: Plan 3

LIVING AREA:
 FIRST FLOOR LIVING: 711.7 SQ. FT.
 SECOND FLOOR LIVING: 1285.9 SQ. FT.
 TOTAL LIVING AREA: 1947 SQ. FT.
 OTHER AREAS:
 GARAGE: 418 SQ. FT.

PLAN 3
1,947 SQFT
3 BED/2.5 BATH

SCALE: 1/4" = 1'-0"

RIVERPOINTE

DESIGN DEVELOPMENT FLOOR PLANS



Pacifica Investments

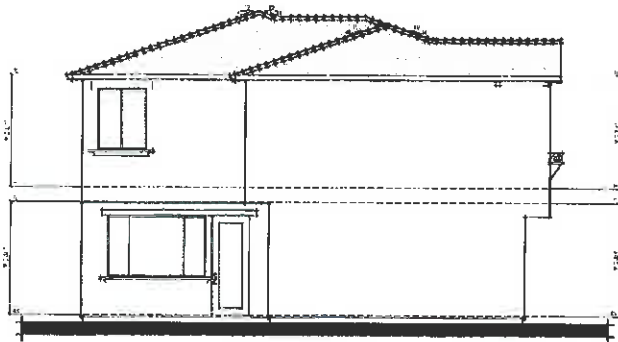




3A - STREET (SPANISH)
(FRONT)



3A - RIGHT (SPANISH)



3A - REAR (SPANISH)



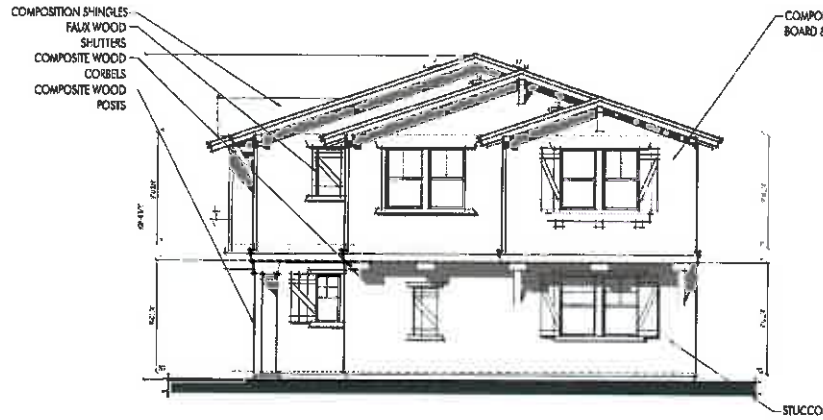
3A - ALLEY (SPANISH)
(1 FFL)

PLAN 3

SCALE: 1/4"=1'-0"

RIVERPOINTE

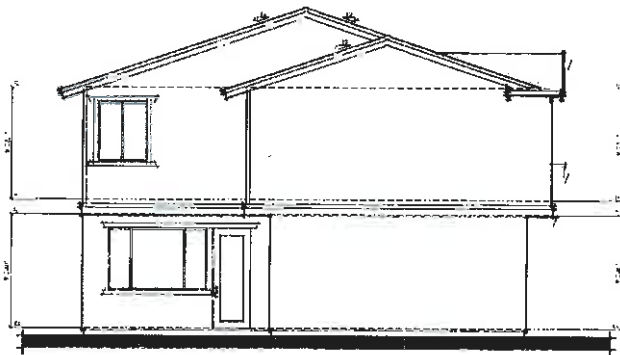
DESIGN DEVELOPMENT ELEVATIONS



3B - STREET (CRAFTSMAN)
(FRONT)



3B - RIGHT (CRAFTSMAN)



3B - REAR (CRAFTSMAN)



3B - ALLEY (CRAFTSMAN)
(LEFT)

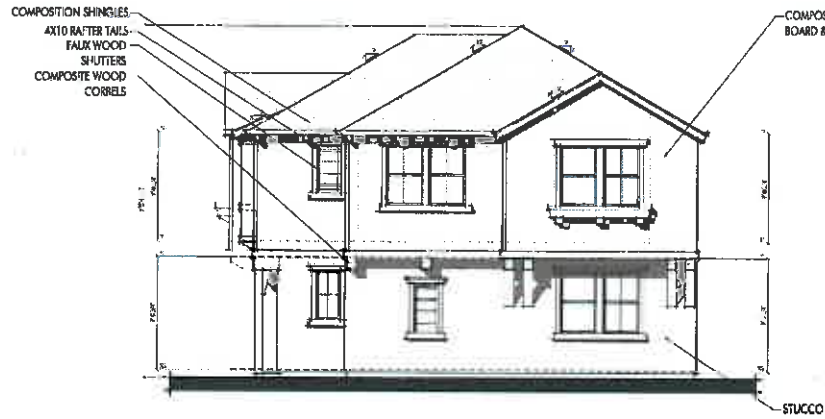
PLAN 3

SCALE: 1/4" = 1'-0"

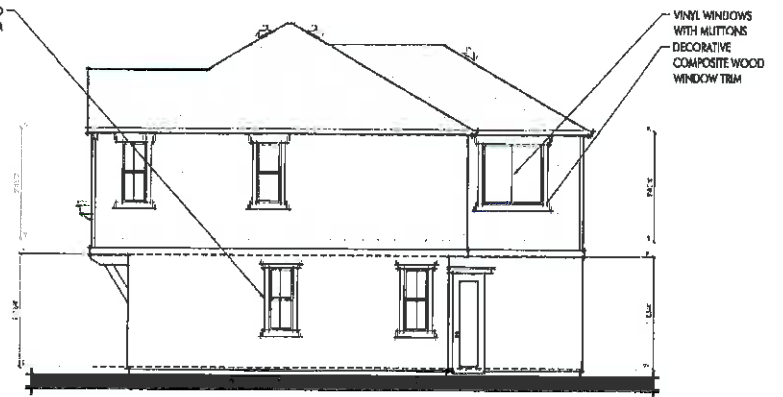
RIVERPOINTE

4111 RIVER, CA 94583-1010 916.434.1010

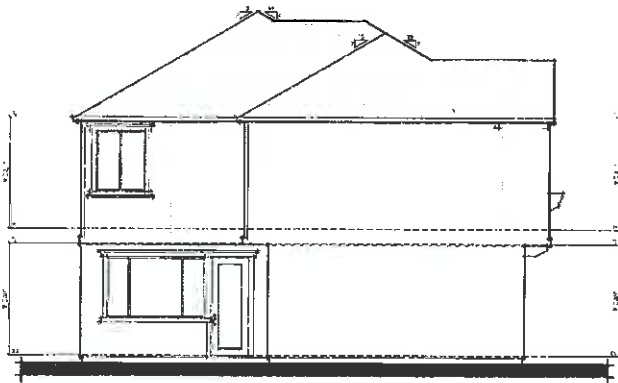
DESIGN DEVELOPMENT ELEVATIONS



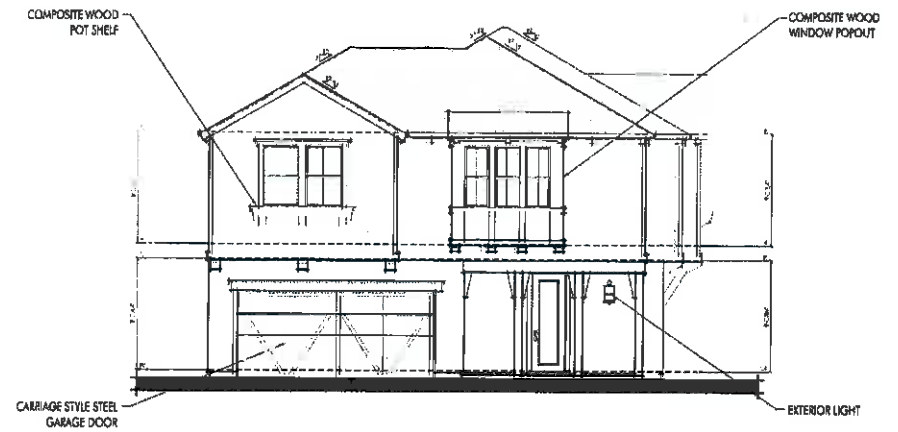
3C - STREET (FARMHOUSE)
(FRONT)



3C - RIGHT (FARMHOUSE)



3C - REAR (FARMHOUSE)



3C - ALLEY (FARMHOUSE)
(LEFT)

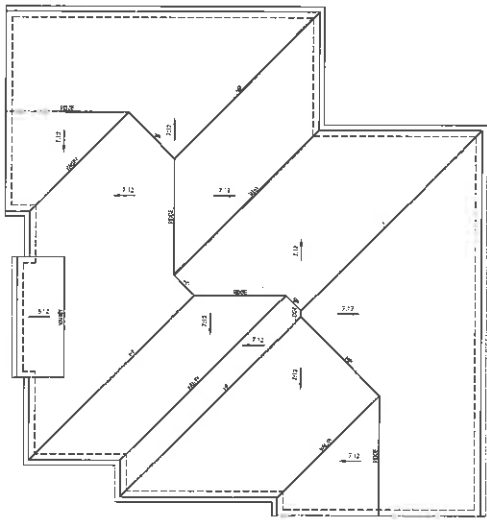
PLAN 3

SCALE: 1/4" = 1'-0"

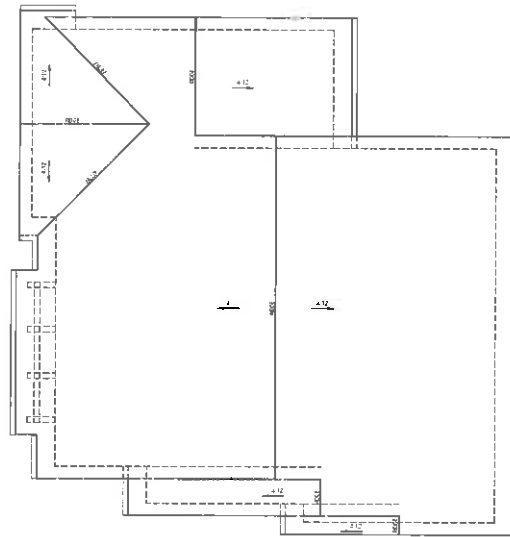
RIVERPOINTE

660 City, CA December 12, 2014

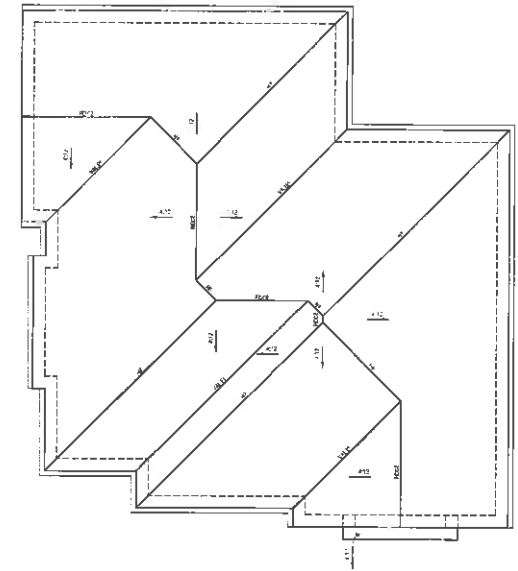
DESIGN DEVELOPMENT ELEVATIONS



3C - FARMHOUSE



3B - CRAFTSMAN



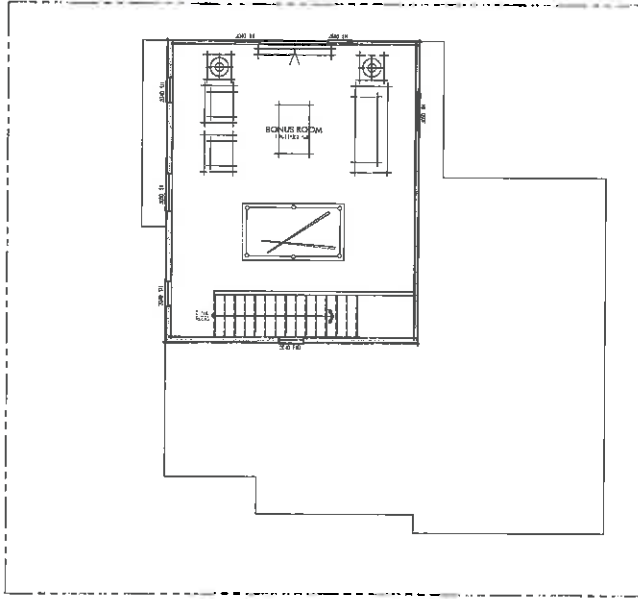
3A - SPANISH

PLAN 3

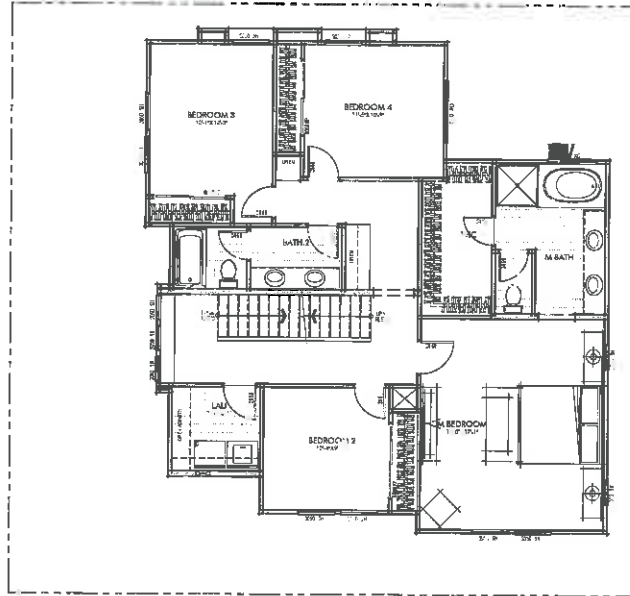
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RIVERPOINTE

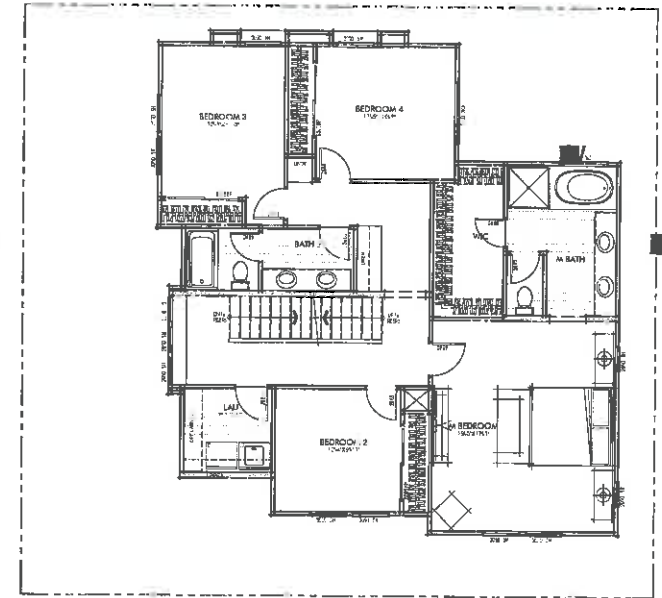
DESIGN DEVELOPMENT ROOF PLAN



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

Floor Area: Plan 3X

<p>LIVING AREA:</p> <p>FIRST FLOOR LIVING: 711.7 SQ. FT.</p> <p>SECOND FLOOR LIVING: 1253.9 SQ. FT.</p> <p>THIRD FLOOR LIVING: 448.8 SQ. FT.</p> <p>TOTAL LIVING AREA: 2389 SQ. FT.</p> <p>OTHER AREAS:</p> <p>GARAGE: 418 SQ. FT.</p>	
--	--

PLAN 3X
2,390 SQFT
3 BED/2.5 BATH

SCALE: 1/4" = 1'-0"

RIVERPOINTE

DESIGN DEVELOPMENT FLOOR PLANS

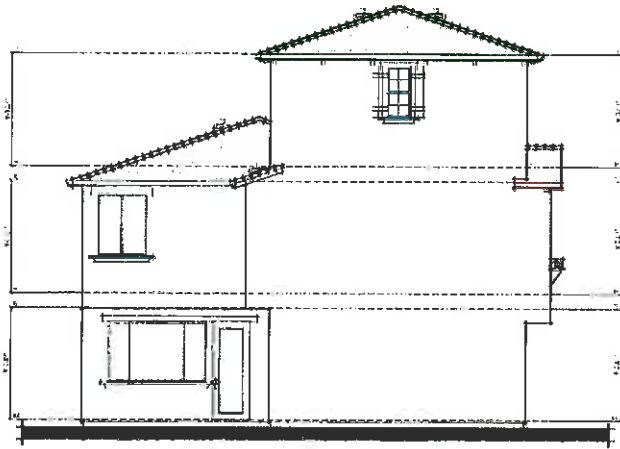




3X-A - STREET (SPANISH)
(FRONT)



3X-A - RIGHT (SPANISH)



3X-A - REAR (SPANISH)



3X-A - ALLEY (SPANISH)
(REAR)

PLAN 3X

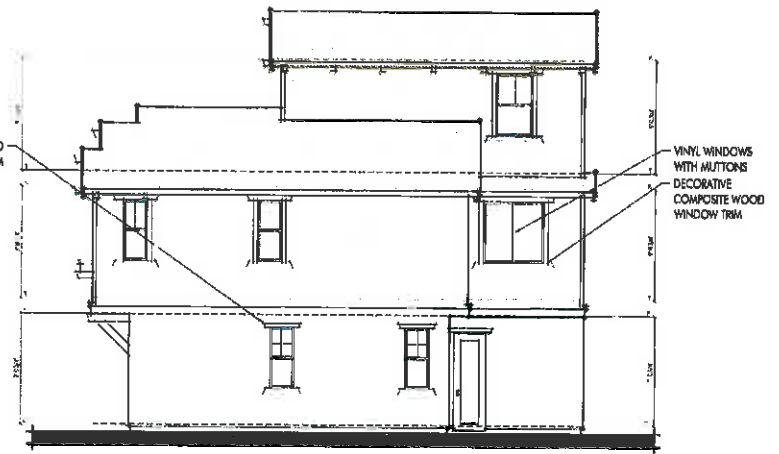
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RIVERPOINTE

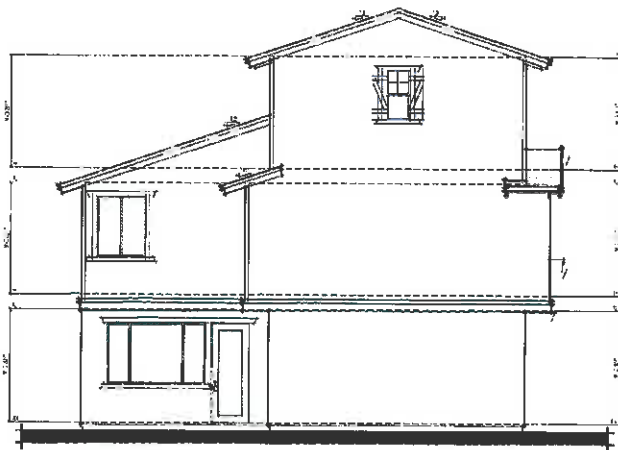
DESIGN DEVELOPMENT ELEVATIONS



3X-B - STREET (CRAFTSMAN)
(FRONT)



3X-B - RIGHT (CRAFTSMAN)



3X-B - REAR (CRAFTSMAN)



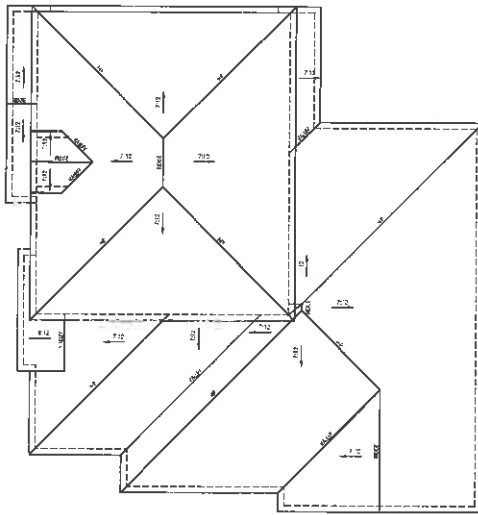
3X-B - ALLEY (CRAFTSMAN)
(REAR)

PLAN 3X

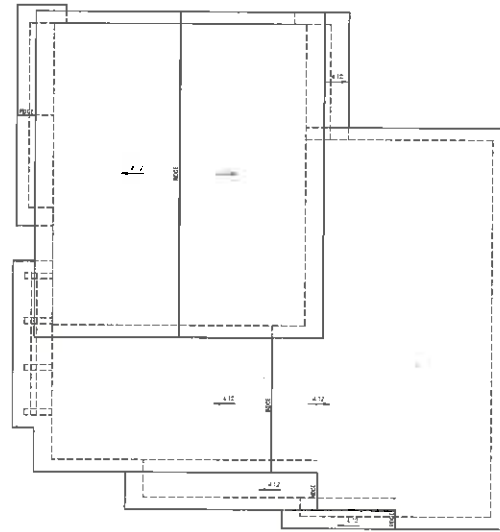
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RIVERPOINTE

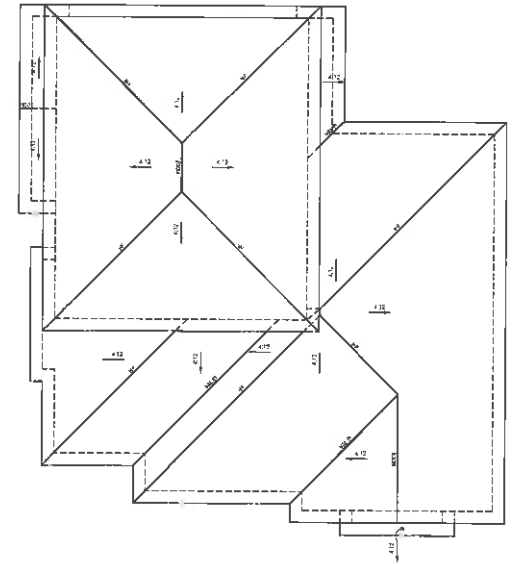
DESIGN DEVELOPMENT ELEVATIONS



3X-C - FARMHOUSE



3X-B - CRAFTSMAN



3X-A - SPANISH

PLAN 3X

SCALE: 1/4" = 1'-0"

RIVERPOINTE
DESIGN DEVELOPMENT ROOF PLAN

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Riverside Planning Department will hold hearings on this item and should be contacted on non-ALUC issues. For more information please contact City of Riverside Planner Mr. Matthew Taylor at (951) 826-5944

The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, February 18, and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: March 14, 2019

TIME OF HEARING: 9:30 A.M.

CASE DESCRIPTION:

ZAP1096RI19 – Passco Pacifica, LLC, (Representative: EPD Solutions, Inc.) – City of Riverside Case Nos. P18-0970 (General Plan Amendment), P18-0971 (Rezone), P18-0972 (Tract Map), P18-0973 (Planned Residential Development), P18-0974 (Design Review), P18-0975 (Variance). The applicant proposes the following entitlements to facilitate the development of a Planned Residential Development of 56 single family residential lots on 7.07 acres located southerly of Jurupa Avenue, easterly of Tyler Street, westerly of Idyllwild Lane, and northerly of Mandalay Court: 1) a General Plan Amendment to change the site's General Plan land use designation from Commercial (C) to Medium Density Residential (MDR); 2) a Zoning Code Amendment to change the site's zone from Commercial Retail Zone (CR) to Single-Family Residential Zone and Building Stories Overlay Zone (R-1-7000-S-3); 3) a Tentative Tract Map No. 37626 to divide the site's 7.07 acres into 56 single-family residential lots, 14 open space lots, and 11 lettered lots for street purposes; 4) a Planned Residential Development for the establishment of detached single-family dwellings, private streets and common open space; 5) Design Review of project plans; and 6) a Variance to allow a reduce perimeter landscape setback. (Airport Compatibility Zone C of the Riverside Municipal Airport Influence Area).



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

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APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1096 RI 19 DATE SUBMITTED: January 23, 2019

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Passco Pacifica LLC c/o Oscar Graham	Phone Number (714) 609-7257
Mailing Address	333 City Boulevard West, Ste. 1700 Orange, CA 92868	Email oscar@pacificainvest.com
Representative	EPD Solutions, Inc. c/o Rafik Albert	Phone Number (949) 794-1182
Mailing Address	2030 Main St., Ste. 1200 Irvine, CA 92614	Email rafik@epdsolutions.com
Property Owner	Henry Cox II, Coxwest Properties	Phone Number (951) 360-2070
Mailing Address	8175 Limonite Ave. #E Riverside, CA 92509	Email

LOCAL JURISDICTION AGENCY

Local Agency Name	City of Riverside Planning Division	Phone Number (951) 826-5944
Staff Contact	Matthew Taylor	Email MTaylor@riversideca.gov
Mailing Address	3900 Main Street, 3rd Floor Riverside, CA 92522	Case Type
Local Agency Project No	<u>P18-0975 - VARIANCE</u> <u>P18-0970 - CPA / P18-0971 - ZONE CHANGE</u> <u>P18-0972 - TTM / P18-0973 - PRD / P18-0974 - DESIGN REV.</u>	<input checked="" type="checkbox"/> General Plan / Specific Plan Amendment <input checked="" type="checkbox"/> Zoning Ordinance Amendment <input checked="" type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input type="checkbox"/> Site Plan Review/Plot Plan <input checked="" type="checkbox"/> Other <u>Variance, Planned Residential</u> Development Permit, Design Review

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	No address (southeast corner of Tyler St. & Jurupa Ave.)		
Assessor's Parcel No.	155-441-023	Gross Parcel Size	7.07 ac
Subdivision Name	None	Nearest Airport	
Lot Number	None	and distance from Airport	Riverside Municipal, 1.6 miles

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	Vacant.

Proposed Land Use (describe)	56 single-family detached homes and associated common space areas.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	56 units	
For Other Land Uses (See Appendix C)	Hours of Operation	n/a	
	Number of People on Site	n/a	Maximum Number n/a
	Method of Calculation	n/a	
Height Data	Site Elevation (above mean sea level)	59	ft.
	Height of buildings or structures (from the ground)	40	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	If yes, describe	n/a	

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address (only required if the project is scheduled for a public hearing Commission meeting)

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

4.1 Director's Approvals.

- A. During the period of January 16, 2019 through February 15, 2019, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Simon Housman reviewed one non-legislative case within Zone D of the Jacqueline Cochran Regional Airport Influence Area, one non-legislative case within Zone E of the Hemet-Ryan Airport Influence Area, and three non-legislative cases within Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area and issued determinations of consistency.

ZAP1045TH18 (Jacqueline Cochran, Zone D) pertains to City of Coachella Case No. AR18-10 (Architectural Review), a proposal to establish the Polk Street Electrical Substation (including three 20 foot tall 250 square foot maintenance buildings, electrical structures including transformers and switch gears, and power poles with a maximum height of 70 feet) on 4.65 acres located on the northeast corner of Industrial Way and Polk Street. The site is located within Compatibility Zone D of the Jacqueline Cochran Regional Airport Influence Area, where non-residential intensity is restricted to an average of 100 persons per acre and a maximum of 300 persons in any given single-acre area. The proposed buildings will not result in a significant occupancy. The elevation of Runway 12-30 at Jacqueline Cochran Regional Airport at its northerly terminus is approximately -117 feet (i.e., 117 feet below) mean sea level (MSL). At a distance of 10,522 feet from the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top point exceeding -12 feet (less than 12 feet below) MSL. The site's elevation is approximately -88 feet MSL. With a maximum pole height of 70 feet, the top point elevation would be -18 feet MSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on February 4, 2019.

ZAP1349MA19 (March, Zone E) pertains to City of Moreno Valley Case No. PEN18-0243 (Conditional Use Permit), a proposal to construct a 75 foot tall mono-palm wireless communications facility within a 545 square foot lease area on a 1.36-acre parcel within a commercial center located on the easterly side of Perris Boulevard, southerly of Iris Avenue. The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area, where non-residential intensity is not restricted. The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (AMSL). At a distance of approximately 10,000 feet from the site to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top point exceeding 1,588 feet AMSL. The site's grade elevation is 1,503 feet AMSL, and the proposed structure has a maximum height of 75 feet, resulting in a top point elevation of 1,578 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on February 4, 2019.

ZAP1350MA19 (March, Zone D) pertains to City of Moreno Valley Case No. PEN18-0244 (Conditional Use Permit), a proposal to construct a 75 foot tall mono-palm wireless communications facility within a 760 square foot lease area on a 5.9-acre parcel located on the southerly side of Globe Street, easterly of Perris Boulevard and westerly of Kitching Street. The site is located within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area, where non-residential intensity is not restricted. The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (AMSL). At a distance of 6,436 feet from the site to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top point exceeding 1,552.4 feet AMSL. The site's grade elevation is 1,465 feet AMSL, and the proposed structure has a maximum height of 75 feet, resulting in a top point elevation of 1,540 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on February 4, 2019.

ZAP1347MA19 (March, Zone E) pertains to City of Moreno Valley Case No. PEN19-0004 (Conditional Use Permit), a proposal to establish a 2,145 square foot Starbucks drive-through restaurant/coffee shop on a 1.2-acre lot located on the westerly side of Frederick Street, northerly of Centerpoint Drive and southerly of the eastbound State Highway Route 60/Frederick Street off-ramp, within the TownGate Plaza shopping center. The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area, where non-residential intensity is not restricted. The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (AMSL). At a distance of 15,000 feet from the site to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,685 feet AMSL. The site's maximum pad elevation is 1,638 feet AMSL, and the proposed structure has a maximum height of 21 feet, resulting in a top point elevation of 1,659 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on February 7, 2019.

ZAP1059HR19 (Hemet-Ryan, Zone E) pertains to City of Hemet Case No. CUP19-001 (Conditional Use Permit), a proposal to construct a 70 foot tall mono-eucalyptus wireless communications facility (including a 600 square foot equipment shelter area) on a 7.48-acre parcel located at 150 Auto Mall Drive, southerly of Florida Avenue, easterly of Warren Road, and northerly of Whittier Avenue. The site is located within Compatibility Zone E of the Hemet-Ryan Airport Influence Area, where non-residential intensity is not restricted. The elevation of Runway 5-23 at Hemet-Ryan Airport at its existing southwesterly terminus is approximately 1,508 feet above mean sea level (AMSL). At a distance of approximately 2,400 feet from the site to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top point exceeding 1,532 feet AMSL. The elevation of the project site is 1,507 feet AMSL, and the proposed structure has a maximum height of 70 feet, resulting in a top point elevation of 1,577 feet AMSL. Therefore, FAA OES review for height/elevation reasons was required. The applicant submitted Form 7460-1 to the FAA OES, and a Determination of No Hazard to Air Navigation letter for Aeronautical Study No. 2018-AWP-17920-OE was issued on February 6, 2019. The study revealed that the proposed structure would not exceed obstruction standards and would not be a hazard to air navigation provided conditions are met. These FAA conditions have been incorporated into the determination of consistency for this project issued by ALUC Director Simon Housman on February 14, 2019.

4.2 Overflight Brochures (Riverside Municipal Airport and Perris Valley Airport)

When ALUC adopted the Riverside Municipal Airport Land Use Compatibility Plan in 2005, in conjunction with allowing “residential densities as low as 4.0 dwelling units per gross acre” in most of the portion of Compatibility Zone D within the City of Riverside, an Additional Compatibility Policy was included requiring expanded buyer awareness “measures intended to ensure that prospective buyers or renters are informed about the presence of aircraft overflights of the property.” Among these measures was to be an “informational brochure” that would be “provided to prospective buyers or tenants” of new single-family or multi-family development within the Riverside Municipal Airport Influence Area (except for Compatibility Zone E). Subsequently, a similar provision was incorporated into the Perris Valley Airport Land Use Compatibility Plan, applying to new single-family or multi-family development anywhere within the Perris Valley Airport Influence Area, except those portions of Compatibility Zone E located southerly of Ellis Avenue.

However, until recently, no such brochures had been prepared by ALUC staff. Now, ALUC Principal Planner Paul Rull and ALUC Secretary Barbara Santos have prepared overflight brochures for both of these airports. Copies are provided, for your information.

As requested by Vice-Chairman Betts, copies have also been sent to the Inland Valleys Association of Realtors as well as to the applicable airport managers.

4.3 Economic Development Agency Airports Video Presentation

The Riverside County Economic Development Agency (EDA), which manages County-owned airports [from west to east, French Valley, Hemet-Ryan, Jacqueline Cochran Regional, Chiriaco Summit, and Blythe], has prepared a video, which will be presented by an EDA staff member.

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

4.1

February 4, 2019

CHAIR

Steve Manos
Lake Elsinore

VICE CHAIR

Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor,
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Mr. Luis Lopez, Development Services Director
City of Coachella Planning Department
1515 Sixth Street
Coachella CA 92236

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1045TH18
Related File No.: AR18-10 (Architectural Review)
APN: 763-131-019

Dear Mr. Lopez:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Coachella Case No. AR18-10 (Architectural Review), a proposal to establish the Polk Street Electrical Substation on 4.65 acres located on the northeast corner of Industrial Way and Polk Street. The substation includes three 20 foot tall maintenance buildings (each 250 square feet in floor area), several electrical structures including transformers and switch gears, and power poles with a maximum height of 70 feet.

The site is located within Airport Compatibility Zone D of the Jacqueline Cochran Regional Airport Influence Area (AIA). Within Compatibility Zone D of the Jacqueline Cochran Regional Airport Land Use Compatibility Plan, non-residential intensity is restricted to an average of 100 people per acre and 300 people in any given single-acre area. The proposed electrical substation buildings will not generate any significant occupancy.

The elevation at the northwesterly end of Runway 12-30 at Jacqueline Cochran Regional Airport is -117 feet mean sea level (MSL). At a distance of 10,522 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review would be required for any structures with a top of roof exceeding -11.78 feet mean sea level. The site's elevation is approximately -88 feet MSL. The applicant has indicated that the power poles would be a maximum of 70 feet in height, resulting in a top point elevation of -18 feet MSL. Therefore, FAA obstruction evaluation review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Jacqueline Cochran Regional Airport Land Use Compatibility Plan, as amended in 2006, provided that the City of Coachella applies the following recommended conditions (and complies with them in its role as landowner):

AIRPORT LAND USE COMMISSION


CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use or activity which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Wastewater management facilities, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, and incinerators.
3. The attached notice shall be provided to all potential purchasers of the property and tenants/lessees of the buildings thereon, and shall be recorded as a deed notice.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. This project has been evaluated for a substation facility including power poles with a maximum height of 70 feet. Any increase in building/structure height that results in a top point elevation higher than -11.78 feet mean sea level (i.e., any elevation that is not at least 11.78 feet BELOW mean sea level) will require an amended review by the Airport Land Use Commission and the Federal Aviation Administration Obstruction Evaluation Service.

If you have any questions, please contact Paul Rull, Principal Planner, at (951) 955-6893.

AIRPORT LAND USE COMMISSION

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

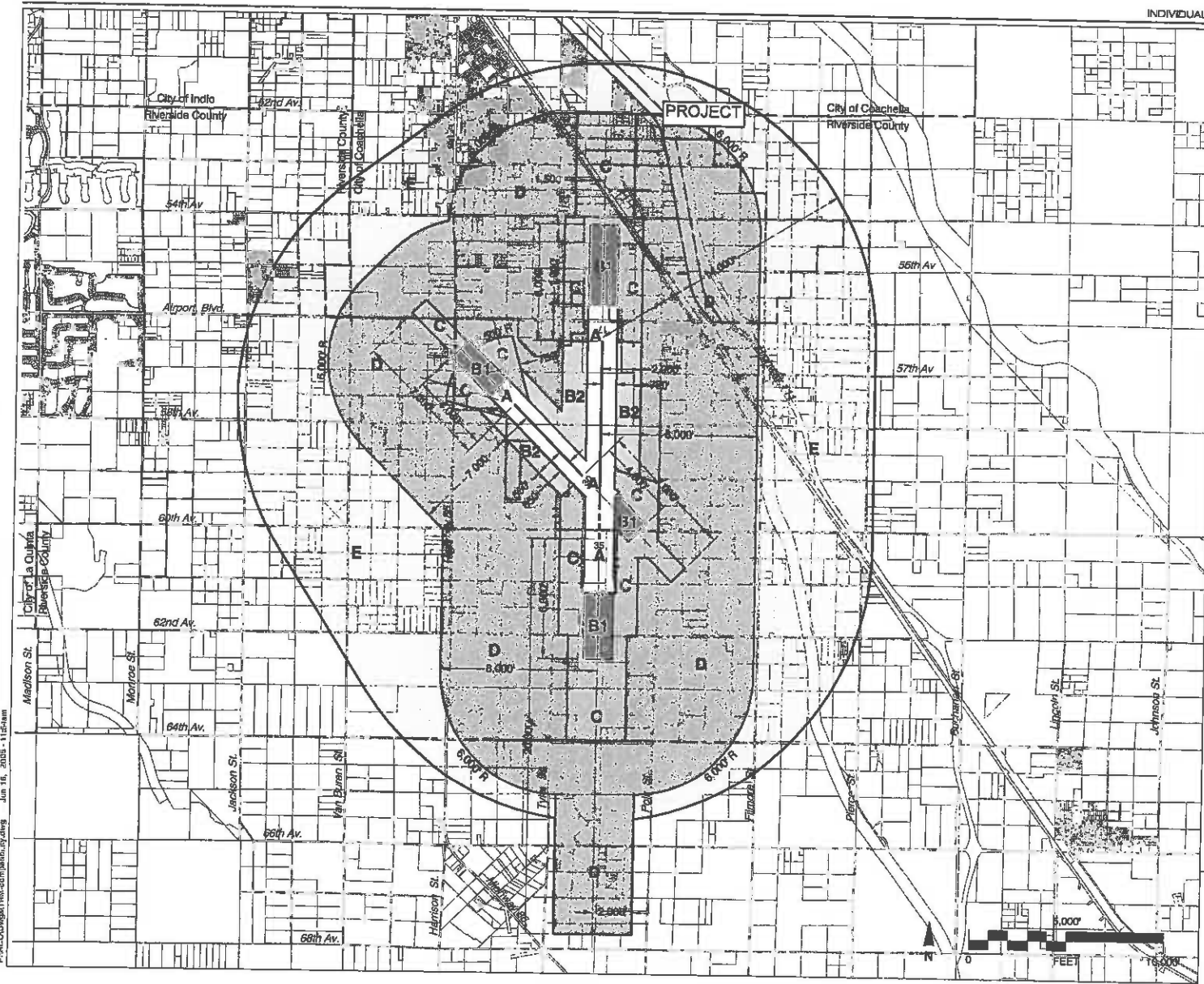
Attachments: Notice of Airport in Vicinity

cc: Stronghold Power Systems, Inc. (applicant)
The Altum Group, Jon Braginton (representative)
Vince Yzaguirre, Assistant Director, Riverside County Economic Development Agency
Liliana Valle, County Airports Manager
ALUC Case File

Y:\AIRPORT CASE FILES\VCRA\ZAP1045TH18\ZAP1045TH18.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

- Airport Property Line - Existing
- Airport Property Line - Planned
- City Limits

Note

Except for southern extension, Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

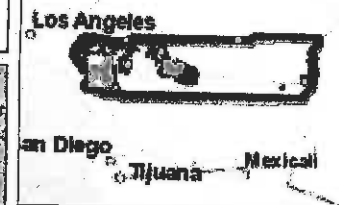
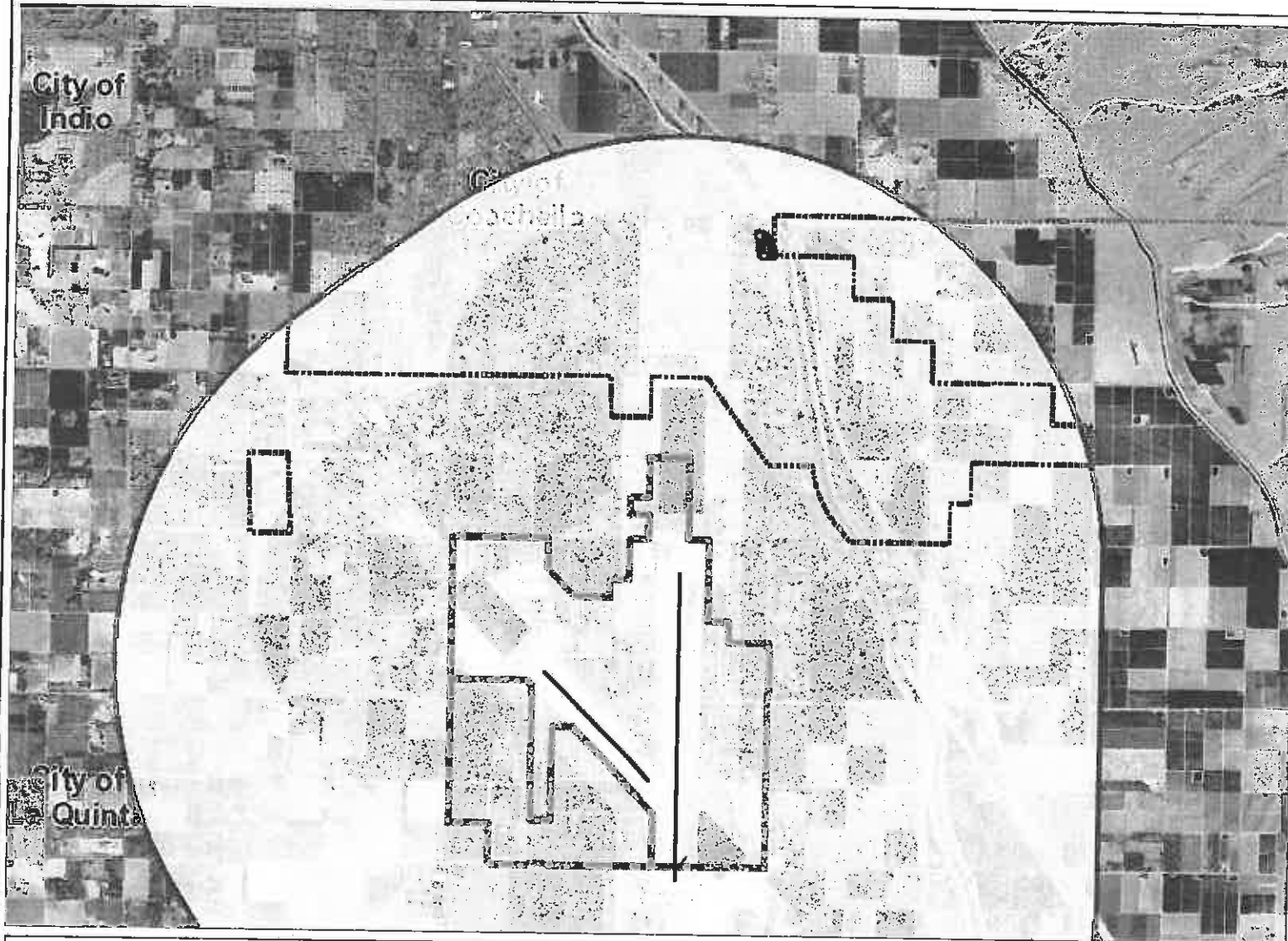
See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted June 2005)

Map JC-1

Compatibility Map
Jacqueline Cochran Regional Airport

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones
 - ▨ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

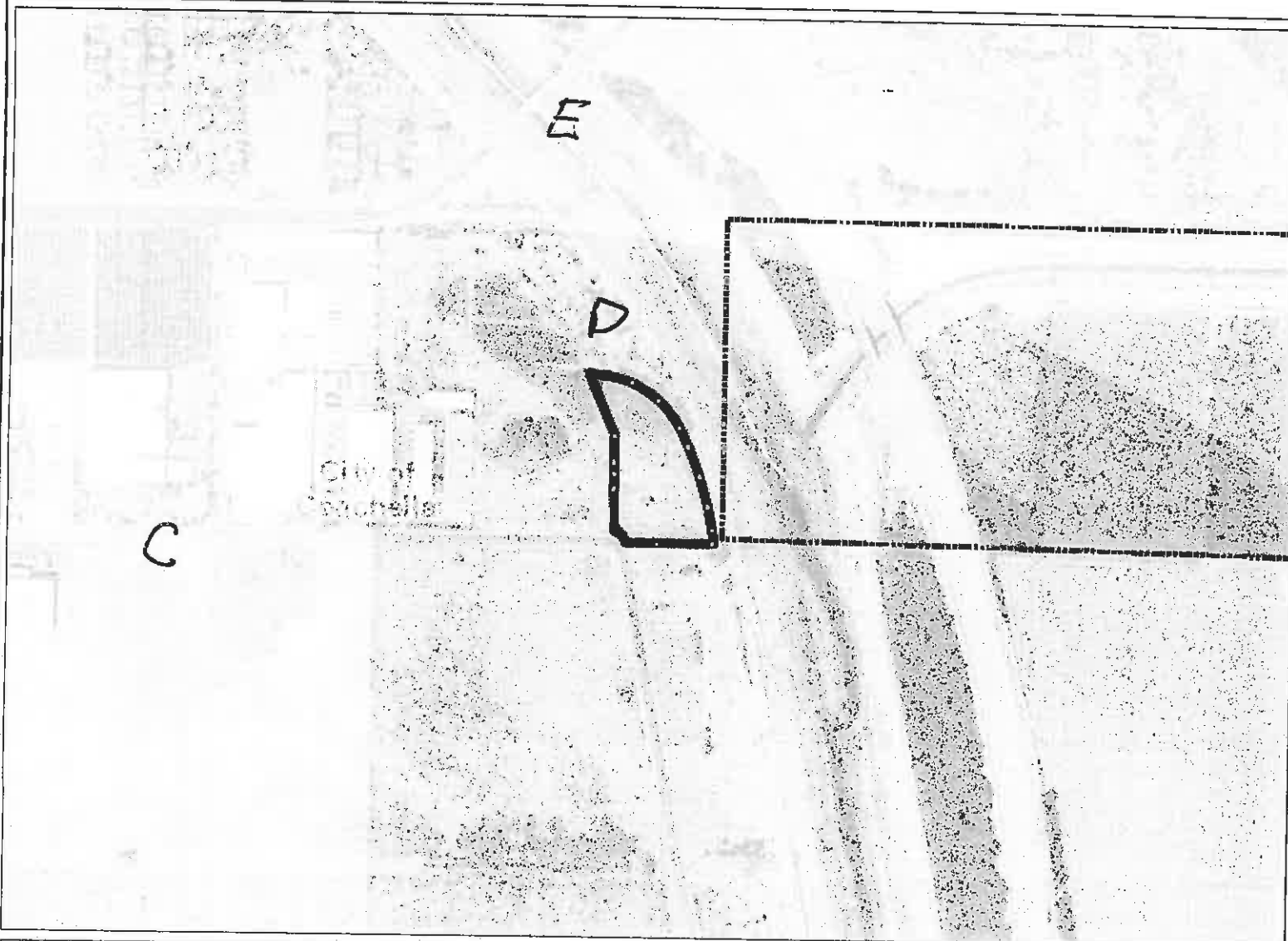


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Notes

Map My County Map



Legend

- Runways
- ▣ Airports
- ◻ Airport Influence Areas
- Airport Compatibility Zones
 - ▨ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

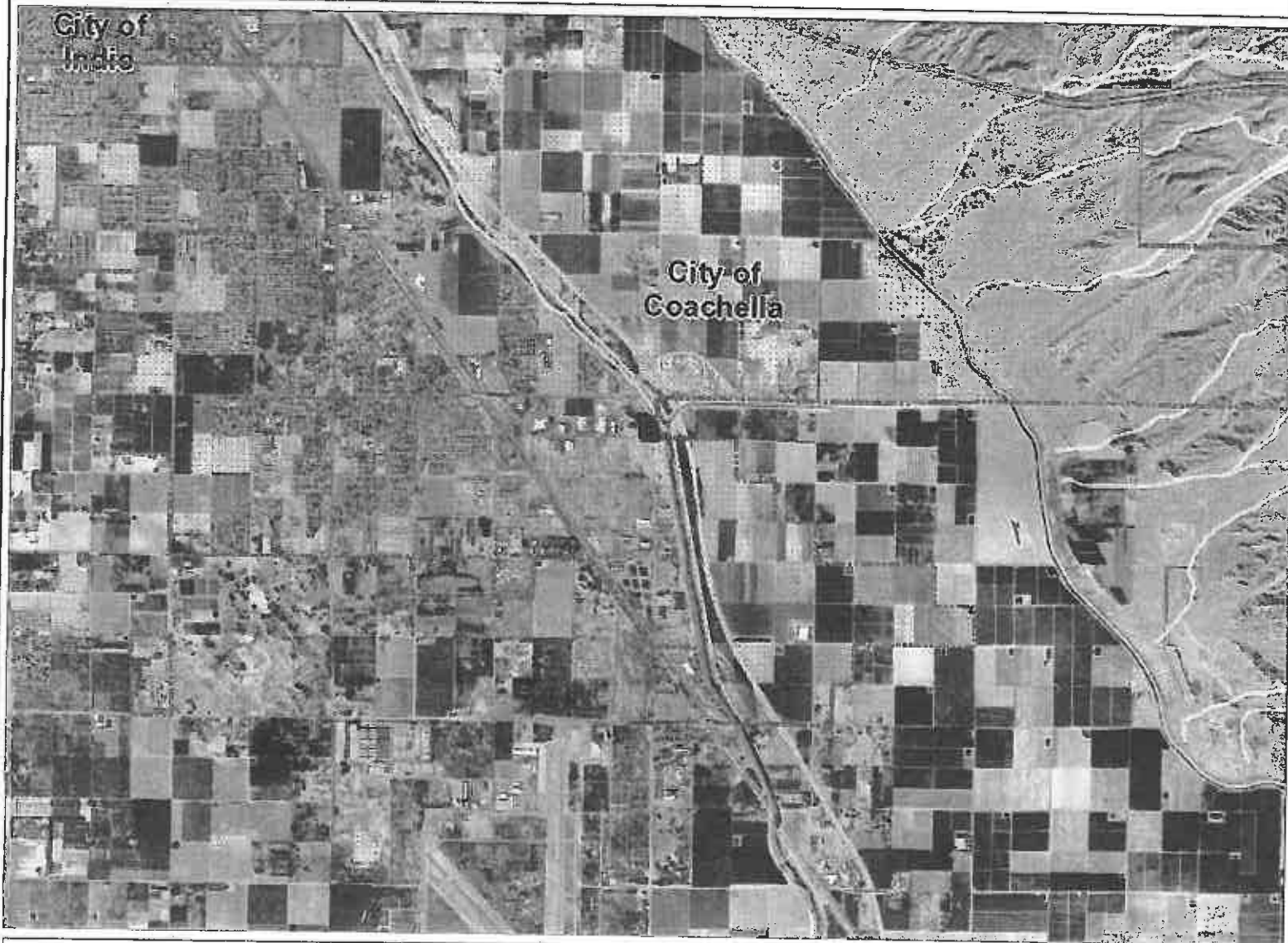
0 758 1,516 Feet

REPORT PRINTED ON... 1/7/2019 7:40:28 AM

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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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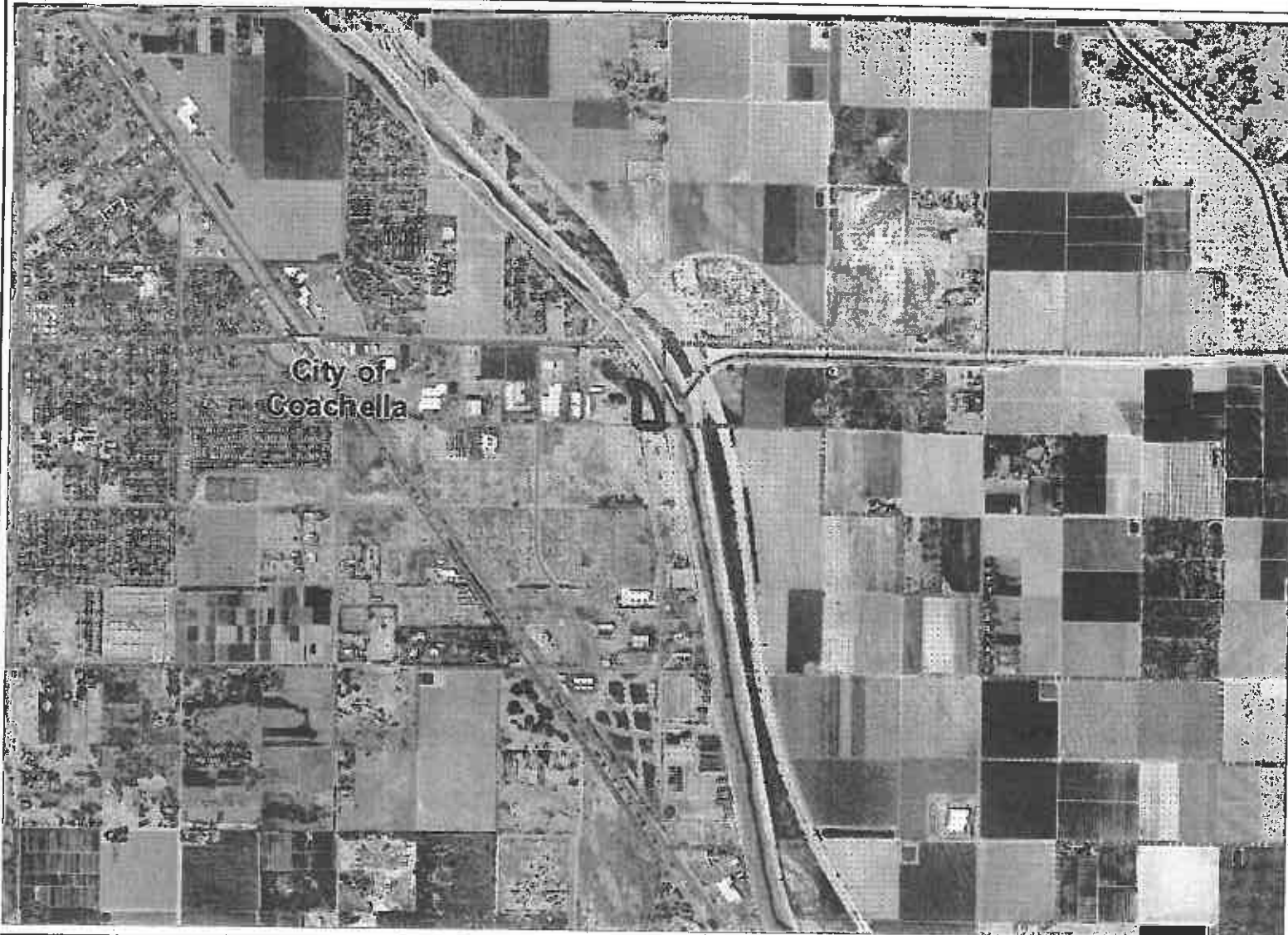
Notes



REPORT PRINTED ON... 1/7/2019 7:42:47 AM

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Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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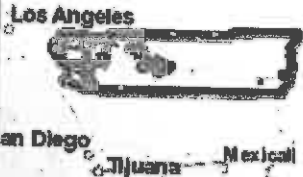
Notes



REPORT PRINTED ON... 1/7/2019 7:43:24 AM

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Map My County Map



- Legend**
- Blueline Streams
 - City Areas
 - World Street Map



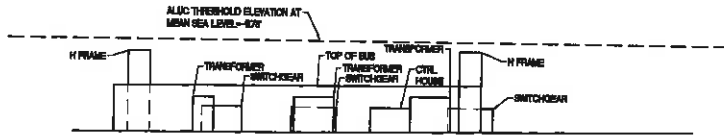
"IMPORTANT" Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 758 1,516 Feet

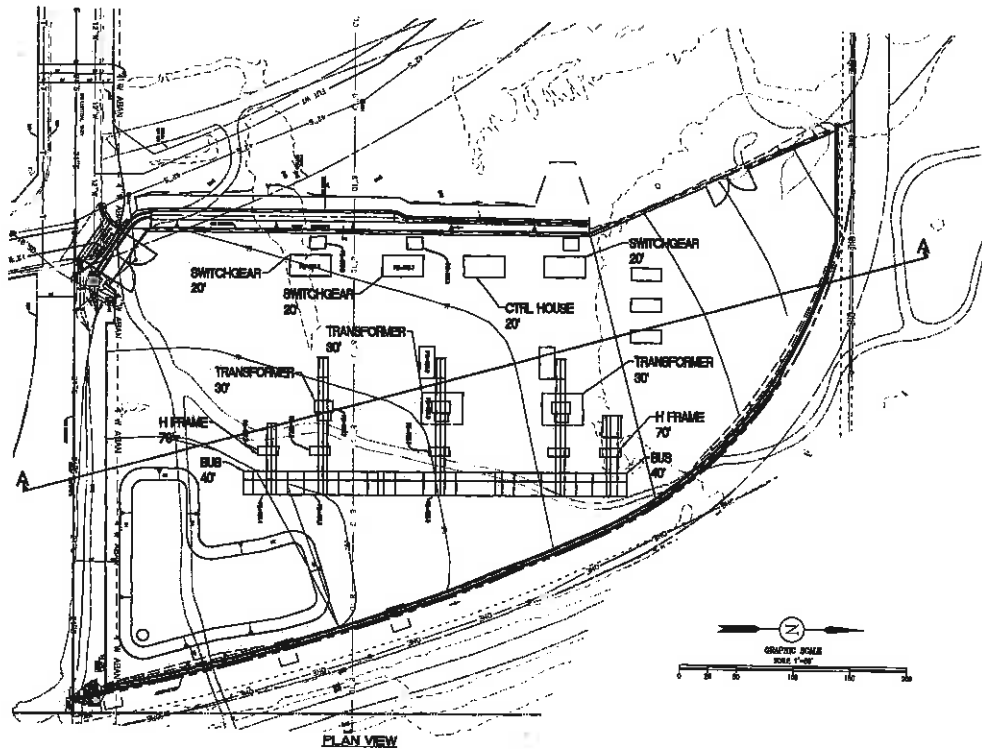
REPORT PRINTED ON... 1/7/2019 7:41:05 AM

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Notes




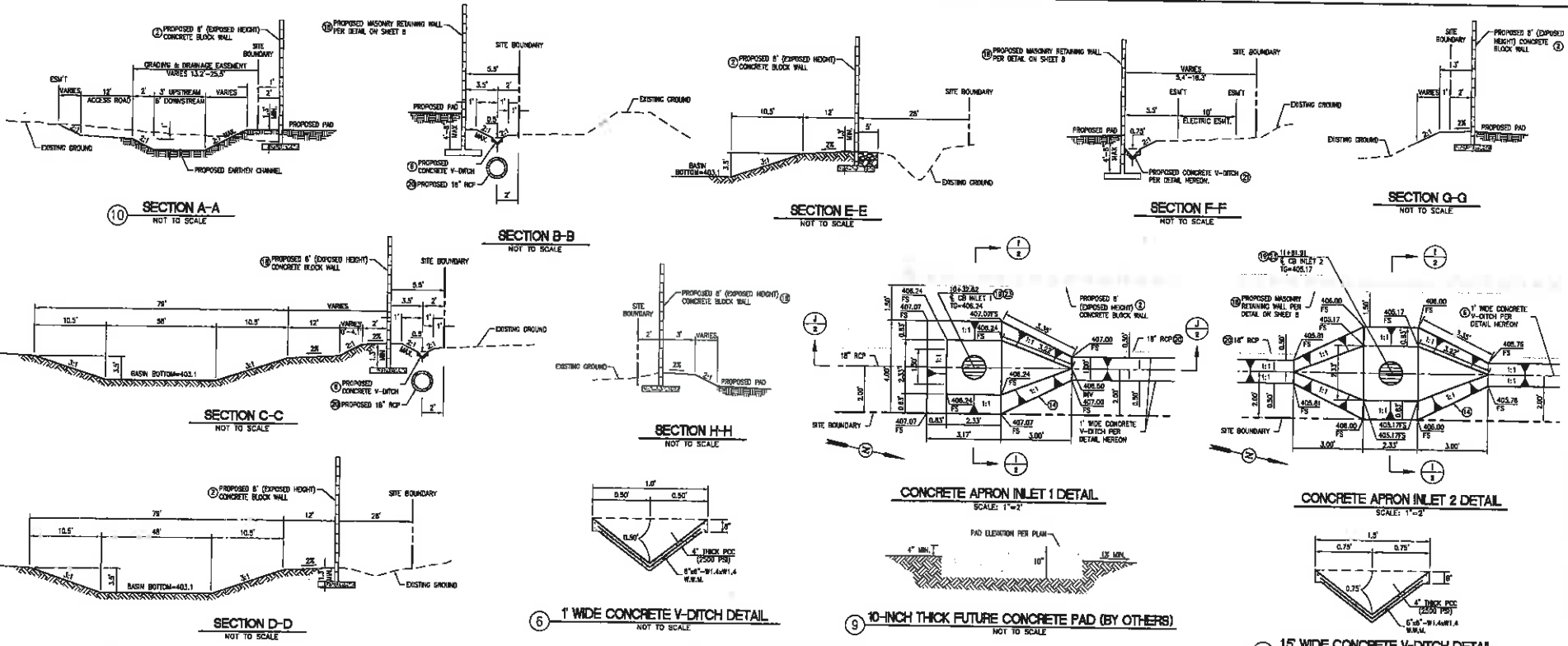
SECTION A-A



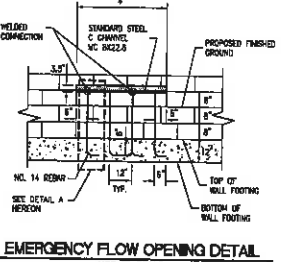
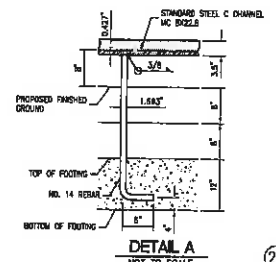
PLAN VIEW

L:\projects\1000 Park Blvd. Sealed\dwg\substation\substation.dwg Scale: 1/8"=1'-0" Date: 10/21/2010 10:48:11 AM

 <p>75-760 Fred Waring Dr., Ste. 229 Palm Desert, CA 92036 679.346.4700 • 679.241.0699 TheGroup.com</p>	CITY OF COACHELLA		SHEET NO. 1
	EXHIBIT POLK SUBSTATION CROSS SECTION		OF 1
	APR. 2010-018		FOR: STRONGHOLD ENGINEERING, INC.
ENGINEERING PLANNING SURVEY ENVIRONMENTAL			



- CONSTRUCTION NOTES**
- CONSTRUCT 8" (EXPOSED HEIGHT) TYPE 2 REINFORCED CONCRETE BLOCK WALL PER SPW STANDARD PLAN 901-2.
 - CONSTRUCT 1" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET 2.
 - 10'-RIP THICK CONCRETE PAD PER DETAIL ON SHEET 2. (FOOTING ON OTHERS)
 - CONSTRUCT EARTHEN CHANNEL AND ACCESS ROAD PER SECTION "A-A" ON SHEET 2.
 - CONSTRUCT 4" THICK CONCRETE LINING (CLASS "A") DRAINAGE INLET STRUCTURE WITH 6" X 6" WOODS WELDED WIRE MESH. SEE DETAIL ON SHEET 2 AND WITH 6" OUTLET WALL PER DETAIL ON SHEET 2.
 - CONSTRUCT TYPE 4 MASONRY RETAINING WALL PER DETAIL ON SHEET 2.
 - CONSTRUCT 12" RIP W/8" TYPE SOOR GRATE PER DETAIL ON CALTRANS STD. PLAN.
 - CONSTRUCT 16" RIP (CLASS IV).
 - CONSTRUCT 15" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET 2.
 - CONSTRUCT 4' X 8' EMERGENCY FLOW OPENING PER DETAIL ON SHEET 2.
 - CONSTRUCT JUNCTION STRUCTURE NO. 4 PER R.G.C. & M.C.D. CHG. NO. 0229.



Underground Service Alert
 Call: TOLL FREE 1-800-227-2800
 TWO WORKING DAYS BEFORE YOU DIG

NOTICE OF WARNING:
 CURRENT CONSTRUCTION, EXISTING AND PROPOSED UTILITIES LOCATED WITHIN CITY OF COACHELLA ARE SHOWN AND SHOWN THEREAS ARE NOT GUARANTEED BY THE CITY OF COACHELLA ENGINEERING DEPARTMENT.
 BENCHMARK:
 CITY OF COACHELLA BM 1011:
 2x4" WELDED CORNER IRON ON TOP SET CORNER OF EASEL ON THE SOUTHWEST CORNER OF 1/4" X 1/4" SIDE OF THE CORNER OF UTILITY AND 2' SOUTH OF THE CENTERLINE OF ROADWAY.
 ELEVATION = 872.00' WHICH IS THE ELEVATION LISTED ABOVE IS ACTUAL ELEVATION + 500' FEET TO ROAD MEDIAN ELEVATION.

NO.	DATE	INITIALS	REVISIONS	APPROVAL DATE

RECOMMENDED FOR APPROVAL: _____ DATE: _____
 NEAL OWLEY, R.C.E. 5362

CITY OF COACHELLA

APPROVED FOR CONSTRUCTION: _____ DATE: _____
 JONATHAN B. NOT, R.C.E. NO. 6368

APPROVED BY: _____ DATE: 03/29/20

APPROVED BY: _____ DATE: _____
 J. LUIS LOPEZ - PLANNING DIRECTOR



CITY OF COACHELLA
 PRECISE GRADING PLANS
 FOLK SUBSTATION
 DETAILS AND SECTIONS

APR. 7-13-20-219

DATE: APR. 12/15/20 FOR: STRONGHOLD ENGINEERING, INC.

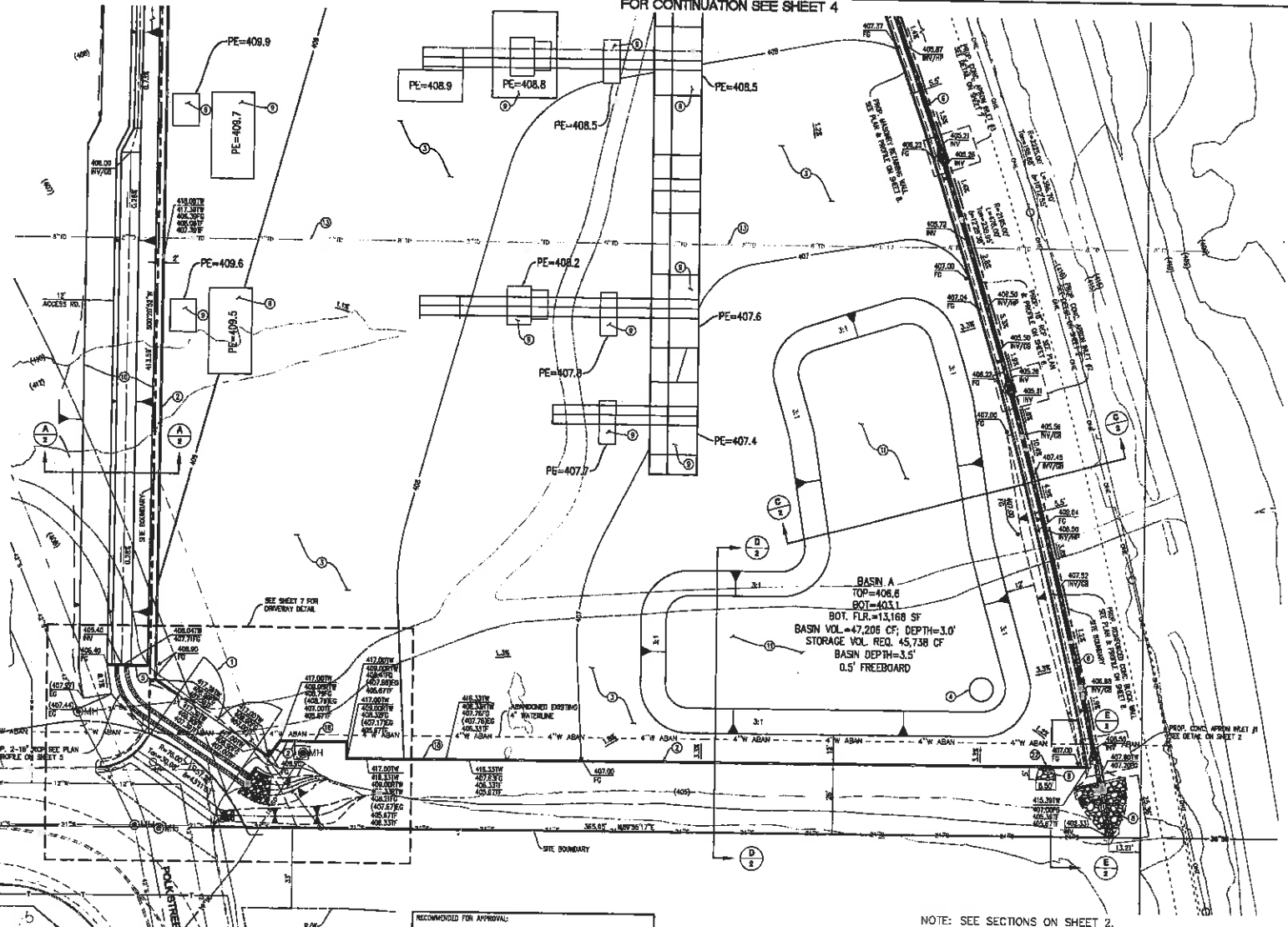
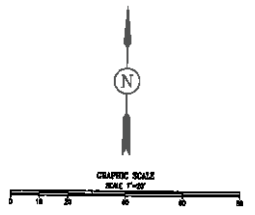
SHEET NO. 2 OF 15

FOR CONTINUATION SEE SHEET 4

- CONSTRUCTION NOTES**
1. INSTALL 20" DIA. GATE PER SPPRC STD. PLAN 400-3.
 2. CONSTRUCT 6" MIN. (EXPOSED HEIGHT) TYPE II REINFORCED CONCRETE BLOCK WALL PER SPPRC STANDARD PLAN 600-3.
 3. INSTALL 4" D.C. AS SHOWN.
 4. CONSTRUCT STANDARD DRYWELL PER CITY OF COACHELLA STD. DWG. NO. SD-4.1.
 5. CONSTRUCT PIPE HEADWALL PER CALTRANS STD. PLAN D08A.
 6. CONSTRUCT 1" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET 2.
 7. CONSTRUCT LIGHT GLASS IMPACT (1-1/2") PER CALTRANS SPEC. 72-5.
 8. 15-INCH THICK CONCRETE PAD PER DETAIL ON SHEET 2 (FURNISH BY OTHERS).
 9. CONSTRUCT EARTHEN CHANNEL, AND ACCESS ROAD PER SECTION "A-A" ON SHEET 2.
 10. CONSTRUCT RETENTION BASIN.
 11. CONSTRUCT COMMERCIAL DRIVEWAY PER CITY OF COACHELLA STD. DWG. NO. SD-18.
 12. PROTECT EXISTING 6" TILE DRAIN.
 13. CONSTRUCT TYPE "A" MASONRY RETAINING WALL MODIFIED PER DETAIL ON SHEET 4.
 14. CONSTRUCT 4" W X 8" H EMERGENCY FLOW OPENING PER DETAIL ON SHEET 2.

LEGEND

PROPOSED D.C. SURFACE



NOTE: SEE SECTIONS ON SHEET 2.

Underground Service Alert
 Call: TOLL FREE
 1-800
 227-2800

BASES OF BEARINGS
 CALIFORNIA GEODETIC SYSTEM, L.S. MERIDIAN (2011) BOUND BETWEEN CITY OF COACHELLA BY 9111 AND BY 1028 3800 AS INDICATED FOR THE CITY OF COACHELLA RECORD BOOK.
 BENCHMARK:
 CITY OF COACHELLA BM 1814;
 2'-10" BENCH MARK SET IN THE TOP OF CORNER OF BORN AT THE INTERSECTION CORNER, IT IS IN PART OF THE CORNER OF ENGINEER AND 30' NORTH OF THE CORNER OF BORN 24.
 ELEVATION = 307.254 ASSE BY
 THE ELEVATION LISTED ABOVE IS ACTUAL ELEVATION + 500' FEET TO AVOID NEGATIVE ELEVATION

NO.	DATE	INIT.	REVISIONS	APPY/DN DATE

RECOMMENDED FOR APPROVAL:
 WOL. OSLEY, R.E.E. 38827 DATE: _____
CITY OF COACHELLA
 APPROVED FOR CONSTRUCTION:
 JONATHAN D. HOPE, R.C.E. NO. 63526 EXP. 06/30/20 DATE: _____
 APPROVED BY: _____ DATE: _____
 J. LUIS LOPEZ - PLANNING DIRECTOR DATE: _____



STRONGHOLD ENGINEERING, INC.
 The Alliance Group
 7579 Wood Haven Drive, Suite 215, Palm Desert, CA 92260
 924-844-0200 TheStronghold.com 1-760-349-8888
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 DALE C. ROSS, R.C.E. NO. 60898 DATE: _____
 EXP. 12/31/23

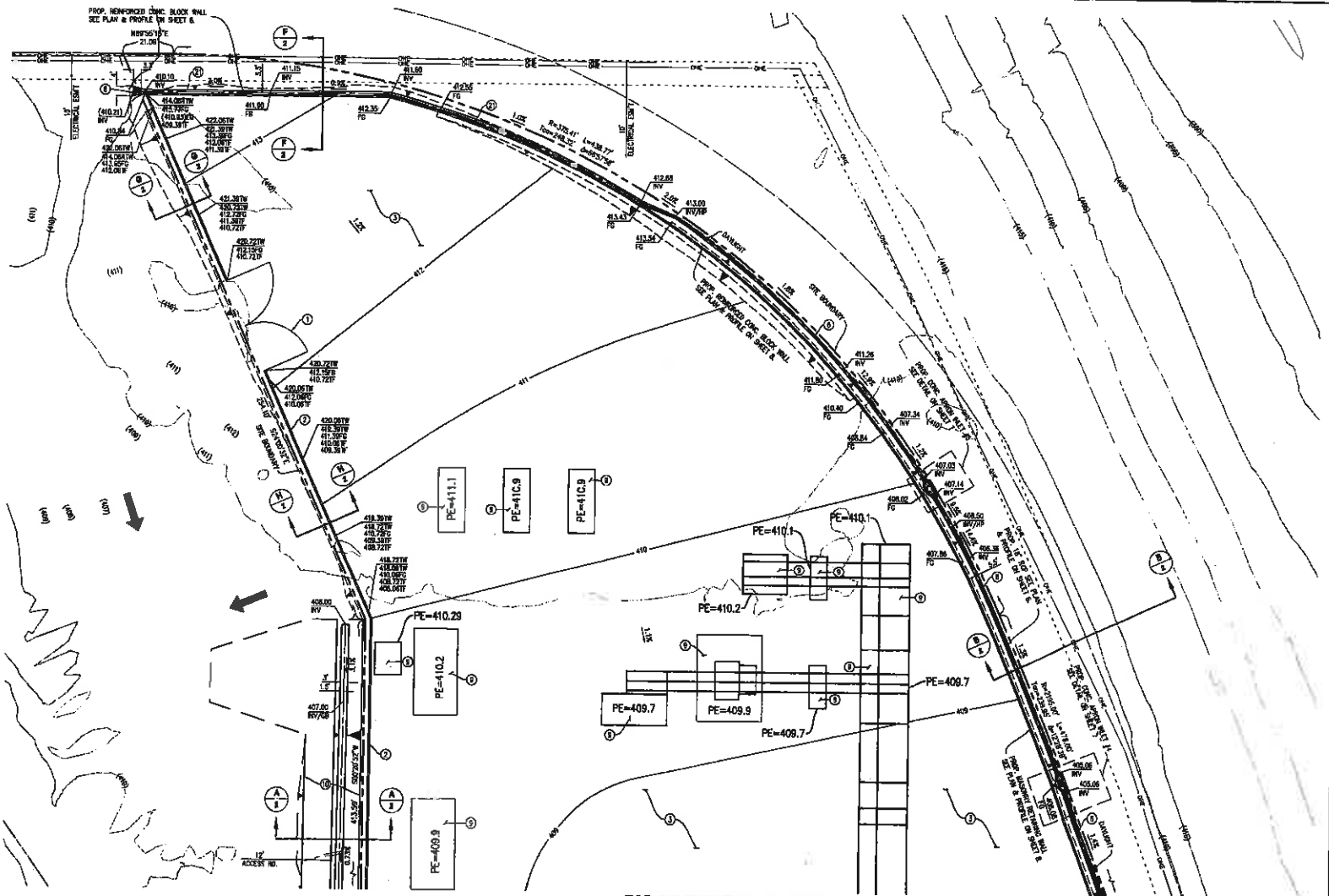
CITY OF COACHELLA
PRECISE GRADING PLANS
POLK SUBSTATION
PRECISE GRADING
 APR. 763-120-019
STRONGHOLD ENGINEERING, INC.

SHEET NO. **3**
 OF **15**

- CONSTRUCTION NOTES**
1. INSTALL DBL. 24" DRIVE GATE PER SPPLIC STD. PLAN 600-3.
 2. CONSTRUCT 6" MIN. REINFORCED HEIGHT 1" TYPE 2" REINFORCED CONCRETE BLOCK WALL PER SPPLIC STANDARD PLAN 601-3.
 3. INSTALL 6" O.D. AS SHOWN.
 4. CONSTRUCT PIPE HEADWALL PER CALTRANS STD. PLAN 604A.
 5. CONSTRUCT 1" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET 2.
 6. CONSTRUCT LIGHT CLASS REPAIR (T-12) PER CALTRANS SPEC. 72-5.
 7. 24" WIDE THICK CONCRETE PVD PER DETAIL ON SHEET 2. (FUTURE BY OTHERS)
 8. CONSTRUCT EARTHRET CHANNEL AND ACCESS ROAD PER SECTION 1-22 ON SHEET 2.
 9. CONSTRUCT 1.5" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET 2.

LEGEND

-  PROPOSED DUG SURFACE
-  SHOW WATER FLOW



FOR CONTINUATION SEE SHEET 3

NOTE: SEE SECTIONS ON SHEET 2.

Underground Service Alert

Call: TOLL FREE
1-800
227-2600

BASES OF BENCHMARKS:
CALIFORNIA COORDINATE SYSTEM, ZONE 18, NAD 83 (NAD 83) COORDINATES BETWEEN CITY OF COACHELLA AND THE SAN ANDREAS FAULT ARE AS SHOWN FOR THE CITY OF COACHELLA BENCHMARK BOOK.
BENCHMARK:
CITY OF COACHELLA BM 1010:
2-1/2" DIA. IRON PIPE SET AT THE TOP OF CURB, 2' EAST OF THE CENTERLINE OF THE RETURN, IT IS AT EAST OF THE CENTERLINE OF ENTERPRISE AND 30' SOUTH OF THE CENTERLINE OF AVENUE 24.
ELEVATION = 347.00 HIGHER BY THE SURVEYOR LISTED ABOVE IS MEAN, ELEVATION = 500' FEET TO MEAN MEANING ELEVATION.

NO.	DATE	REVISIONS	APPROVED DATE

RECOMMENDED FOR APPROVAL: _____ DATE: _____

NOEL OWSEY, R.C.E. 3687

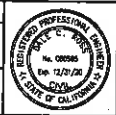
CITY OF COACHELLA

APPROVED FOR CONSTRUCTION: _____ DATE: _____

JENNIFER D. WY, R.C.E. NO. 63825 EXP. 08/26/20

APPROVED BY: _____ DATE: _____

J. LUIS LOPEZ - PLANNING DIRECTOR



STRONGHOLD ENGINEERING, INC.

Engineering • Planning
Survey • Environmental

22111 - The Auburn Group, Suite 200, 2901 Auburn Blvd, Sacramento, CA 95821
Tel: 916-486-4291 Fax: 916-486-4292
www.Stronghold-Eng.com 1-201-946-9889

PREPARED UNDER THE DIRECT SUPERVISION OF:

DATE: _____ DATE: EXP. 12/31/20

CITY OF COACHELLA

PRECISE GRADING PLANS

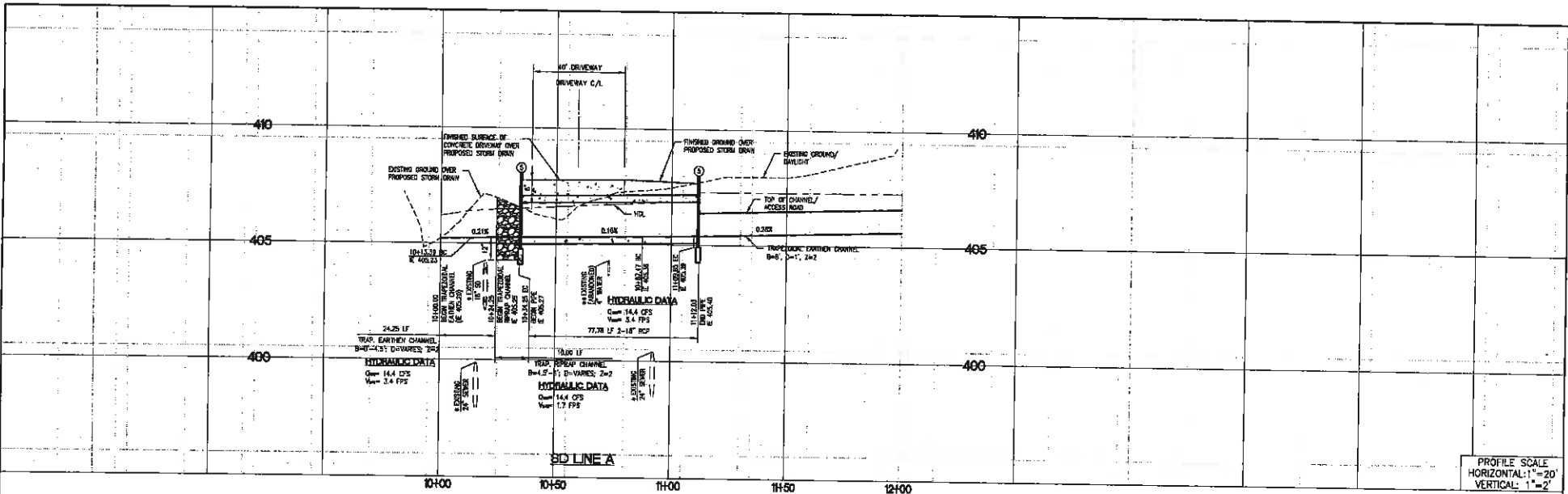
POLK SUBSTATION

PRECISE GRADING

JAN. 283-130-019

FOR: **STRONGHOLD ENGINEERING, INC.**

SHEET NO. **4**
OF **15**



PROFILE SCALE
HORIZONTAL: 1"=20'
VERTICAL: 1"=2'

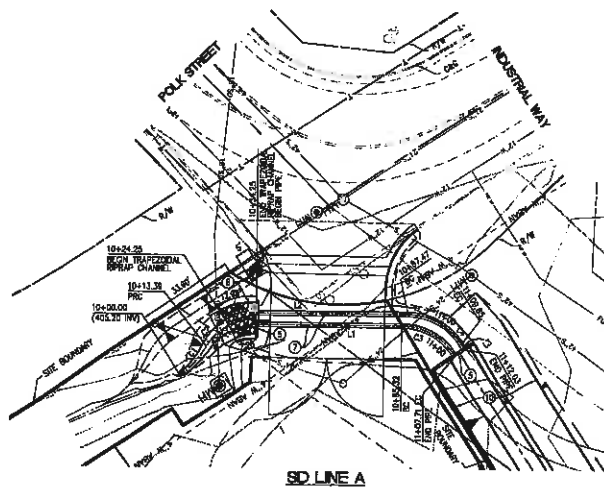
- CONSTRUCTION NOTES**
- ③ CONSTRUCT PIPE HEADWALL PER CALTRANS STD. PLAN 030A.
 - ④ CONSTRUCT 2-18" RCP (CLASS 19).
 - ⑤ CONSTRUCT LIGHT CLASS RRAP (1=12") PER CALTRANS SPECS. 22-5.
 - ⑥ CONSTRUCT EARTHEN CHANNEL AND ACCESS ROAD PER SECTION "A-A" ON SHEET 2.

LINE TABLE

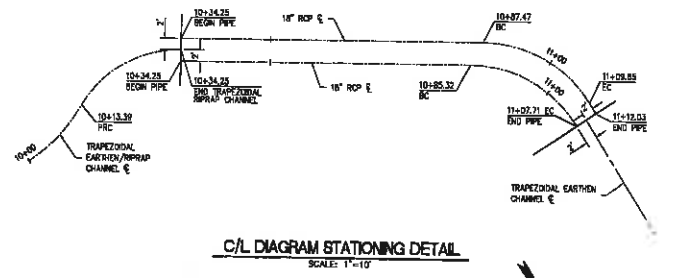
#	LENGTH	BEARING
L1	51.07'	N59°44'19"W
L2	53.27'	N59°44'19"W
L3	2.16'	N02°16'07"E

CURVE TABLE

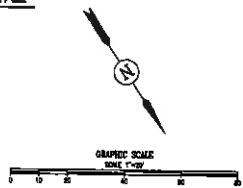
#	LENGTH	RADIUS	DELTA
C1	20.74'	50.00'	37°30'38"
C2	20.85'	20.00'	57°45'31"
C3	22.26'	22.26'	57°02'28"
C4	22.33'	22.50'	57°02'28"



- * CONTRACTOR TO FIELD VERIFY EXISTING LOCATION AND ELEVATION OF EXISTING SD AND SEWER LINES AND SHALL NOTIFY THE CHAIRMAN IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- ** REMOVE INTERFERING PORTIONS OF ABANDONED 4" WATER LINE AND PLUG ENDS WITH CONCRETE MORTAR.



C/L DIAGRAM STATIONING DETAIL
SCALE: 1"=10'



Underground Service Alert
Call: TOLL FREE
1-800
227-2800

NOTICE OF BEARING:
CALIFORNIA SURVEYING SYSTEM, STATE PLAT NO. 20333. (CROSS BETWEEN CITY OF COACHELLA IN 1911 AND IN 1928 WHICH IS 1/2"=1" PER THE CITY OF COACHELLA RECORD BOOK.)
REMARKS:
CITY OF COACHELLA IN 1911
2-1/2"=1" BEARING OVER 1/2" OF THE TOP OF CURB TO CENTER OF THE SUBSTATION CURB
ACTUAL IS BY THE CENTER OF DRIVEWAY AND 3/4" SOUTH OF THE CENTERLINE OF DRIVEWAY 24".
ELEVATION = 281.24' MEAS IN THE ELEVATION LISTED ABOVE IS ACTUAL ELEVATION + 500 FEET TO AVOID NEGATIVE ELEVATIONS.

NO.	DATE	INIT.	REVISIONS	APPY DATE

RECOMMENDED FOR APPROVAL:
RUBEN COWLEY, R.C.E. 3887 DATE: _____

CITY OF COACHELLA
APPROVED FOR CONSTRUCTION:
JEREMY B. HOY, R.C.E. NO. 63526 DATE: 09/28/20
APPROVED BY: _____ DATE: 09/28/20

DATE: 12/31/20

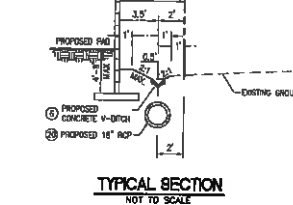
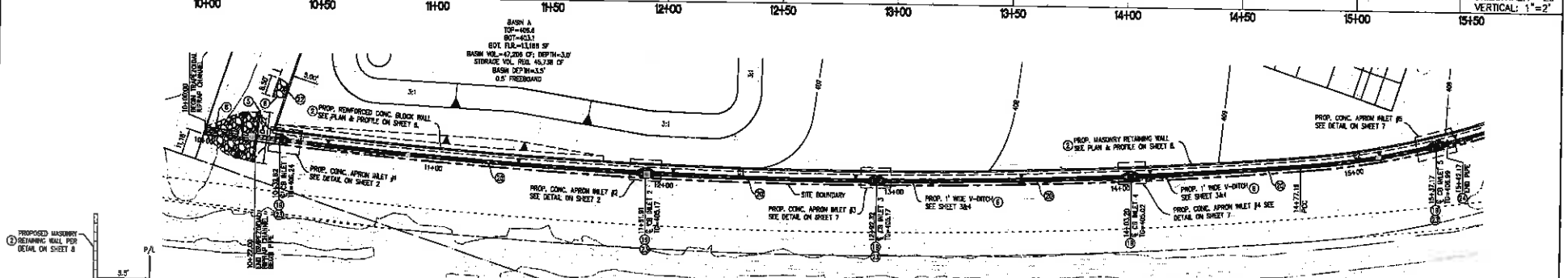
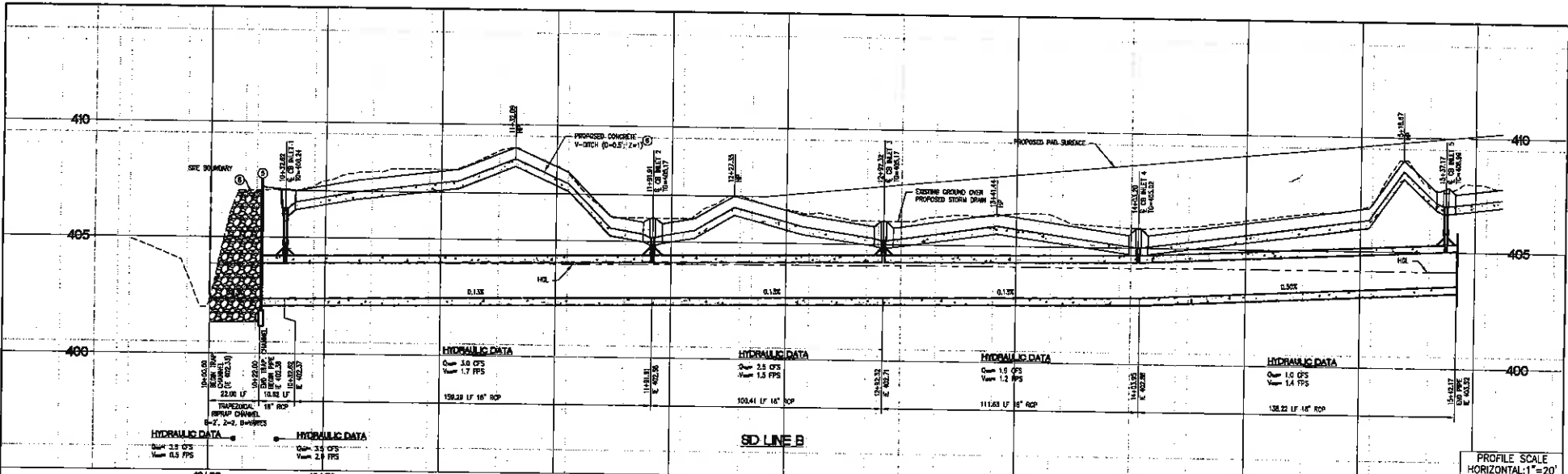


STRONGHOLD ENGINEERING, INC.
Engineering • Planning
Surveying • Elevation/Design
7370 Road 1000, Suite 214, Palm Desert, CA 92260
Tel: 760/970-1100 Fax: 760/970-1100
The Altimet Group, 1740 N. 10th St., Phoenix, AZ 85016
PREPARED UNDER THE DIRECT SUPERVISION OF:
DALE C. ROSS R.C.E. NO. 8595 DATE: 12/31/20

CITY OF COACHELLA
PRECISE GRADING PLANS
POLK SUBSTATION
STORM DRAIN LINE A
APR. 763-132-019

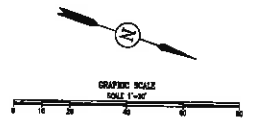
SHEET NO.
5
OF
15

FOR: STRONGHOLD ENGINEERING, INC.



CURVE TABLE		
I	LENGTH	PIVOTS
C1	477.15'	2193.00'
C2	64.96'	373.41'

- CONSTRUCTION NOTES**
- 1. CONSTRUCT 4' MIN. EXPOSED HEIGHT TYPE 1' REINFORCED CONCRETE BLOCK WALL PER SPPCC STANDARD PLAN 801-1.
 - 2. CONSTRUCT PIPE HEADWALL PER CALTRANS STD. PLAN 030A.
 - 3. CONSTRUCT 1" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET 2.
 - 4. CONSTRUCT LIGHT CLASS BRPAP (7-12") PER CALTRANS SPEC. 72-3.
 - 5. CONSTRUCT 12" RCP INLET WITH TYPE 300R GRATE PER DETAIL ON CALTRANS STD. PLAN.
 - 6. CONSTRUCT 18" RCP (CLASS IV).
 - 7. CONSTRUCT 4' W X 6' H EMERGENCY FLOW OPENING PER DETAIL ON SHEET 2.
 - 8. CONSTRUCT ANCHOR STRUCTURE NO. 4 PER R.C.F.C. & R.C.D. DRG. NO. 85229.
 - 9. CONSTRUCT CONCRETE BULKHEAD PER R.C.F.C. & R.C.D. DRG. NO. 85816.



Underground Service Alert
 Call: TOLL FREE
 1-800
 227-2600

FOR OF RECORDS:
 CALIFORNIA COMMUNITY DEVELOPMENT, 2200 (2027) BETWEEN CITY OF COACHELLA RD 2011 AND RD 2089 TAKEN AS NEAREST TO THE CITY OF COACHELLA BENCHMARK.
 CITY OF COACHELLA (M 1011)
 2'-1/2" RINGS SET BY THE TOP OF CURB, IF EXIST AT THE SOUTHWEST CORNER, IF NO SET BY THE CENTERLINE OF ENTERPRISE AND 5' SOUTH OF THE CENTERLINE OF MAIN RD.
 ELEVATION = 2020.48 NGVD
 THE ELEVATION LOWER MARK IS ACTUAL ELEVATION + 300 FEET TO ROAD MARKING ELEVATION.

NO.	DATE	INIT.	REVISIONS	APPY'D DATE

RECOMMENDED FOR APPROVAL:
 NOL DWILEY, R.C.E. 59827 DATE: _____

CITY OF COACHELLA

APPROVED FOR CONSTRUCTION:
 JONAHAY B. HOY, R.C.E. NO. 65826 DATE: 09/30/20
 APPROVED BY: _____ DATE: _____

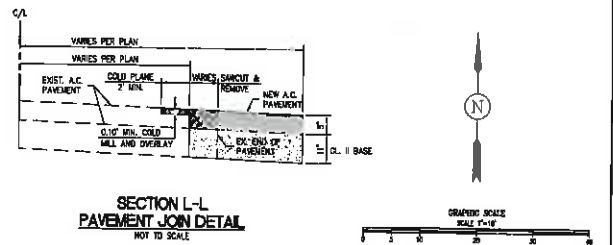
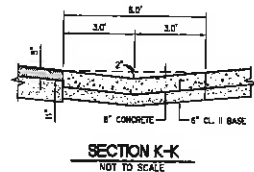
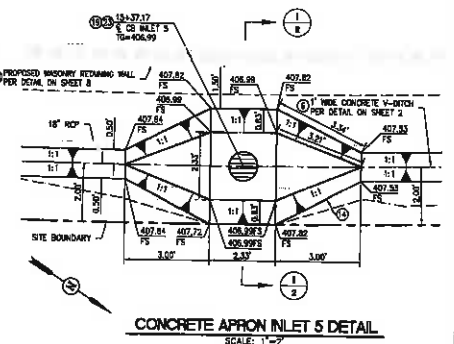
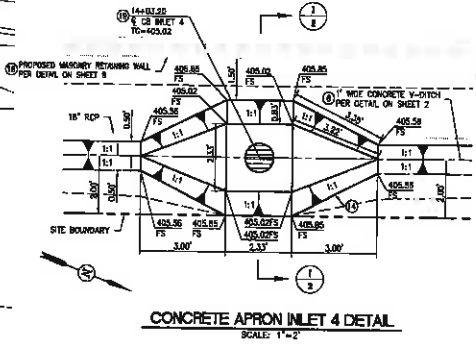
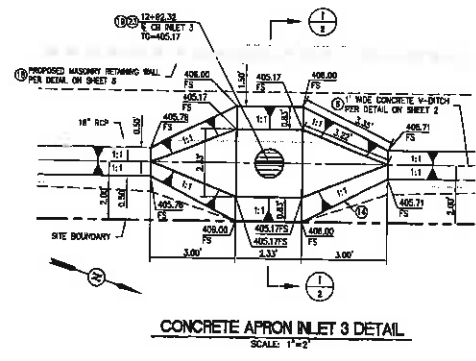
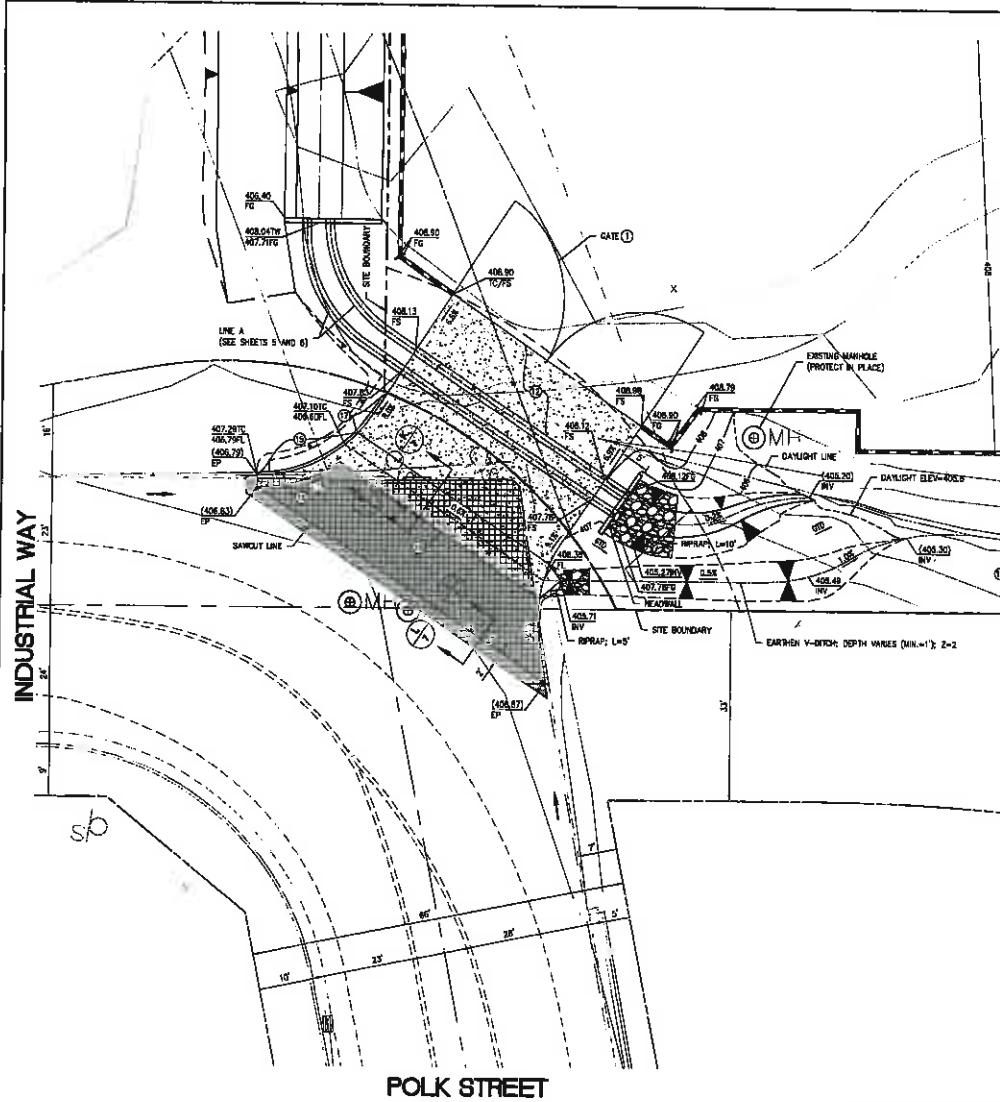
1 US LOPER - PLANNING DIRECTOR DATE: _____



STRONGHOLD ENGINEERING, INC.
 1729 Woodbury Way, Suite 219, Palm Desert, CA 92260
 (760) 749-7279
 Prepared Under the Direct Supervision of:
 DALE E. ROSS, R.C.E. NO. 69925 DATE: 12/31/23

CITY OF COACHELLA
 PRECISE GRADING PLANS
 POLK SUBSTATION
 STORM DRAIN LINE B
 APR 783-130-018
 FOR: STRONGHOLD ENGINEERING, INC.

SHEET NO. **6**
 OF **15**



- CONSTRUCTION NOTES**
- CONSTRUCT CONCRETE DRIVEWAY PER CITY OF COACHELLA STD. DWG. NO. S-18.
 - CONSTRUCT 4" THICK CONCRETE LINING (CLASS "A") DRAINAGE INLET STRUCTURE WITH "TYPICAL" BIDDING RELATED SPEC. SEE DETAIL HEREON AND NEW "B" CURB/RT WALL PER DETAIL HEREON.
 - CONSTRUCT TYPE "A" (6") CURB & GUTTER PER CITY OF COACHELLA STD. DWG. NO. S-7.
 - CONSTRUCT 6" WIDE X-GUTTER PER DETAIL HEREON.
 - CONSTRUCT 12" WIDE RIP INLET WITH TYPE BODER GRATE PER DETAIL ON CALTRANS STD. PLAN.
 - CONSTRUCT JUNCTION STRUCTURE NO. 4 PER R.C.E.C. & M.C.D. DWG. NO. 0223.

- LEGEND**
- PROPOSED AC PAVEMENT
 - CONCRETE DRIVEWAY
 - SAW-CUT AND REMOVE
 - GRIND AND OVERLAY

Underground Service Alert
Call: TOLL FREE
1-800
227-2600

BASE OF REMOVAL:
CALIFORNIA CONSTRUCTION SYSTEM, JUNE 8, 1988 (2007) (PROVIDED BY THE CITY OF COACHELLA) AND THE 1988 TRUCK & MOTOR VEHICLE PER THE CITY OF COACHELLA BIDDING SPEC.
CITY OF COACHELLA (BY 101):
S-1/17 (BASE) SET IN THE TOP OF CURB OF EAST OF THE END OF THE DOCUMENT CASE RECORD, IF 0.00 FEET OF THE CENTERLINE OF DRIVEWAY AND 30' NORTH OF THE CENTERLINE OF AVENUE 54.
CONTRACTOR - REVIEW HERE FOR THE ELEVATION LISTED ABOVE IS ACTUAL REMOVAL + 500' FEET TO AVOID NEGATIVE ELEVATION.

NO.	DATE	INIT.	REVISIONS	APPROVAL

RECOMMENDED FOR APPROVAL:
NOEL OWLEY, R.C.E. 08/07/20 DATE: _____

CITY OF COACHELLA

APPROVED FOR CONSTRUCTION:
JONATHAN B. ROY, R.C.E. NO. 03200 DATE: _____
ESP. 09/30/20

APPROVED BY:
J. LUIS LOPEZ - PLANNING DIRECTOR DATE: _____

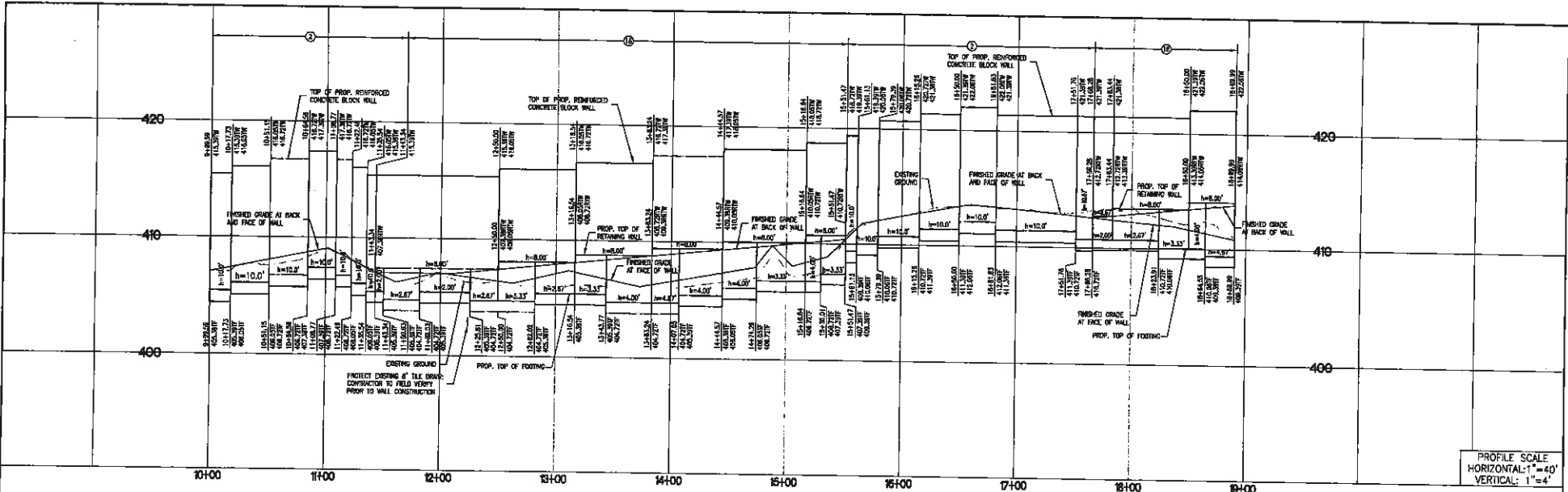


STRONGHOLD ENGINEERING, INC.
Professional Engineer Seal for Dale E. Ross, License No. 03995, Exp. 12/31/25.

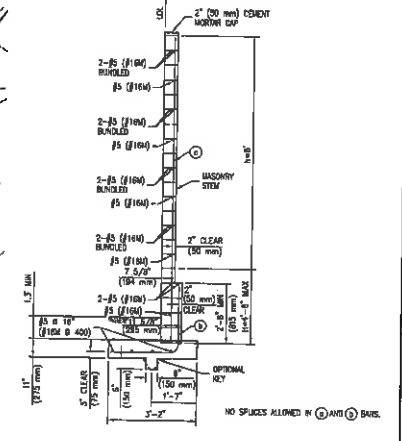
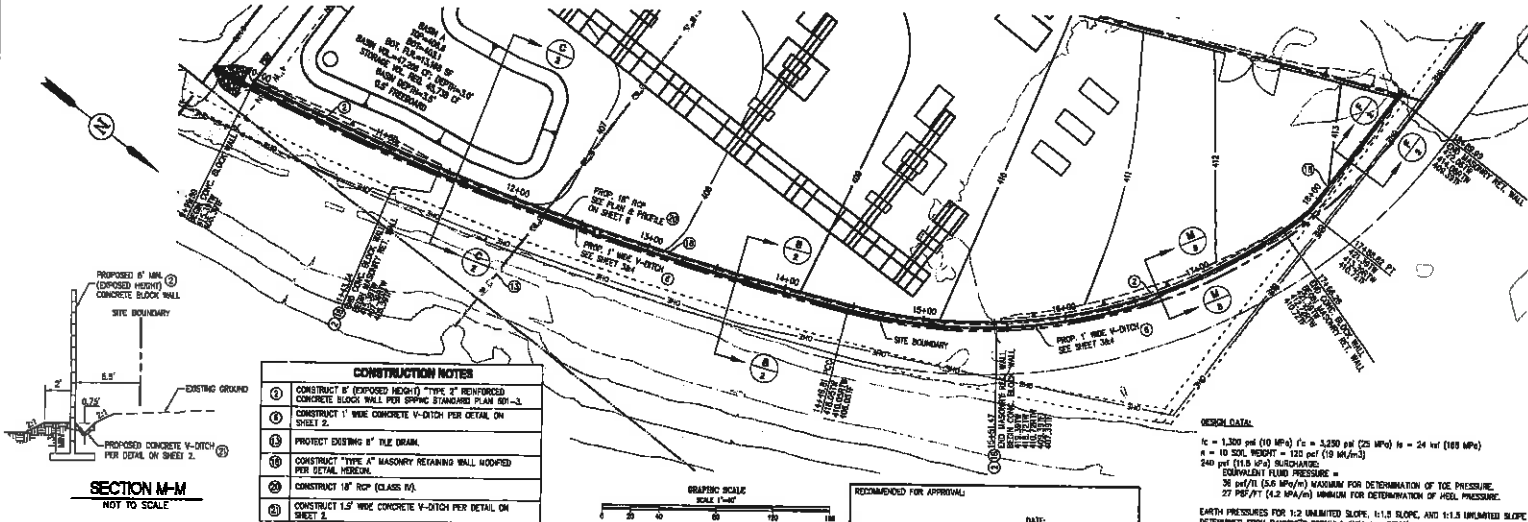
CITY OF COACHELLA
PRECISE GRADING PLANS
POLK SUBSTATION
DRIVEWAY PLAN AND OTHER DETAILS
APP. 785-139-119

FOR: **STRONGHOLD ENGINEERING, INC.**

SHEET NO. **7**
OF **15**



PROFILE SCALE
HORIZONTAL: 1"=40'
VERTICAL: 1"=4'



- CONSTRUCTION NOTES**
- CONSTRUCT TYPE A (EXPOSED HEIGHT) TYPE B REINFORCED CONCRETE BLOCK WALL PER SPACING STANDARD PLAN 801-3.
 - CONSTRUCT 1" WIRE CONCRETE V-DITCH PER DETAIL ON SHEET 2.
 - PROTECT EXISTING 6" TILE DRAIN.
 - CONSTRUCT TYPE A MASONRY RETAINING WALL UNOOFED PER DETAIL M-100A.
 - CONSTRUCT 1" RCP (CLASS R).
 - CONSTRUCT 1.5" WIRE CONCRETE V-DITCH PER DETAIL ON SHEET 2.

Underground Service Alert
Call: TOLL FREE
1-800
227-2600

REVISIONS

NO.	DATE	UNIT	REVISIONS	REPLY DATE

RECOMMEND FOR APPROVAL:

NOEL DINSLEY, R.C.E. 30927

CITY OF COACHELLA

APPROVED FOR CONSTRUCTION: _____ DATE: _____

JONATHAN D. HOY, R.C.E. NO. 63828 DATE: EXP. 09/30/20

APPROVED BY: _____ DATE: _____

LUIS LOPEZ - PLANNING DIRECTOR

GRAPHIC SCALE
SCALE 1"=40'

SECTION M-M
NOT TO SCALE

PROFESSIONAL ENGINEER
NOEL DINSLEY, R.C.E. 30927
STATE OF CALIFORNIA

EG
The Alhambra Group
7579 Foothill Village Drive, Suite 310, Foothill, CA 91036
714.964.6700
www.eggroup.com

DATE: 06/23/20

CITY OF COACHELLA
PRECISE GRADING PLANS
POLK SUBSTATION
WALL PLAN

APR 785-130-013

FOR: **STRONGHOLD ENGINEERING, INC.**

SHEET NO. **8**
OF **15**

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

February 4, 2019

CHAIR

Steve Manos
Lake Elsinore

Mr. Luis Rubalcava, Project Planner

VICE CHAIR

Russell Betts
Desert Hot Springs

City of Moreno Valley Planning Department
14177 Frederick Street
Moreno Valley CA 92553

COMMISSIONERS

Arthur Butler
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

John Lyon
Riverside

File No.: ZAP1349MA19

Steven Stewart
Palm Springs

Related File No.: PEN18-0243 (Conditional Use Permit)

APN: 312-360-005

Richard Stewart
Moreno Valley

Dear Mr. Rubalcava:

Gary Youmans
Temecula

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. PEN18-0243 (Conditional Use Permit), a proposal to construct a 75 foot tall mono-palm wireless communications facility within a 545 square foot lease area on a 1.36-acre parcel within a commercial center located on the easterly side of Perris Boulevard, southerly of Iris Avenue.

STAFF

Director
Simon A. Housman

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, non-residential intensity is not restricted.

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,488 feet above mean sea level (AMSL) at its southerly terminus. At a distance of 10,000 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review would be required for any structures with an elevation at top point exceeding 1,588 feet AMSL. The site's grade elevation is 1,503 feet AMSL, and the proposed structure has a maximum height of 75 feet, resulting in a top point elevation of 1,578 feet AMSL. Therefore, FAA OES review for height/elevation reasons is not required.

www.rcaluc.org

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

AIRPORT LAND USE COMMISSION

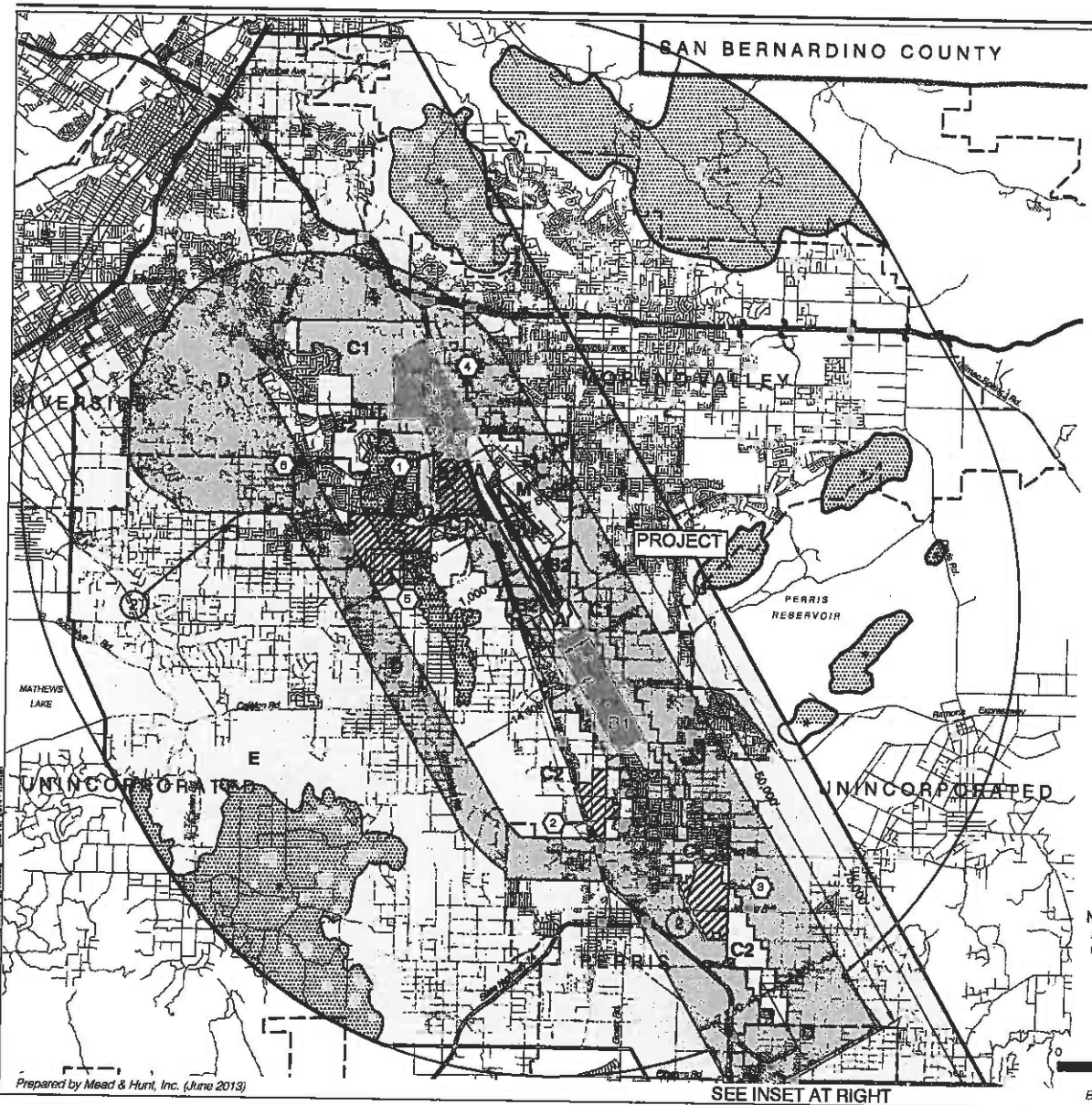
Attachments: Notice of Airport in Vicinity

cc: AT&T (Tustin office) (applicant)
Smartlink, LLC, Anthony Hughes (Irvine office) (representative)
Iris Partners, LLC/Y Opco (Upland address) (landowner)
Smartlink, LLC (Annapolis, MD) (fee-payer)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1349MA19\ZAP1349MA19.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

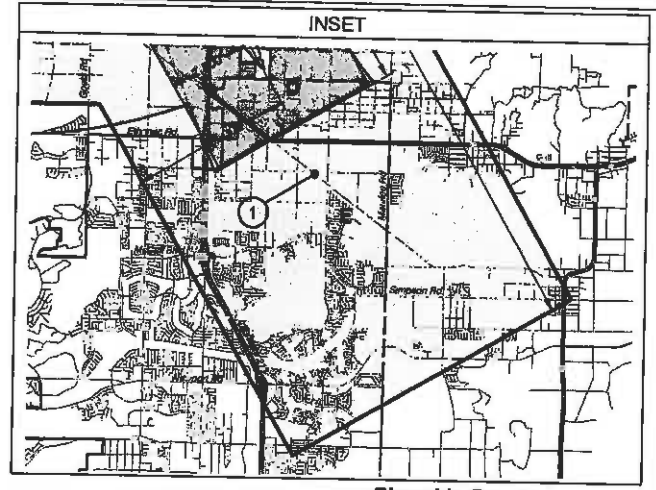
Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

① Merch JPA: March Business Center/Meridian
 ② Perris: Harvest Landing
 ③ Perris: Park West
 ④ Moreno Valley: Affordable Housing
 ⑤ March JPA: Ban Clark Training Center
 ⑥ Riverside: Ridge Crest Subdivision



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)

Note:
 All dimensions are measured from runway ends and centerlines.



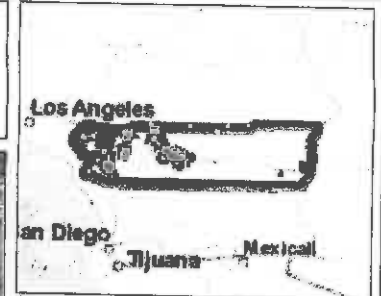
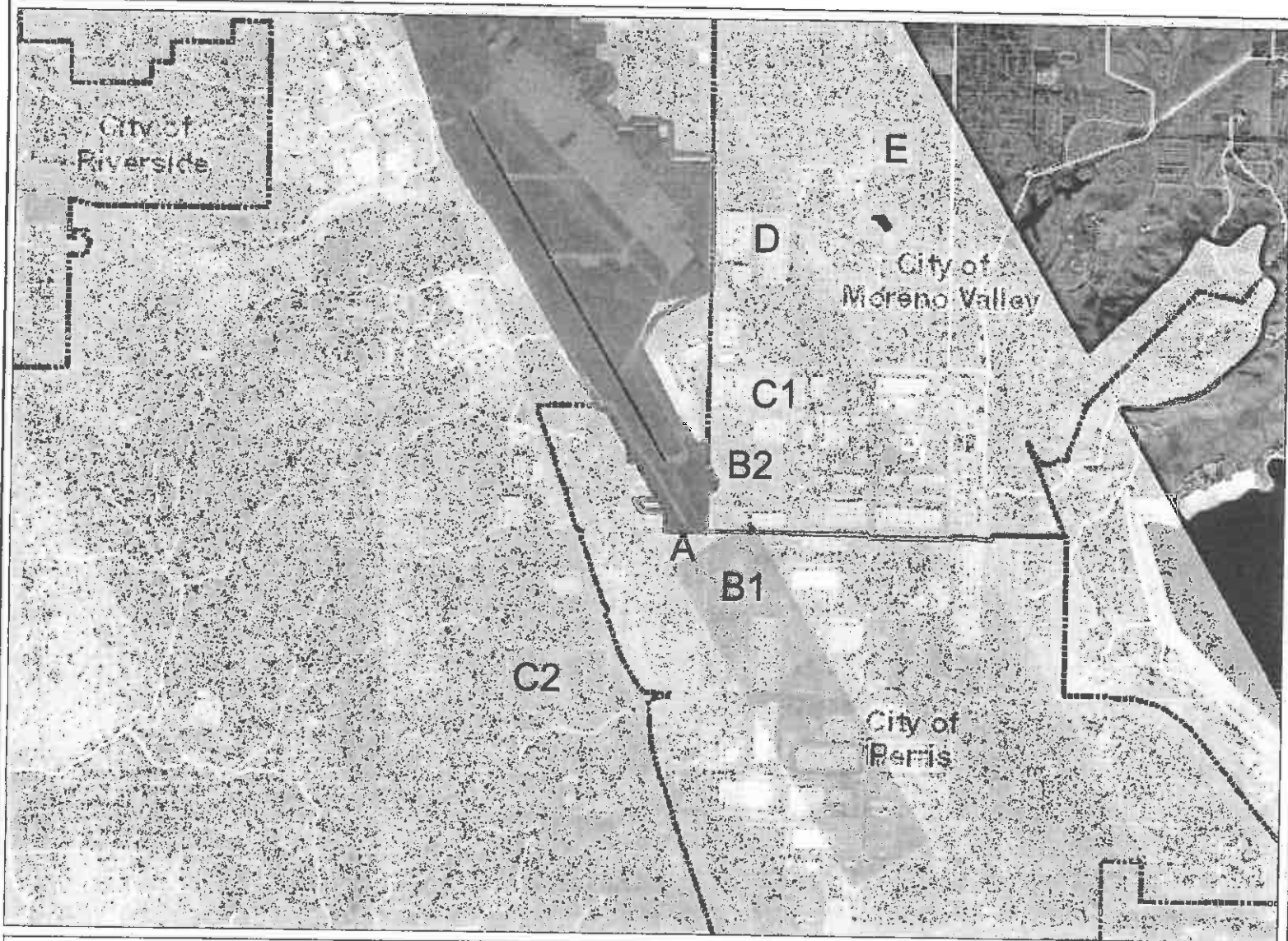
Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT


Base map source: County of Riverside 2013

Map My County Map



Legend

- Runways
- ▣ Airports
- ▭ Airport Influence Areas
- Airport Compatibility Zones**
- ▨ OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6




0 6 12,127 Feet
064

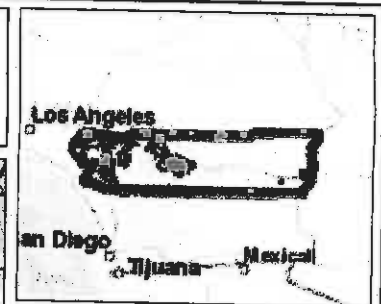
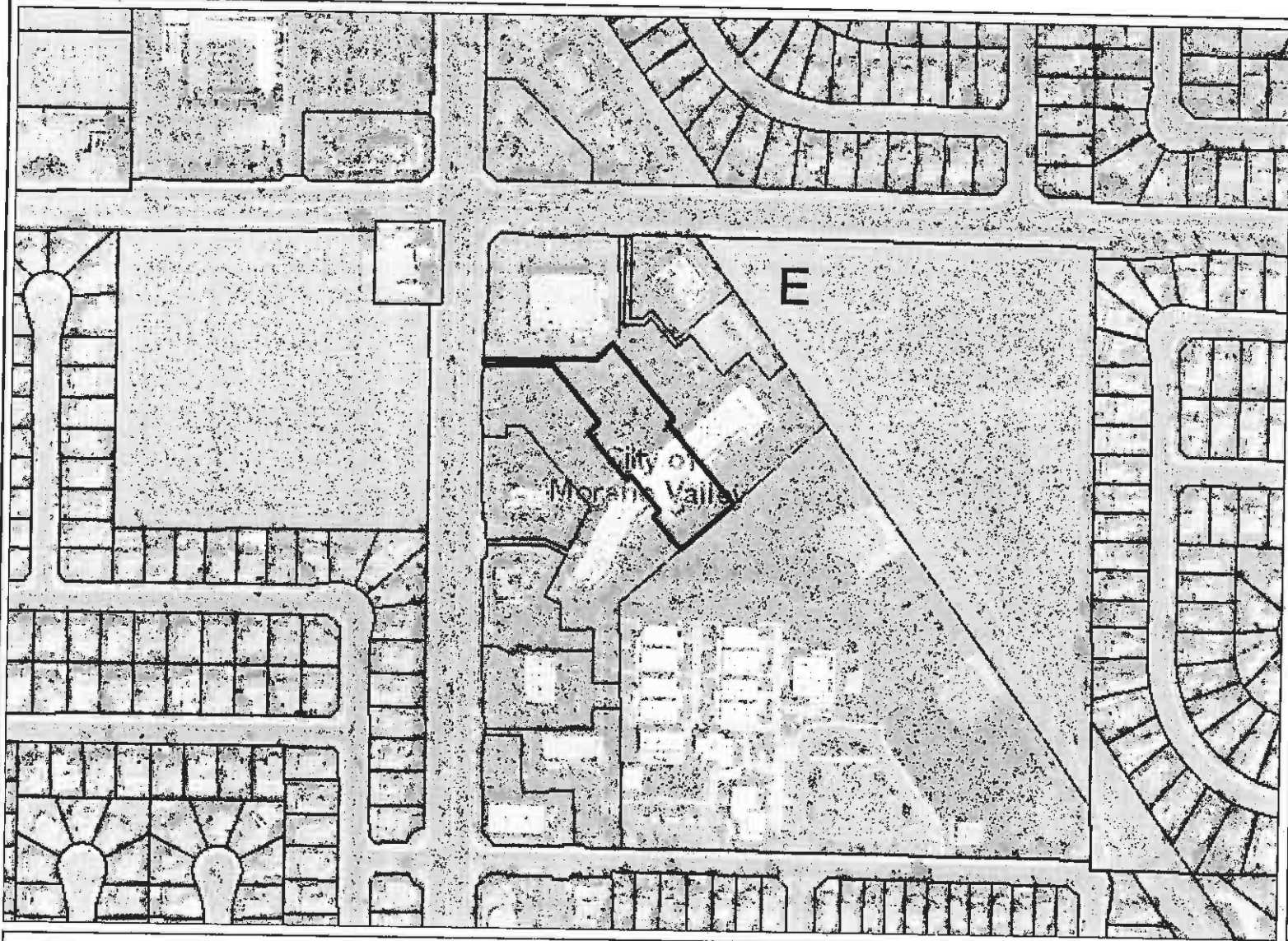
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

Map My County Map





Legend

- Parcels
- Runways
- Airports
- Airport influence Areas

Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5

0 379 758 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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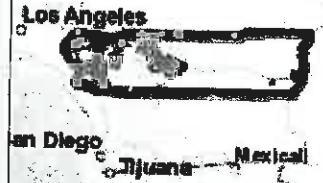
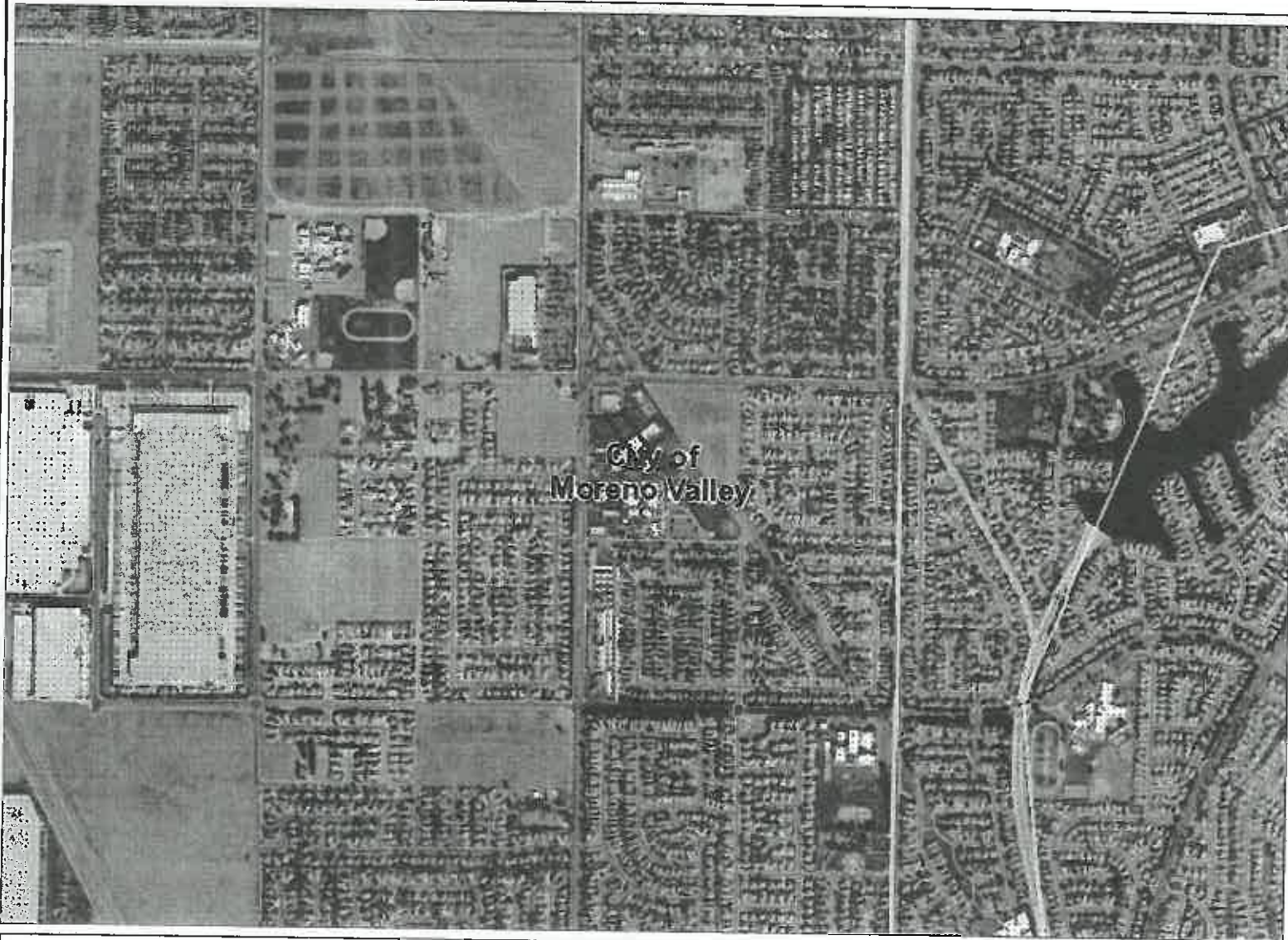


REPORT PRINTED ON... 1/28/2019 2:45:00 PM

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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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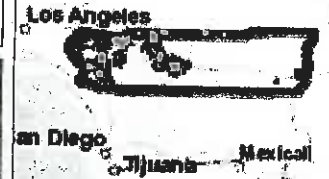
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516

REPORT PRINTED ON... 1/28/2019 2:45:21 PM

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Notes

Map My County Map



Legend

- Parcels
- BlueLine Streams
- City Areas
- World Street Map



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0 379 758 Feet

REPORT PRINTED ON... 1/28/2019 2:45:39 PM

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Notes

CODE COMPLIANCE

ALL WORKS AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITY, NOTWITHSTANDING THESE PLANS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 1. 2018 CALIFORNIA BUILDING CODE
- 2. 2018 CALIFORNIA ELECTRICAL CODE
- 3. 2018 CALIFORNIA FIRE CODE
- 4. 2018 CALIFORNIA MECHANICAL CODE
- 5. 2018 CALIFORNIA PLUMBING CODE
- 6. 2018 CALIFORNIA ENERGY CODE
- 7. COUNTY COASTAL ZONE LAND USE ORDINANCE-TITLE 22
- 8. COUNTY FIRE CODE ORDINANCE - TITLE 19
- 9. COUNTY LAND USE ORDINANCE - TITLE 22
- 10. COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19

PROJECT TEAM

CLIENT REPRESENTATIVE

COMPANY: SMARTLINK, LLC
 ADDRESS: 1801 VON KORMAN AVE., SUITE 400
 IRVINE, CA 92612
 CONTACT: ALDOUS DUKALJIP
 PHONE: (949) 854-2313
 EMAIL: aldus@smartlink.com

CONSTRUCTION MANAGER

COMPANY: SCOTEL COMMUNICATIONS, INC.
 ADDRESS: 1336 ANTONIO AVENUE SUITE 200
 IRVINE, CA 92614
 CONTACT: RON WANDERWAL
 PHONE: (714) 544-0151
 EMAIL: rander@scotel.com

SITE ACQUISITION

COMPANY: SMARTLINK, LLC
 ADDRESS: 1801 VON KORMAN AVE., SUITE 400
 IRVINE, CA 92612
 CONTACT: ALDOUS DUKALJIP
 PHONE: (949) 854-2313
 EMAIL: aldus@smartlink.com

ATT PROJECT MANAGER

COMPANY: AT&T
 ADDRESS: 1402 ENDICER AVE.
 TUSTIN, CA 92789
 CONTACT: ANDREW HOLLIMAN
 PHONE: (714) 897-1111
 EMAIL: ahollim@att.com

ZONING

COMPANY: SMARTLINK, LLC
 ADDRESS: 1801 VON KORMAN AVE., SUITE 400
 IRVINE, CA 92612
 CONTACT: ALDOUS DUKALJIP
 PHONE: (949) 854-2313
 EMAIL: aldus@smartlink.com

APPLICANT

COMPANY: AT&T
 ADDRESS: 1402 ENDICER AVE.
 TUSTIN, CA 92789
 CONTACT: ANDREW HOLLIMAN
 PHONE: (714) 897-1111
 EMAIL: ahollim@att.com

ENGINEER

COMPANY: CASA INDUSTRIES, INC.
 ADDRESS: 8025 PIONEER BLVD., #105
 SANTA FE SPRING, CA 90670
 CONTACT: JENNIFER MCGEE
 PHONE: (714) 523-9800
 EMAIL: JENNIFER@CASAINC.COM

RF ENGINEER

COMPANY: AT&T
 ADDRESS: 1402 ENDICER AVE.
 TUSTIN, CA 92789
 CONTACT: MARGARET HAZLETT
 PHONE: (949) 850-0861
 EMAIL: mhazlett@att.com

SITE INFORMATION

APPLICANT / LESSEE

AT&T
 Your world. Delivered
 1402 ENDICER AVE., 2ND FLOOR
 TUSTIN, CALIFORNIA 92780

PROPERTY OWNER

NAME: TRS PARTNERS, LLC
 ADDRESS: 3005 WASHINGTON COURT
 UPLAND, CA 91784
 WEBSITE: WWW.TRSPARTNERS.COM
 PHONE: (909) 857-8889
 EMAIL: info@trs.com

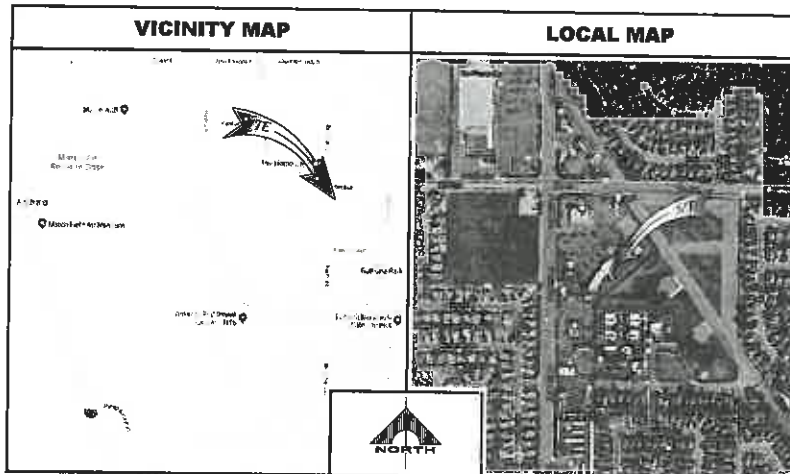
COORDINATES: 33° 57' 11.81" N (33.9530837° N)
 117° 13' 29.98" W (117.2249944° W)
 LOT AREA: 140.0 SQ FT
 GROUND ELEVATION: 76.5 FT A.S.L.
 ABOVE GROUND LEVEL: 312.380-026.6, 312.380-026.6
 APN #: 312-380-026.6, 312-380-026.6
 AREA OF CONSTRUCTION: 545.91 SQ FT
 CITY OF MORENO VALLEY COMMERCIAL
 CURRENT ZONING: COMMERCIAL
 PROPOSED USE: COMMERCIAL TELECOMMUNICATIONS FACILITY
 HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, HANDICAPPED ACCESS NOT REQUIRED



AT&T

Your world. Delivered

SITE NUMBER: CSL02876 (NSB)
SITE NAME: IRIS PLAZA
FA NUMBER: 12889573
USID: 221060
16110 PERRIS BLVD,
MORENO VALLEY, CA 92551
RIVERSIDE COUNTY



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:
 HEAD NORTHEAST TOWARD ATAT, TURN LEFT TOWARD ATAT, TURN RIGHT ONTO ATAT, TURN LEFT ONTO ENDICER AVE. USE THE LEFT 2 LANES TO TURN LEFT ONTO DEL AVE. USE THE RIGHT 2 LANES TO TAKE THE RAMP ONTO CA-52 N/S STATE RTE 35 N. MERGE ONTO CA-55 N/S STATE RTE 35 N. MERGE ONTO CA-31 E, USE THE RIGHT 2 LANES TO TAKE EXIT 65 B FOR CA-90 E/A-215 S TOWARD SAN DIEGO/INDO, MERGE ONTO CA-90 E, CONTINUE ONTO CA-90 E/A-215 S, KEEP RIGHT AT THE FORK TO STAY ON I-215 S, FOLLOW SIGN FOR RIVERVIEW/215 S/29th DEED, TAKE EXIT 27A FOR CAJAL AVE E TOWARD MORENO VALLEY, MERGE ONTO CAJAL AVE, TURN RIGHT ONTO HEDDICK ST, USE THE LEFT 2 LANES TO TURN LEFT ONTO DEL AVE, CONTINUE STRAIGHT TO STAY ON DEL AVE, TURN RIGHT, IMMEDIATELY AFTER CROSSING PERRIS BLVD, SITE LOCATED BEHIND COMMERCIAL BUILDING.

LEGAL DESCRIPTION

SEE SHEET LS-1 AND LS-2



APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

DISCIPLINE	SIGNATURE	DATE
AT&T RF ENGINEER:		
AT&T OPERATIONS:		
SITE ACQUISITION:		
CONSTRUCTION MANAGER:		
PROPERTY OWNER:		
ZONING VENDOR:		
PROJECT MANAGER:		

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS
 SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

PROJECT DESCRIPTION
OUTDOOR EQUIPMENT / MONOPALM

- THE SCOPE WILL CONSIST OF THE FOLLOWING:
- INSTALL 1 (P) 75'-0" HIGH MONOPALM.
 - INSTALL 1 (P) EMERSON POWER CABINETS.
 - INSTALL 4 (P) PURCELL CABINETS.
 - INSTALL 1 (P) STUN CABINETS.
 - INSTALL (P) UTILITY CABINETS.
 - INSTALL 1 (P) 200W GENERAC DIESEL GENERATOR.
 - INSTALL 1 (P) GPS ANTENNA.
 - INSTALL 12 (P) 8' PANEL ANTENNAS (4 PER SECTION).
 - INSTALL 36 (P) LTE BRUS AT ANTENNA LEVEL (12 PER SECTION).
 - INSTALL 1 (P) 2' x 8' SIGN ANTENNA.
 - INSTALL 6 (P) DC-E SURGE SUPPRESSORS (SOLID).
 - REMOVE AND REPLACE (E) EQUIPMENT ENCLOSURE TO ACCOMMODATE AT&T EQUIPMENTS.
 - TOTAL LEASE AREA = 545 SQ.FT. (338 SQ.FT. ANTENNA AREA, 225 EQUIPMENT)

DRAWING INDEX

SHEET NO.	TITLE
T-1	TITLE SHEET
LS-1	SITE SURVEY
LS-2	SITE SURVEY
A-1	SITE PLAN AND ENLARGED SITE PLAN
A-2	LEASE AREA/ANTENNA PLAN AND ANTENNA/RUN SCHEDULE
A-3	ELEVATIONS



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T UNLESS ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T OTHERWISE IS STRICTLY PROHIBITED.



REV	DATE	DESCRIPTION
0	11/02/18	100% ZONING DRAWING
A	10/23/18	100% ZONING DRAWING

NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CSL02876
IRIS PLAZA
16110 PERRIS BLVD,
MORENO VALLEY, CA 92551
MONOPALM (OUTDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
 TITLE SHEET

SHEET NUMBER:
T-1
 REV.:
0

SURVEY DATE
10/10/2018

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE CALIFORNIA STATE PLANE NAD83 COORDINATE SYSTEM, DETERMINED BY GPS PLANE COORDINATE ZONE FIVE OBSERVATIONS.

BENCHMARK

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS "GEOID 12B" MODELED SEPARATIONS TO GUPSS00D HEIGHTS DETERMINED BY OBSERVATIONS OF THE "SMARTNET" REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD83.

FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X", ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06055C0783G, DATED 08/28/2008.

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, REDLOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

LESSOR'S LEGAL DESCRIPTION

PARCEL A:

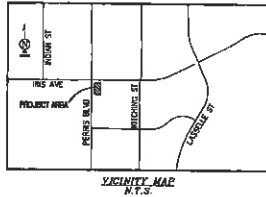
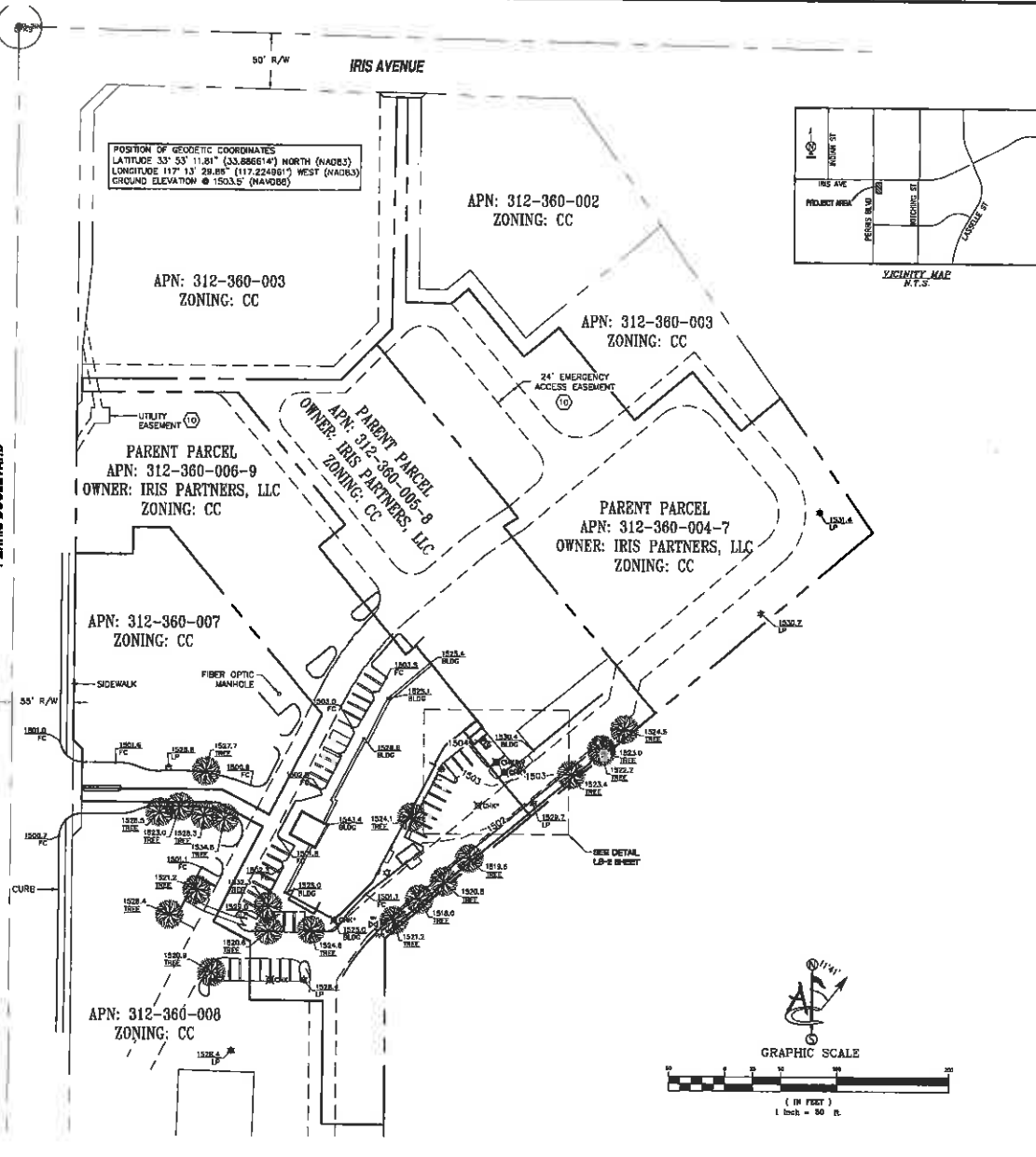
PARCELS 4, 5 AND 6 OF PARCEL MAP NO. J3728, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 224, PAGES 79 THROUGH 82 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM ALL OIL, WATER, GAS, HYDROCARBONS, PRECIOUS METALS AND MINERALS OF ANY KIND WHETHER DESCRIBED OR NOT, BELOW A DEPTH OF 500 FEET WITHOUT THE RIGHT OF SURFACE ENTRY AS RESERVED IN A DEED RECORDED JUNE 13, 1981 AS INSTRUMENT NO. 01-199905 OF OFFICIAL RECORDS.

PARCEL B:

EASEMENTS OVER THE COMMON AREAS OF THE SHOPPING CENTER UNDER THAT CERTAIN DECLARATION OF COVENANTS, SERVITUDES, CONDITIONS, RESTRICTIONS AND EASEMENTS, DATED JUNE 14, 2006 AND RECORDED ON JULY 6, 2006 AS INSTRUMENT NO. 2006-0453287 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, AS AMENDED BY THAT CERTAIN FIRST AMENDMENT TO DECLARATION OF COVENANTS, SERVITUDES, CONDITIONS, RESTRICTIONS AND EASEMENTS DATED FEBRUARY 9, 2007, AS RECORDED ON FEBRUARY 9, 2007 AS INSTRUMENT NO. 2007-0083514 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, THAT CERTAIN SECOND AMENDMENT TO DECLARATION OF COVENANTS, SERVITUDES, CONDITIONS, RESTRICTIONS AND EASEMENTS DATED JUNE 25, 2007 AND RECORDED ON JULY 3, 2007 AS INSTRUMENT NO. 2007-0435192 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, THAT CERTAIN DECLARATION OF ANNEXATION AND SUPPLEMENTAL DECLARATION OF RESTRICTIONS DATED JANUARY 14, 2009 AND RECORDED ON JANUARY 15, 2009 AS INSTRUMENT NO. 2009-0018182 OF OFFICIAL RECORDS, THAT CERTAIN SUPPLEMENTAL DECLARATION OF RESTRICTIONS AND EASEMENTS FOR MONUMENT SIGNS, DATED FEBRUARY 8, 2010 AND RECORDED FEBRUARY 23, 2009 AS INSTRUMENT NO. 2009-0085272 OF OFFICIAL RECORDS.

PERRIS BOULEVARD



LEGEND

AS ASPHALT	⊗ FIRE HYDRANT
BLDG TOP OF BUILDING	⊕ UTILITY POLE
CLF CHAIN LINK FENCE	⊙ LIGHT POLE
CMU CONCRETE MASONRY UNIT	⊗ POSITION OF GEODETIC COORDINATES
CONO CONCRETE	⊙ SPOT ELEVATION
D/W ACCESS DRIVEWAY	⊗ WATER CONTROL VALVE
EP EDGE OF PAVEMENT	⊕ GAS VALVE
FC FACE OF CURB	
LP LIGHT POLE	
NG NATURAL GRADE	
R/W RIGHT OF WAY	
WALL TOP OF WALL	
TREES TREES	

—•—•— CMU WALLS	—•—•— CHAIN LINK FENCE
—•—•— WROUGHT IRON FENCE	—•—•— STREET CENTERLINES
—•—•— SUBJECT PROPERTY LINE	—•—•— ADJACENT PROPERTY LINE
—•—•— EASEMENT LINES	—•—•— TIC LINES
—•—•— LEASE AREA LIMITS	—•—•— MAJOR CONTOUR INTERVAL
—•—•— MINOR CONTOUR INTERVAL	—•—•— TREE LINE

1452 EDINGER AVENUE
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PH. (562) 856-4077

ASA INDUSTRIES
10650 REAGAN ST, #432
LOS ALAMOS, CALIFORNIA 97220

REV	DATE	DESCRIPTION
A	10/18/18	INITIAL ISSUE

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CSL02876
16110 PERRIS BOULEVARD
MORENO VALLEY, CA, 92551

SHEET TITLE
SITE SURVEY

SHEET NUMBER
LS-1

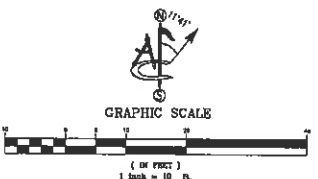
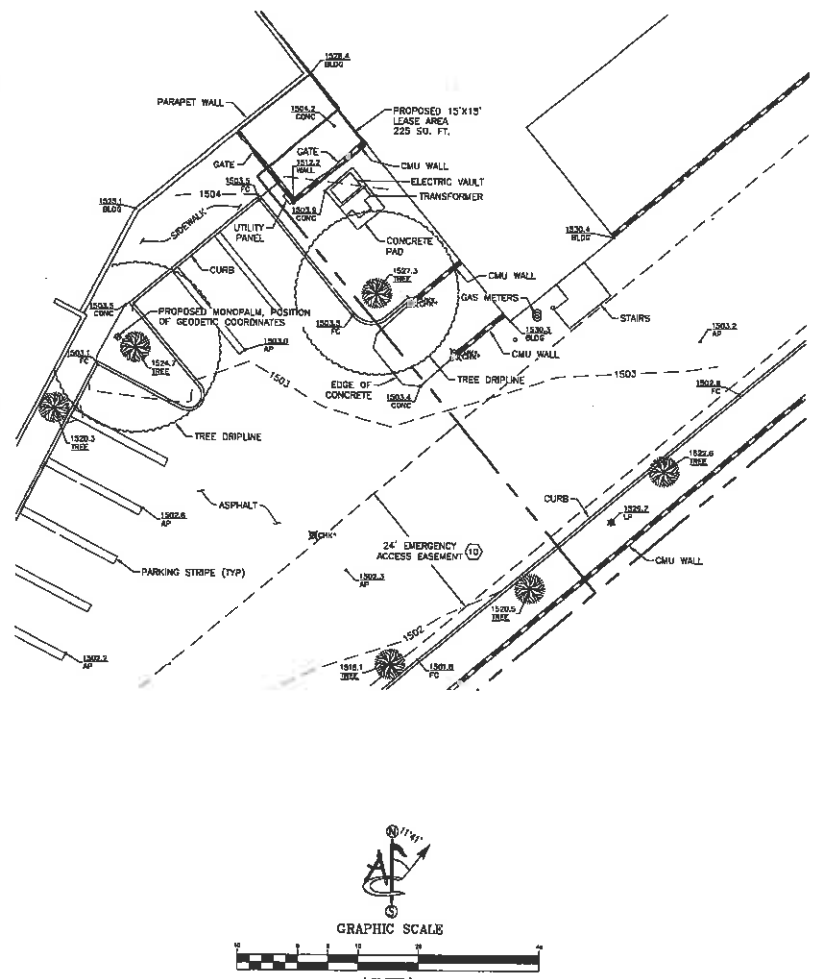
SCHEDULE "B" NOTE

REFERENCE IS MADE TO THE TITLE REPORT ORDER #XXXXX, ISSUED BY XXXXX, DATED XXXXX. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: EASTERN MUNICIPAL WATER DISTRICT
 PURPOSE: INGRESS, EGRESS AND CONDUITS
 RECORDING DATE: MARCH 4, 1955
 AND RECORDING DATE: IN BOOK 1702, PAGE 487; IN BOOK 1702, PAGE 552 AND IN BOOK 1702, PAGE 559 OF OFFICIAL RECORDS
 AND RECORDING NO.: AS INSTRUMENT NO. 24049 OF OFFICIAL RECORDS
 AND RECORDING DATE: NOVEMBER 12, 1989
 AND RECORDING NO.: AS INSTRUMENT NO. 118832 OF OFFICIAL RECORDS
 THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
 EASEMENT UNDEFINED - NOT SHOWN
10. RECITALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 33726
 RECORDING NO.: IN BOOK 224, PAGES 79 THROUGH 83 INCLUSIVE OF PARCEL MAPS
 WHICH AMONG OTHER THINGS RECITES WE HEREBY UNREVOCABLY OTER TO DEDICATE TO THE CITY OF MORENO VALLEY,
 1. WE HEREBY DEDICATE TO THE CITY OF MORENO VALLEY, A NON-EXCLUSIVE BLANKET EASEMENT OVER LOTS 1 THROUGH 11 INCLUSIVE OF OFFICIAL RECORDS PUBLIC UTILITY PURPOSES INCLUDING THE RIGHTS OF INGRESS AND EGRESS FOR THE PURPOSE OF OPERATION, MAINTENANCE, REPAIRS OF ITS FACILITIES AND READING METERS.
 2. WE ALSO HEREBY DEDICATE TO THE CITY OF MORENO VALLEY AN EASEMENT FOR INGRESS AND EGRESS OF EMERGENCY VEHICLES AS SHOWN HEREON.
 REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
 AS SHOWN ON SURVEY
11. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: SOUTHERN CALIFORNIA GAS COMPANY, A CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS
 PURPOSE: PIPELINES, METERING AND APPURTENANCES TOGETHER WITH INGRESS AND EGRESS
 RECORDING DATE: DECEMBER 17, 2007
 AND RECORDING NO.: AS INSTRUMENT NO. 2007-0734119 OF OFFICIAL RECORDS
 THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
 EASEMENT UNDEFINED - NOT SHOWN
12. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: CITY OF MORENO VALLEY, A MUNICIPAL CORPORATION
 PURPOSE: PUBLIC UTILITIES INCLUDING INGRESS AND EGRESS
 RECORDING DATE: JUNE 8, 2007
 AND RECORDING NO.: AS INSTRUMENT NO. 2007-0377183 OF OFFICIAL RECORDS
 A PORTION OF PARCELS 6 AND 9
 AS SHOWN ON SURVEY
15. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT
 ENTITLED: MEMORANDUM OF LEASE AND COVENANTS
 LESSOR: IRIS PARTNERS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
 LESSEE: FRESH & EASY NEIGHBORHOOD MARKET, INC., A DELAWARE CORPORATION PMA TESCO STORES WEST, INC.
 RECORDING DATE: NOVEMBER 23, 2008
 AND RECORDING NO.: AS INSTRUMENT NO. 2008-0625107 OF OFFICIAL RECORDS
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
 AFFECTS: PARCELS 5 AND 6
18. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT
 ENTITLED: MEMORANDUM OF LEASE AGREEMENT
 LESSOR: IRIS PARTNERS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
 LESSEE: METROPOLIS CALIFORNIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY
 RECORDING DATE: JUNE 21, 2011
 AND RECORDING NO.: AS INSTRUMENT NO. 2011-0273370 OF OFFICIAL RECORDS
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
 AFFECTS: PARCELS 4, 5 AND 6
23. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT
 ENTITLED: SUBORDINATION AND NONDISTURBANCE AGREEMENT
 LESSOR: FITNESS 19 CA 187 LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
 LESSEE: WELLS FARGO BANK, NATIONAL ASSOCIATION
 RECORDING DATE: MAY 19, 2014
 AND RECORDING NO.: AS INSTRUMENT NO. 2014-0181296 OF OFFICIAL RECORDS
 AN AGREEMENT RECORDED MAY 19, 2014 AS INSTRUMENT NO. 2014-0181296 OF OFFICIAL RECORDS WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT
 ENTITLED: DEED OF TRUST
 RECORDING NO.: AS INSTRUMENT NO. 2014-0181295 OF OFFICIAL RECORDS
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
 EASEMENT UNDEFINED - NOT SHOWN
21. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT
 ENTITLED: SUBORDINATION AND NONDISTURBANCE AGREEMENT
 LESSOR: IRIS PARTNERS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
 LESSEE: WELLS FARGO BANK, NATIONAL ASSOCIATION
 RECORDING DATE: MAY 19, 2014
 AND RECORDING NO.: AS INSTRUMENT NO. 2014-0181297 OF OFFICIAL RECORDS
 AN AGREEMENT RECORDED MAY 19, 2014 AS INSTRUMENT NO. 2014-0181297 OF OFFICIAL RECORDS WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT
 ENTITLED: DEED OF TRUST
 RECORDING NO.: AS INSTRUMENT NO. 2014-0181295 OF OFFICIAL RECORDS
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
 EASEMENT UNDEFINED - NOT SHOWN
22. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT
 ENTITLED: SUBORDINATION AND NONDISTURBANCE AGREEMENT
 LESSOR: PROWENT SAVINGS BANK, FSB
 LESSEE: WELLS FARGO BANK, NATIONAL ASSOCIATION
 RECORDING DATE: MAY 19, 2014
 AND RECORDING NO.: AS INSTRUMENT NO. 2014-0181298 OF OFFICIAL RECORDS
 AN AGREEMENT RECORDED MAY 19, 2014 AS INSTRUMENT NO. 2014-0181298 OF OFFICIAL RECORDS WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT
 ENTITLED: DEED OF TRUST
 RECORDING NO.: AS INSTRUMENT NO. 2014-0181295 OF OFFICIAL RECORDS
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
 EASEMENT UNDEFINED - NOT SHOWN
23. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT
 ENTITLED: SUBORDINATION AND NONDISTURBANCE AGREEMENT
 LESSOR: Y-SOPO, LLC, A DELAWARE LIMITED LIABILITY COMPANY D/B/A FRESH & EASY
 LESSEE: WELLS FARGO BANK, NATIONAL ASSOCIATION
 RECORDING DATE: MAY 6, 2014
 AND RECORDING NO.: AS INSTRUMENT NO. 2014-0181299 OF OFFICIAL RECORDS
 AN AGREEMENT RECORDED MAY 19, 2014 AS INSTRUMENT NO. 2014-0181299 OF OFFICIAL RECORDS WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT
 ENTITLED: DEED OF TRUST
 RECORDING NO.: AS INSTRUMENT NO. 2014-0181295 OF OFFICIAL RECORDS
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
 EASEMENT UNDEFINED - NOT SHOWN
24. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT
 ENTITLED: MEMORANDUM OF LEASE
 LESSOR: IRIS PARTNERS, LLC
 LESSEE: SUBWAY REAL ESTATE, LLC
 RECORDING DATE: MAY 4, 2016
 AND RECORDING NO.: AS INSTRUMENT NO. 2016-0180583 OF OFFICIAL RECORDS
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
 EASEMENT UNDEFINED - NOT SHOWN

SCHEDULE "B" SUMMARY

THE SURVEYORS OPINION IS THAT NO SCHEDULE "B" ITEMS PROVIDED BY SAID REPORT AFFECT THE PROPOSED LEASE AND EASEMENT AREAS SHOWN HEREON.



1452 EDINGER AVENUE
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LUSTIN, CA 92780

ambit consulting
426 MAIN STREET SUITE 206
HUNTINGTON BEACH, CALIFORNIA 92648
PH. (714) 698-4072

10080 REAGAN ST., #412
LOS ALAMITOS, CALIFORNIA 90720

REV	DATE	DESCRIPTION
A	10/18/18	INITIAL ISSUE

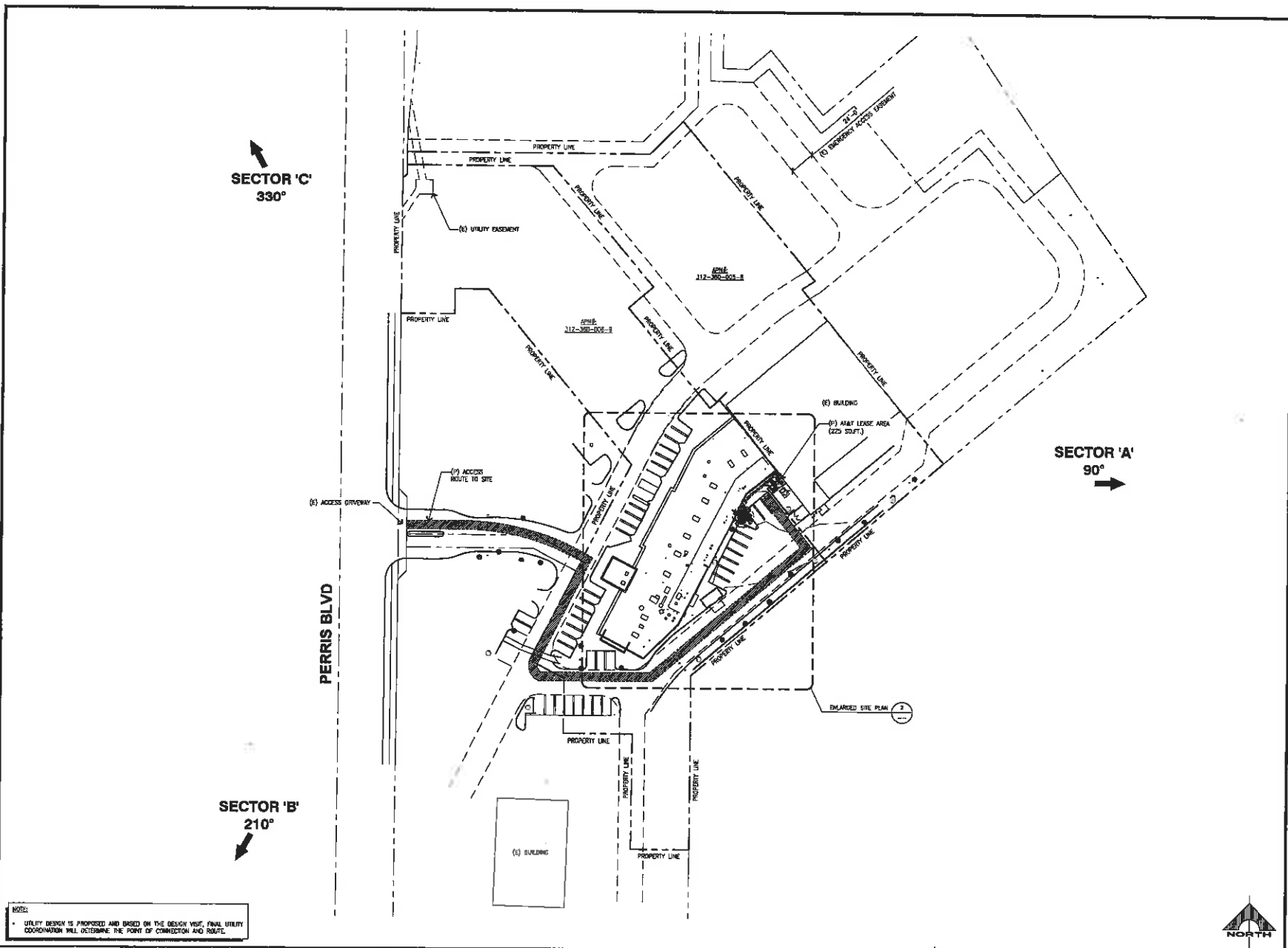
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CSL02876
16110 PERRIS BOULEVARD
MORENO VALLEY, CA, 92551

SHEET TITLE
SITE SURVEY

SHEET NUMBER
LS-2



SECTOR 'C'
330°

SECTOR 'A'
90°

SECTOR 'B'
210°

PERRIS BLVD

NOTES:
 * UTILITY DESIGN IS PROVIDED AND BASED ON THE DESIGN VISIT. FINAL UTILITY COORDINATION WILL DETERMINE THE POINT OF CONNECTION AND ROUTE.

SITE PLAN

SCALE: 1"=80'-0"
 0 20 40 80 1



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T INTELLECTUAL PROPERTY. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T INTELLECTUAL PROPERTY IS STRICTLY PROHIBITED.



REV	DATE	DESCRIPTION
0	11/27/18	ISSUE ZONING DRAWING
A	10/23/19	ISSUE ZONING DRAWING

NOT TO BE USED FOR CONSTRUCTION

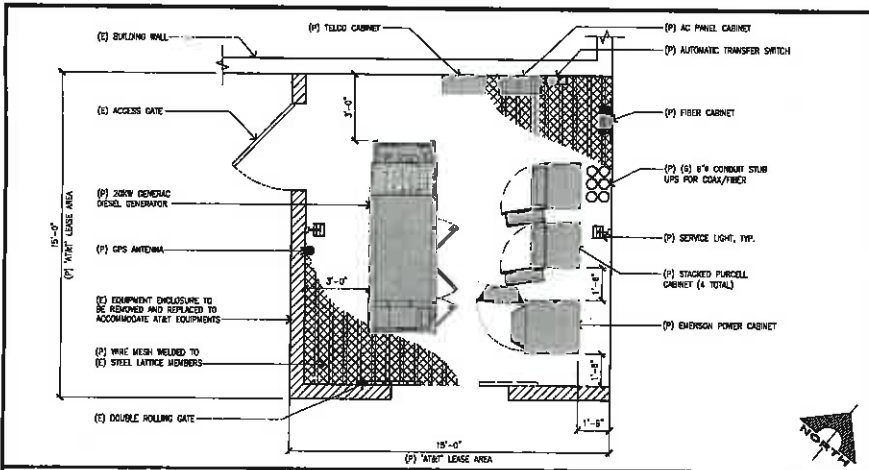
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CSLD2876
 IRIS PLAZA
 18110 PERRIS BLVD,
 MORENO VALLEY, CA 92551
 MONOPALM (OUTDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

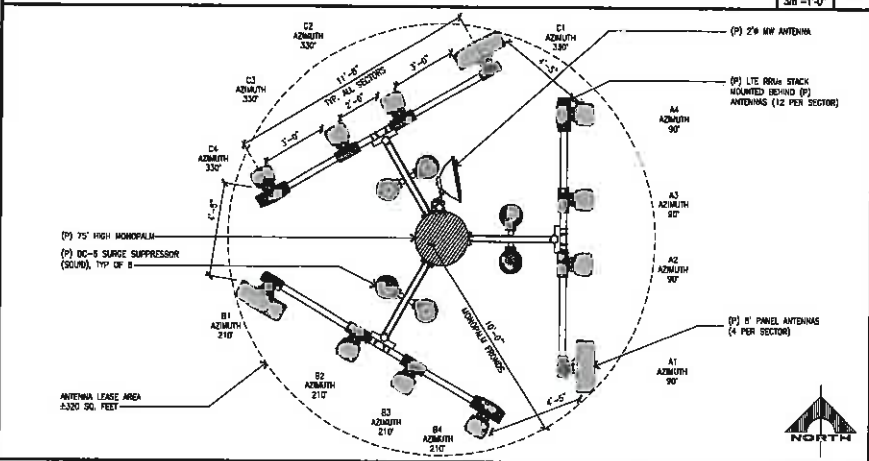
SHEET TITLE:
SITE PLAN

SHEET NUMBER: **A-1**
 REV.: **0**



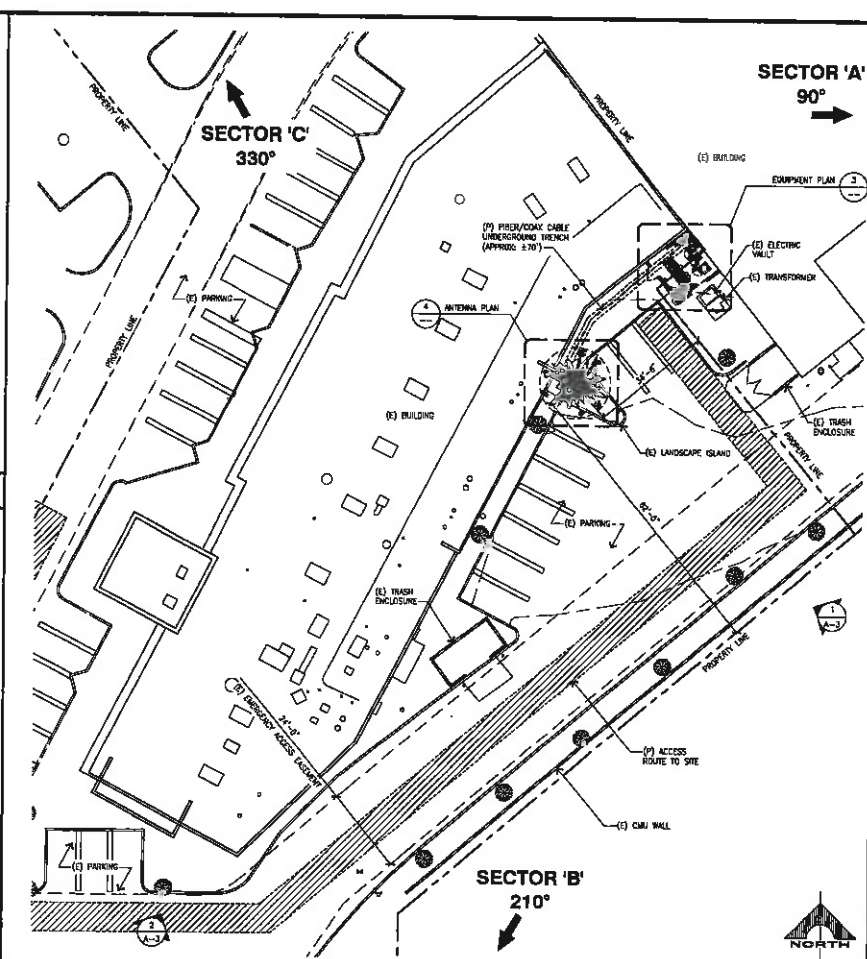
ANTENNA PLAN

SCALE: 3/8"=1'-0" 3



ANTENNA PLAN

SCALE: 3/8"=1'-0" 4



ENLARGED SITE PLAN

SCALE: 1/16"=1'-0" 1

SECTOR	PROPOSED TECHNOLOGY	PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS			TRANSMISSION LINE LENGTH (ft +/-)	
		ANTENNA TYPE	SIZE (L x W x H)	ANTENNA AZIMUTH	W/RT CENTER	DC CABLE (AND FIB)
SECTOR A	A1	LTE 8-PORT PANEL ANTENNA	8'	90°	58'-0"	<12'
	A2	LTE 8-PORT PANEL ANTENNA	8'	90°	68'-0"	+/- 150'
	A3	LTE 8-PORT PANEL ANTENNA	8'	90°	68'-0"	+/- 150'
	A4	LTE 8-PORT PANEL ANTENNA	8'	90°	68'-0"	+/- 150'
SECTOR B	B1	LTE 8-PORT PANEL ANTENNA	8'	210°	66'-0"	+/- 150'
	B2	LTE 8-PORT PANEL ANTENNA	8'	210°	66'-0"	+/- 150'
	B3	LTE 8-PORT PANEL ANTENNA	8'	210°	66'-0"	+/- 150'
	B4	LTE 8-PORT PANEL ANTENNA	8'	210°	66'-0"	+/- 150'
SECTOR C	C1	LTE 8-PORT PANEL ANTENNA	8'	330°	68'-0"	+/- 150'
	C2	LTE 8-PORT PANEL ANTENNA	8'	330°	68'-0"	+/- 150'
	C3	LTE 8-PORT PANEL ANTENNA	8'	330°	68'-0"	+/- 150'
	C4	LTE 8-PORT PANEL ANTENNA	8'	330°	68'-0"	+/- 150'

ANTENNA AND RRU SCHEDULE

SECTOR	REMOTE RANU UNITS (RRU'S)			
	RRU UP OR DOWN	RRU COUNT	RRU LOCATION (DISTANCE FROM ANTENNA)	MINIMUM CLEARANCES ABOVE BELOW SIDES
SECTOR A	A1	UP	3	<12' 18' 8' 8'
	A2	UP	3	<12' 18' 8' 8'
	A3	UP	3	<12' 18' 8' 8'
	A4	UP	3	<12' 18' 8' 8'
SECTOR B	B1	UP	3	<12' 18' 8' 8'
	B2	UP	3	<12' 18' 8' 8'
	B3	UP	3	<12' 18' 8' 8'
	B4	UP	3	<12' 18' 8' 8'
SECTOR C	C1	UP	3	<12' 18' 8' 8'
	C2	UP	3	<12' 18' 8' 8'
	C3	UP	3	<12' 18' 8' 8'
	C4	UP	3	<12' 18' 8' 8'

1452 EDINGER AVE. JUSTIN, CALIFORNIA 92700

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19401 VON KARMAN AVE. SUITE 400 IRVINE, CA 92612 TEL: (949) 967-1285 FAX: (949) 967-1275

6225 PIONEER BLVD. #100 SANTA FE SPRING, CA 92670

REV	DATE	DESCRIPTION
0	11/02/18	ISSUE DURING BIDDING
1	12/23/18	FOR DURING BIDDING

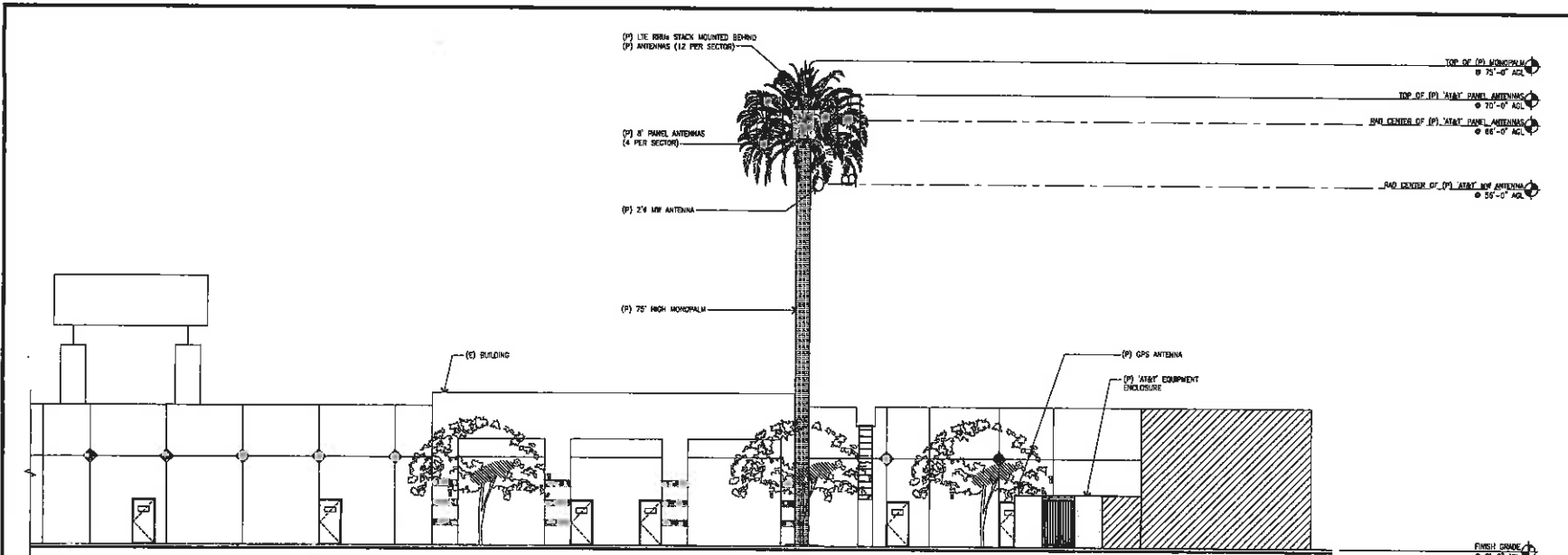
NOT TO BE USED FOR CONSTRUCTION

CSL02876 IRIS PLAZA 16110 PERRIS BLVD. MORENO VALLEY, CA 92551 MONOPALM (OUTDOOR)

DRAWN BY: JEM CHECKED BY: JS

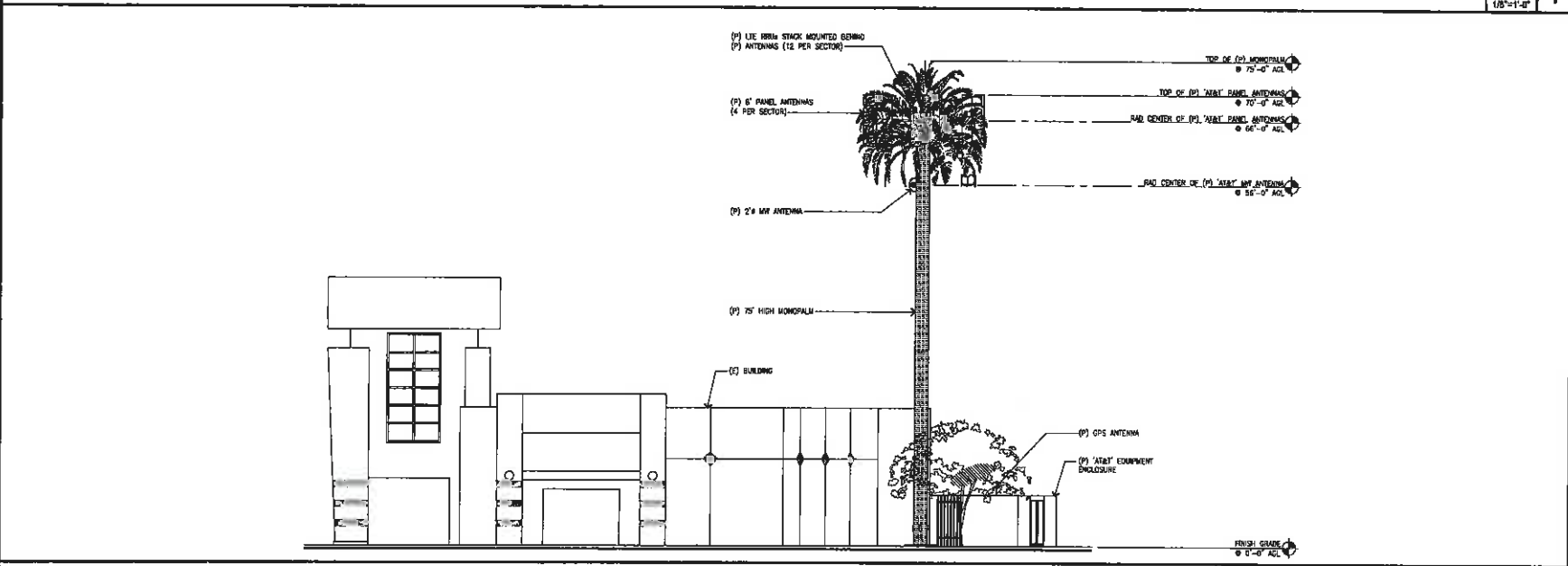
SHEET TITLE: ENLARGED SITE PLAN, EQUIPMENT & ANTENNA PLAN, ANTENNA/RRU SCHEDULE

SHEET NUMBER: A-2 REV: 0



SOUTHEAST ELEVATION

SCALE: 1/8"=1'-0" 1



SOUTHWEST ELEVATION

SCALE: 1/8"=1'-0" 2



1452 EDINGER AVE.
TUSTIN, CALIFORNIA 92710

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IRVINE, CA 92612
TEL: (949) 967-1295
FAX: (949) 967-1275



508 PIONEER BLVD., #100
SANTA FE SPRING, CA 90703

REV.	DATE	DESCRIPTION
0	11/09/18	ISSUE ZONING DRAWING
1	10/23/19	ISSUE ZONING DRAWING

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CSL02876
IRIS PLAZA
16110 PERRIS BLVD,
MORENO VALLEY, CA 92551
MONOPALM (OUTDOOR)

DRAWN BY: JEM
CHECKED BY: JS

SHEET TITLE:
ELEVATIONS

SHEET NUMBER: A-3
REV.: 0

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

February 4, 2019

CHAIR

Steve Manos
Lake Elsinore

Ms. Kimberly Luna, Project Planner
City of Moreno Valley Planning Department
14177 Frederick Street
Moreno Valley CA 92553

VICE CHAIR

Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

John Lyon
Riverside

File No.: ZAP1350MA19
Related File No.: PEN18-0244 (Conditional Use Permit)
APN: 312-270-012

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Dear Ms. Luna:

Gary Youmans
Temecula

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. PEN18-0244 (Conditional Use Permit), a proposal to construct a 75 foot tall mono-palm wireless communications facility within a 760 square foot lease area on a 5.9-acre parcel located on the southerly side of Globe Street, easterly of Perris Boulevard and westerly of Kitching Street.

STAFF

Director
Simon A. Housman

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of this AIA, non-residential intensity is not restricted.

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,488 feet above mean sea level (AMSL) at its southerly terminus. At a distance of 6,436 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review could be required for any structures with an elevation at top of roof exceeding 1,552.4 feet AMSL. The site's grade elevation is 1,465 feet AMSL, and the proposed structure has a maximum height of 75 feet, resulting in a top point elevation of 1,540 feet AMSL. Therefore, FAA OES review for height/elevation reasons is not required.

www.rcaluc.org

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

AIRPORT LAND USE COMMISSION

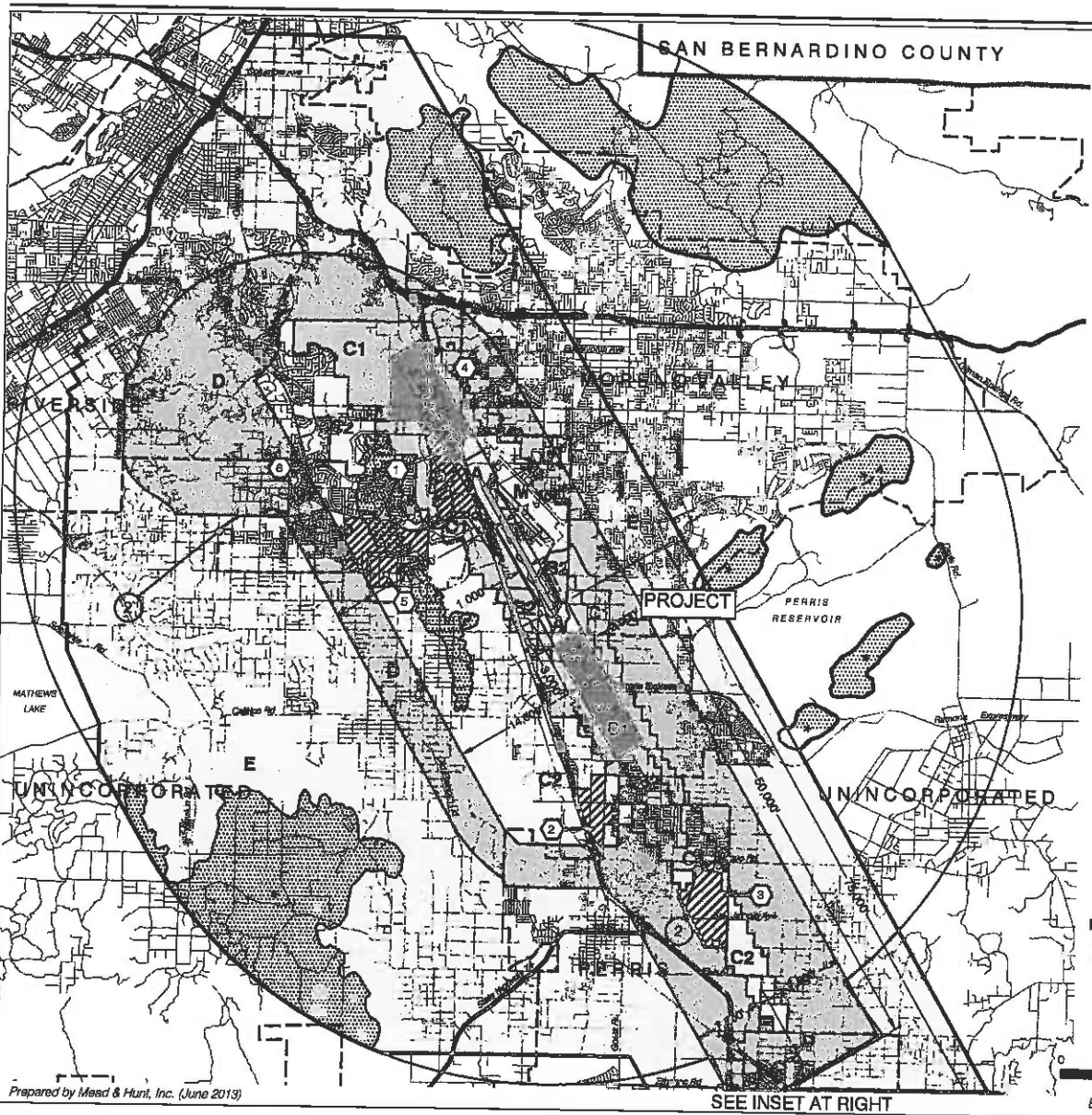
Attachments: Notice of Airport in Vicinity

cc: AT&T (Tustin office) (applicant)
Smartlink, LLC, Anthony Hughes (Irvine office) (representative)
Securcare Moreno Valley, LLC (landowner)
Smartlink, LLC (Annapolis, MD) (fee-payer)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1350MA19\ZAP1350MA19.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

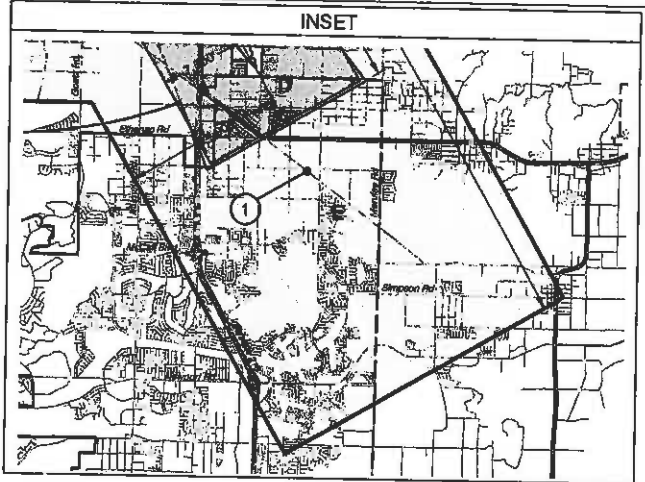
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

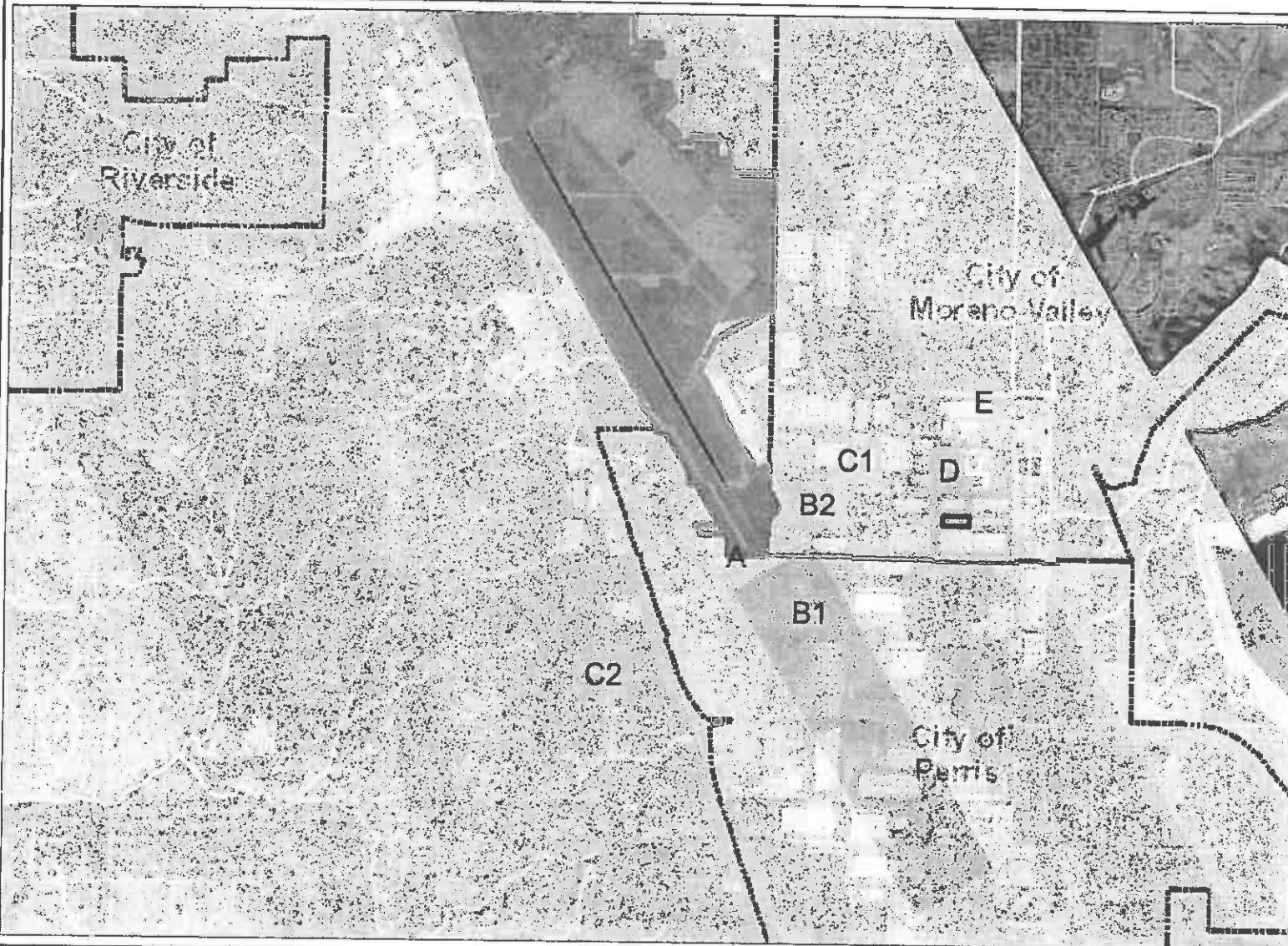
Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map My County Map



Legend

- Runways
- ▣ Airports
- Airport Influence Areas
- Airport Compatibility Zones
 - ▨ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

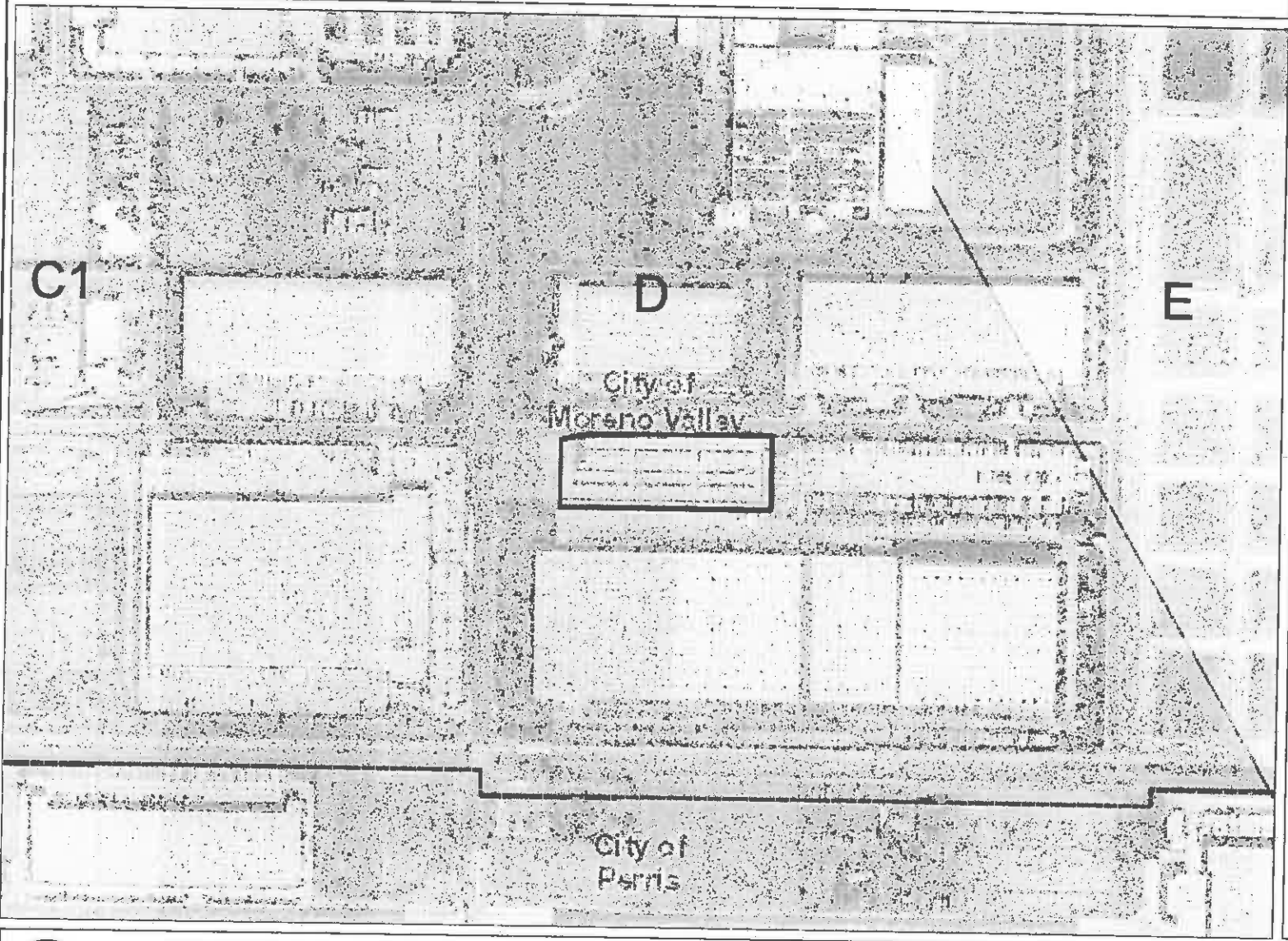
Notes



REPORT PRINTED ON... 1/28/2019 2:31:02 PM

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Map My County Map



- Legend**
- Runways
 - ▣ Airports
 - ▣ Airport Influence Areas
 - Airport Compatibility Zones**
 - ▣ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-II-GHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Notes

Map My County Map



Legend

- City Areas
- World Street Map



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Notes

Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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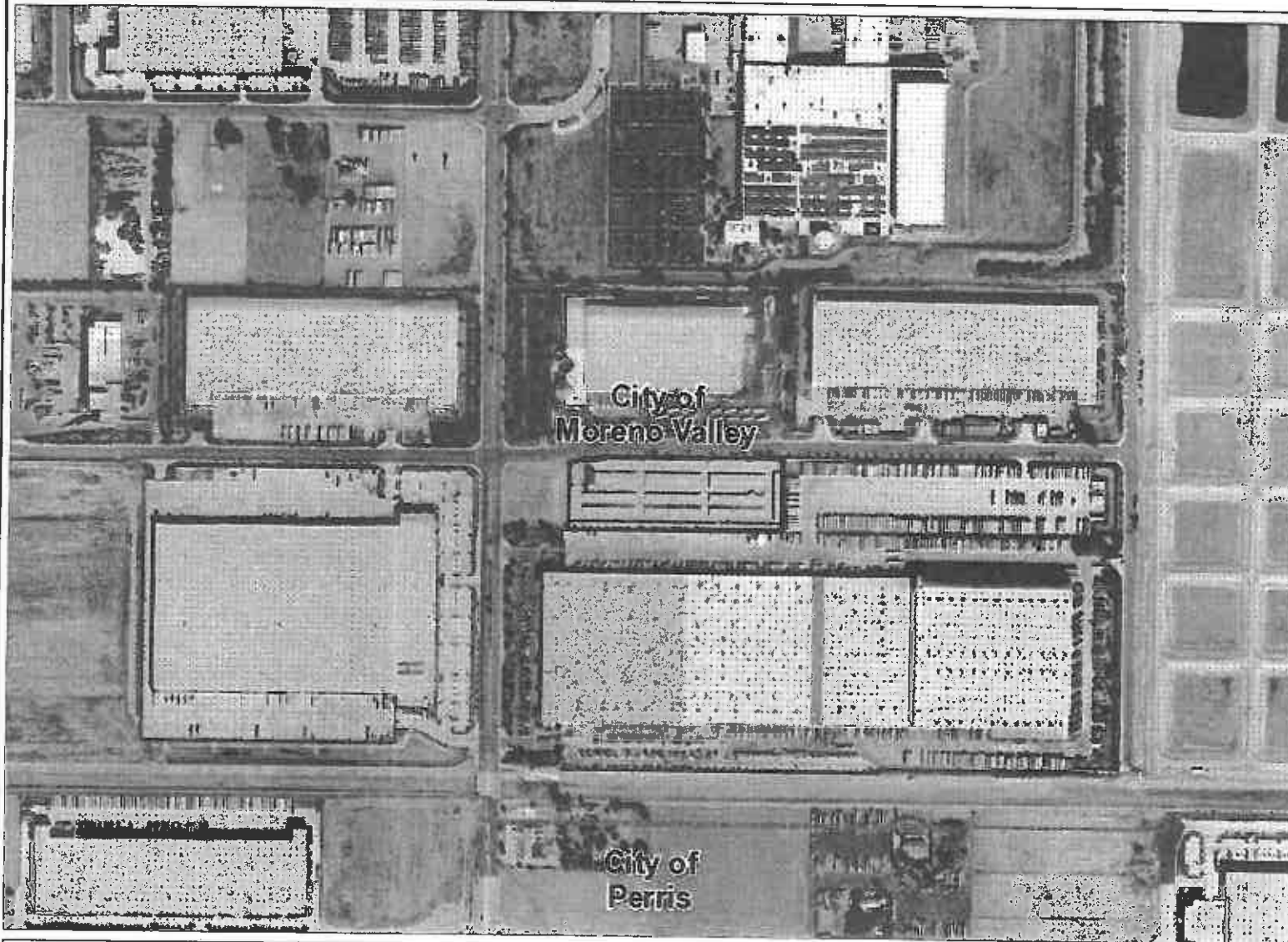
0 3 6,064 Feet
032

REPORT PRINTED ON... 1/28/2019 2:31:54 PM

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Notes

Map My County Map



Legend

- Blue line Streams
- City Areas
- World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 758 1,516 Feet

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Notes

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PREVENT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- | | |
|------------------------------------|---|
| 1. 2018 CALIFORNIA BUILDING CODE | 6. 2018 CALIFORNIA ENERGY CODE |
| 2. 2018 CALIFORNIA ELECTRICAL CODE | 7. COUNTY COASTAL ZONE LAND USE ORDINANCE-TITLE 23 |
| 3. 2018 CALIFORNIA FIRE CODE | 8. COUNTY FIRE CODE ORDINANCE - TITLE 18 |
| 4. 2018 CALIFORNIA MECHANICAL CODE | 9. COUNTY LAND USE ORDINANCE - TITLE 22 |
| 5. 2018 CALIFORNIA PLUMBING CODE | 10. COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19 |

PROJECT TEAM

CLIENT REPRESENTATIVE

COMPANY: SMARTLINK LLC
ADDRESS: 1840 VON KARMAN AVE, SUITE 400
CITY/STATE/ZIP: IRVINE, CA 92612
CONTACT: ALECCO DUMAY
PHONE: (949) 638-7113
EMAIL: aledum@smartlink.com

CONSTRUCTION MANAGER

COMPANY: BSC-TEL COMMUNICATIONS, INC.
ADDRESS: 1808 WINTERBURN AVENUE, SUITE 225
CITY/STATE/ZIP: IRVINE, CA 92612
CONTACT: ROY WANDERLIND
PHONE: (714) 340-0611
EMAIL: royw@bsctel.com

SITE ACQUISITION

COMPANY: SMARTLINK LLC
ADDRESS: 1840 VON KARMAN AVE, SUITE 400
CITY/STATE/ZIP: IRVINE, CA 92612
CONTACT: ALECCO DUMAY
PHONE: (949) 638-7113
EMAIL: aledum@smartlink.com

ATT PROJECT MANAGER

COMPANY: AT&T
ADDRESS: 1452 EDINGER AVE.
CITY/STATE/ZIP: TUSTIN, CA 92780
CONTACT: ANDREW HOLLMAN
PHONE: (714) 568-7113
EMAIL: aholl@att.com

ZONING

COMPANY: SMARTLINK LLC
ADDRESS: 1840 VON KARMAN AVE, SUITE 400
CITY/STATE/ZIP: IRVINE, CA 92612
CONTACT: ALECCO DUMAY
PHONE: (949) 638-7113
EMAIL: aledum@smartlink.com

APPLICANT

COMPANY: AT&T
ADDRESS: 1452 EDINGER AVE.
CITY/STATE/ZIP: TUSTIN, CA 92780

ENGINEER

COMPANY: CASA INDUSTRIES, INC.
ADDRESS: 8928 PIONEER BLVD, #100
CITY/STATE/ZIP: SANTA FE SPRINGS, CA 90670
CONTACT: LUIS CARDENA
PHONE: (800) 858-5300
EMAIL: LOUIS@CASAIND.COM

RF ENGINEER

COMPANY: AT&T
ADDRESS: 1452 EDINGER AVE.
CITY/STATE/ZIP: TUSTIN, CA 92780
CONTACT: MANISH KALOUR
PHONE: (949) 638-7113
EMAIL: mkalour@att.com

SITE INFORMATION

APPLICANT / LESSEE

 **AT&T**
Your world. Delivered
1452 EDINGER AVE, 3RD FLOOR
TUSTIN, CALIFORNIA 92780

PROPERTY OWNER

OWNER: SEORCARE MORENO VALLEY, LLC
ADDRESS: MARTHA CUEVAS / LAUREN MACIEL

LEASING CONTACT: CALSIE CROSSLAND - CROSSLAND TELECOM
PHONE: (970) 222-1541
EMAIL: calsie@crosslandtel.com

LATITUDE: 33° 41' 45.9" (33.696111) N
LONGITUDE: 117° 12' 20.0" (-117.202777) W

LAT/LONG TYPE: NAD 83

GROUND ELEVATION: 5477 A.M.S.L.

ASPH/CONC LEVEL: 77 A.S.L.

APN #: 215-270-012

AREA OF CONSTRUCTION: 780 SQ.FT.

ZONING / JURISDICTION: MORENO VALLEY

CURRENT ZONING: INDUSTRIAL

PROPOSED USE: UNMANNED TELECOMMUNICATIONS FACILITY

HAZMAT REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HAZMAT-CLASSIFIED ACCESS NOT REQUIRED.



AT&T

Your world. Delivered

SITE NUMBER: CSL00298 (NSB)

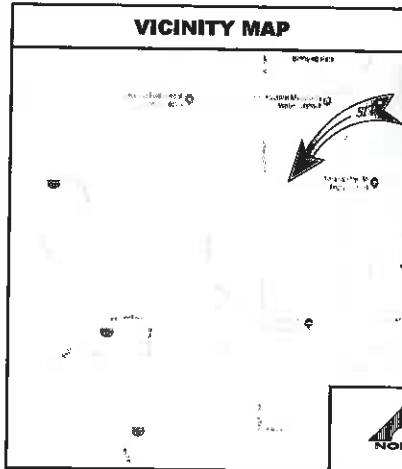
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FA NUMBER: 13024047

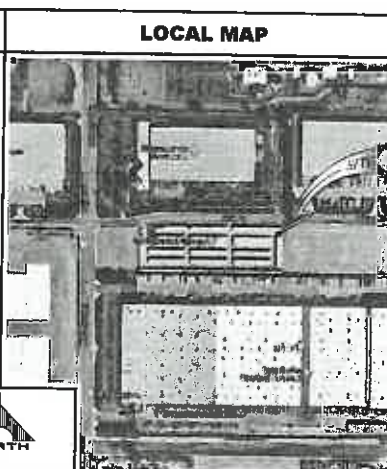
USID: 219921

25065 GLOBE ST,
MORENO VALLEY, CA 92551
RIVERSIDE COUNTY

VICINITY MAP



LOCAL MAP



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:

HEAD NORTHWEST TOWARD AT&T, TURN LEFT TOWARD AT&T, TURN RIGHT ONTO AT&T, TURN LEFT ONTO EDINGER AVE, USE THE LEFT 3 LANES TO TURN LEFT ONTO DEL AND AVE, USE THE RIGHT 2 LANES TO TAKE THE RAMP ONTO CA-60 N/STATE RTE 55 N, MERGE ONTO CA-60 N/STATE RTE 55 N, MERGE ONTO CA-91 E, USE THE RIGHT 2 LANES TO TAKE EXIT 63 B FOR CA-60 E/1-215 S TOWARD SAN DIEGO/INDO, MERGE ONTO CA-90 E, CONTINUE ONTO CA-60 E/1-215 S, KEEP RIGHT AT THE FORK TO STAY ON I-215 S, FOLLOW SIGNS FOR INTERSTATE 215 S/SAN DIEGO, TAKE EXIT 23 FOR HARLEY KNOX BLVD, TURN LEFT ONTO HARLEY KNOX BLVD, TURN LEFT ONTO N PETERS BLVD, TURN RIGHT ONTO GLOBE ST/GRADY NEW RD, DESTINATION WILL BE ON THE RIGHT.

LEGAL DESCRIPTION

PENDING TITLE DOCS.



APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

DISCIPLINE	SIGNATURE	DATE
AT&T RF ENGINEER		
AT&T OPERATIONS		
SITE ACQUISITION		
CONSTRUCTION MANAGER		
PROPERTY OWNER		
ZONING VENDOR		
PROJECT MANAGER		

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS
SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRINKING AND SANITARY WATER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL REVENUE IS PROVIDED.

PROJECT DESCRIPTION INDOOR EQUIPMENT / WIC CABINET

THE SCOPE WILL CONSIST OF THE FOLLOWING:

- INSTALL 1 (2) 25'-0" HIGH MONORAIL.
- INSTALL 1 (2) 8'-0" X 8'-0" W.C. ON CONCRETE PAD.
- INSTALL 1 (2) 8' CHAIN LINK FENCE WITH VINYL SLATS.
- INSTALL 1 (2) POLAR POWER GENERATOR.
- INSTALL 1 (2) DC POWER PLANT.
- INSTALL 2 (2) PV PANELS.
- INSTALL 1 (2) GPS ANTENNAS.
- INSTALL (2) UNITY CABINETS.
- INSTALL (2) TOLLBO BOARD.
- INSTALL 12 (2) 8' PANEL ANTENNAS (4 PER SECTOR).
- INSTALL 36 (2) LTE RUS AT ANTENNA LEVEL (12 PER SECTOR).
- INSTALL 1 (2) 2' X 4' WIC ANTENNA.
- INSTALL 6 (2) DC-6 SURGE SUPPRESSORS (SQUID).
- TOTAL LEASE AREA - 780 SQ.FT.

DRAWING INDEX

SHEET NO.	TITLE SHEET
T-1	TITLE SHEET
LS-1	SITE SURVEY (PENDING)
A-1	SITE PLAN AND ENLARGED SITE PLAN
A-2	LEASER AREA/ANTENNA PLAN AND ANTENNA/FAU SCHEDULE
A-3	ELEVATIONS
A-4	ELEVATIONS



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T INTELLECTUAL PROPERTY. ANY USE OR REPRODUCTION OTHER THAN AS IT RELATES TO AT&T INTELLECTUAL PROPERTY IS STRICTLY PROHIBITED.



REV	DATE	DESCRIPTION
D	10/28/18	NEW ZONING DRAWING
A	10/18/18	NEW ZONING DRAWING

NOT TO BE USED FOR CONSTRUCTION

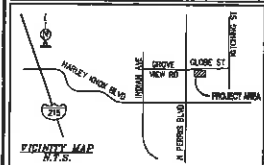
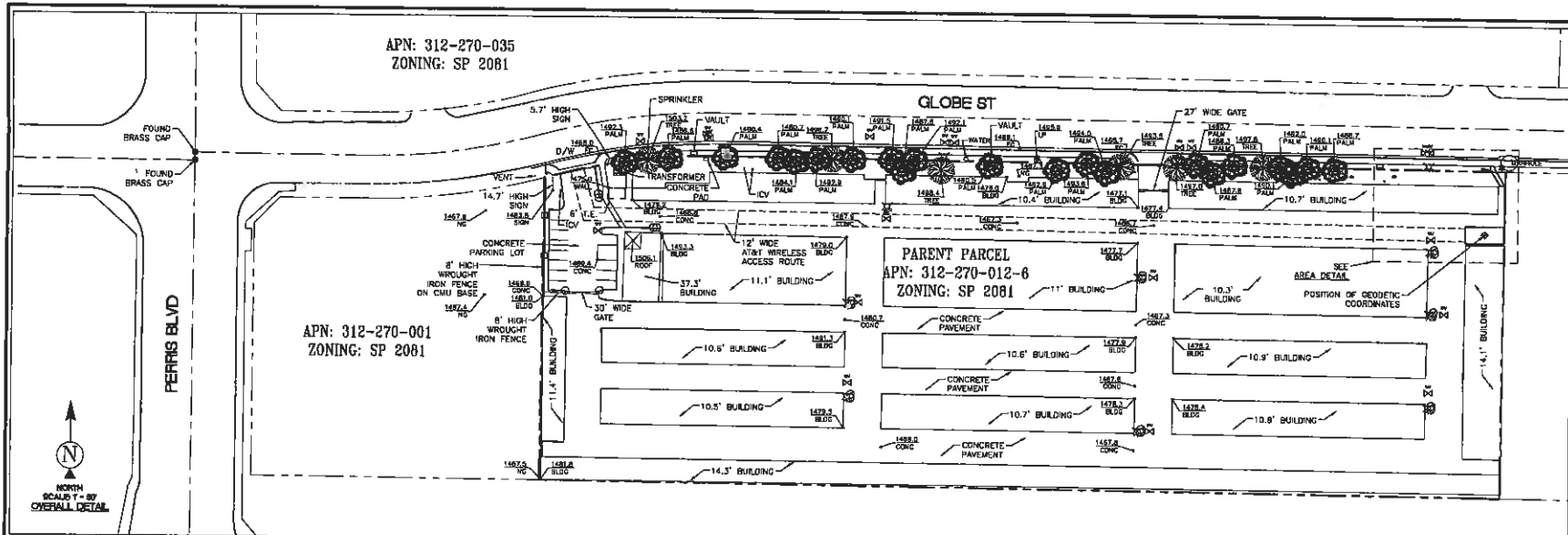
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS SUCH ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CSL00298
GLOBE STREET
25065 GLOBE ST,
MORENO VALLEY, CA 92551
MONDPALM

DRAWN BY: JEM
CHECKED BY: JS

SHEET TITLE:
TITLE SHEET

SHEET NUMBER: T-1
REV: 0



SURVEY DATE
10/05/2018

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE SIX, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS "GEOID 12B" MODELLED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE "GALVINS" REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD83.

SURVEYOR'S NOTES
SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

THE BOUNDARY SHOWN HEREIN IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

ALL DISTANCES SHOWN HEREON ARE UNADJUSTED DISTANCES.

LEGEND

BLDG TOP OF BUILDING	○	BOLLARD
CONC EDGE OF CONCRETE	—	UTILITY MANHOLES
O/W ACCESS DRIVEWAY	—	FIRE HYDRANT
ICV IRRIGATION CONTROL VALVE	○	LIGHT POLE
LP LIGHT POLE	○	POSITION OF GEODETIC COORDINATES
NG NATURAL GRADE	—	TRADE ENCLOSURE
T.E. TOP OF WALL	—	TOP OF WALL
TREES	—	SPOT ELEVATION
○ PALM TREES	○	WATER CONTROL VALVE
— CHU WALLS	—	— WROUGHT IRON FENCE
— CURB LINES	—	— STREET CENTERLINES
— SUBJECT PROPERTY LINE	—	— ADJACENT PROPERTY LINE
— LEASE AREA LIMITS	—	

GRID-TO-GROUND SCALE FACTOR NOTE
ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA ZONE SIX STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99999866

FLOOD ZONE
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X", ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #0605C14301, DATED 06/18/2014

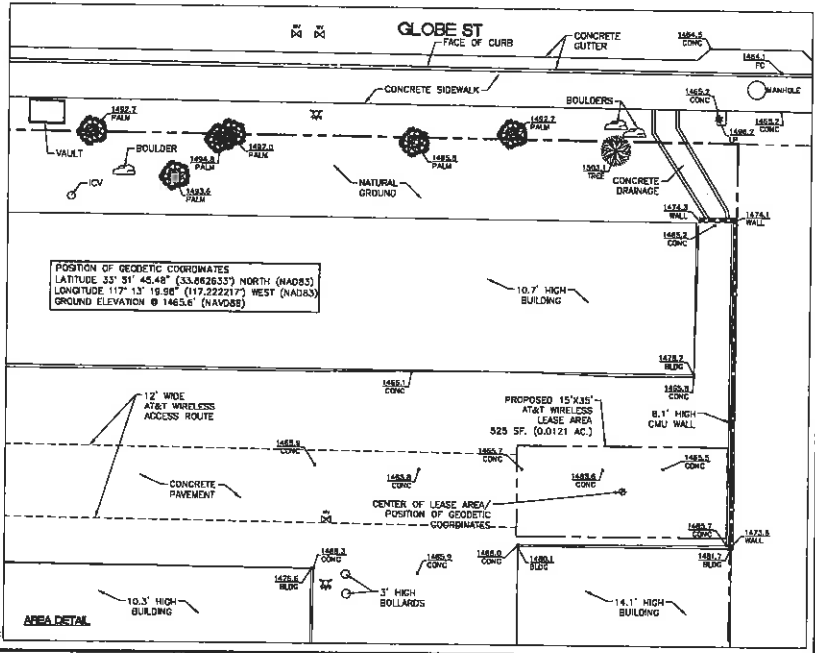
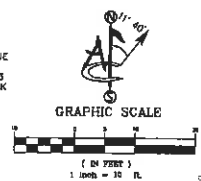
UTILITY NOTES
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

LESSOR'S LEGAL DESCRIPTION
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: PARCELS 2 THROUGH 5 INCLUSIVE OF PARCEL MAP NO. 241728, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 181, PAGES 83 THROUGH 86 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SCHEDULE "B" NOTE
REFERENCE IS MADE TO THE TITLE REPORT ORDER #030135-910-CH1-CWS, ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED SEPTEMBER 26, 2016. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. NOTE: SCHEDULE B ITEMS 1, 3 AND 5 ARE NOT SURVEY MATTERS AND HAVE NOT BEEN PLOTTED.

ITEMIZED NOTES:
2. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS DRAWN ON MAP: RECORD OF SURVEY RECORDING NO. IN BOOK 73, PAGES 89 TO 92 RECORDS OF SURVEY (NOTHING TO PLOT)

4. AN ASSIGNMENT OF ALL THE MONIES DUE, OR TO BECOME DUE AS RENTAL, AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY DEED OF TRUST SHOWN AS ITEM NO. 3 ASSIGNED TO: NEW YORK LIFE INSURANCE COMPANY, A NEW YORK MUTUAL INSURANCE COMPANY. RECORDING DATE: AUGUST 11, 2017 RECORDING NO. AS INSTRUMENT NO. 2017-0330891 OF OFFICIAL RECORDS (BLANKET IN NATURE)



1452 EDINGER AVENUE
3RD FLOOR
TUSTIN, CA 92780

428 MAIN STREET SUITE 205
HUNTINGTON BEACH CALIFORNIA 92648
PH. (490) 659-4072

10550 REAGAN ST, #462
LOS ALAMITOS, CALIFORNIA 90720

REV	DATE	DESCRIPTION	CHK
C	10/16/18	TITLE (C)	CK
A	10/15/18	PRELIM	BS

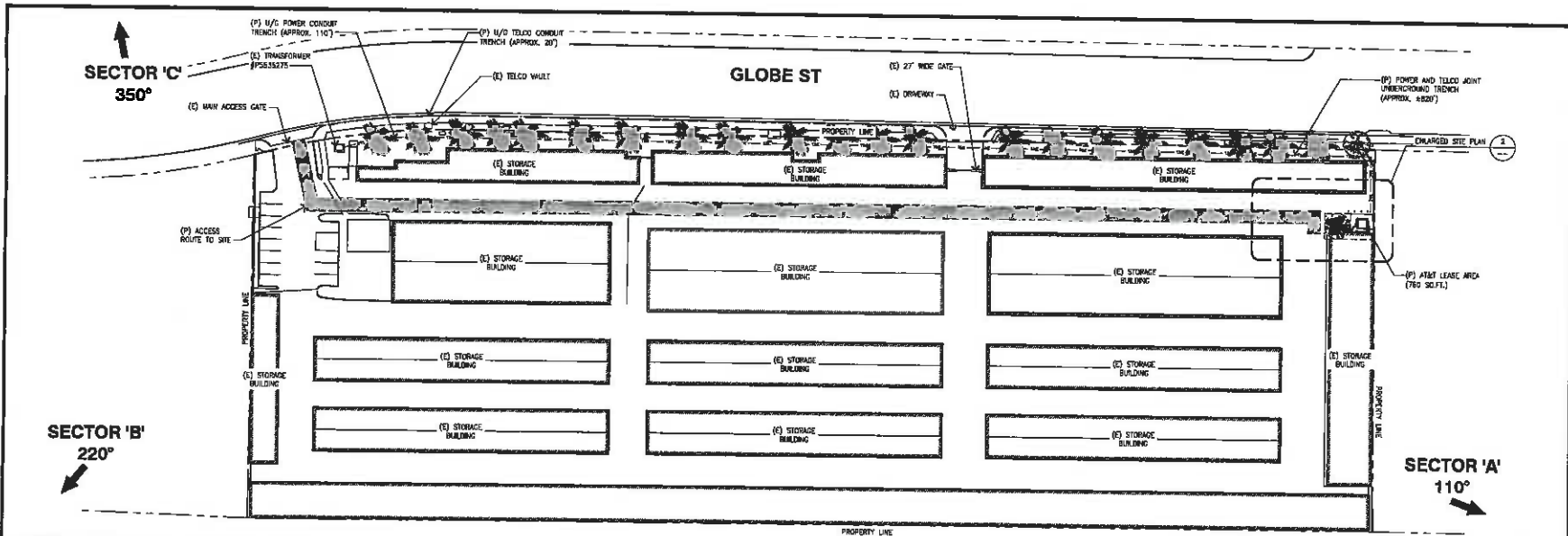
**PRELIMINARY
NOT TO BE USED
FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL SURVEYOR, TO ALTER THIS DOCUMENT.

CSL00298
25065 GLOBE STREET
MORENO VALLEY, CA 92551
RIVERSIDE COUNTY

SHEET TITLE
SITE SURVEY

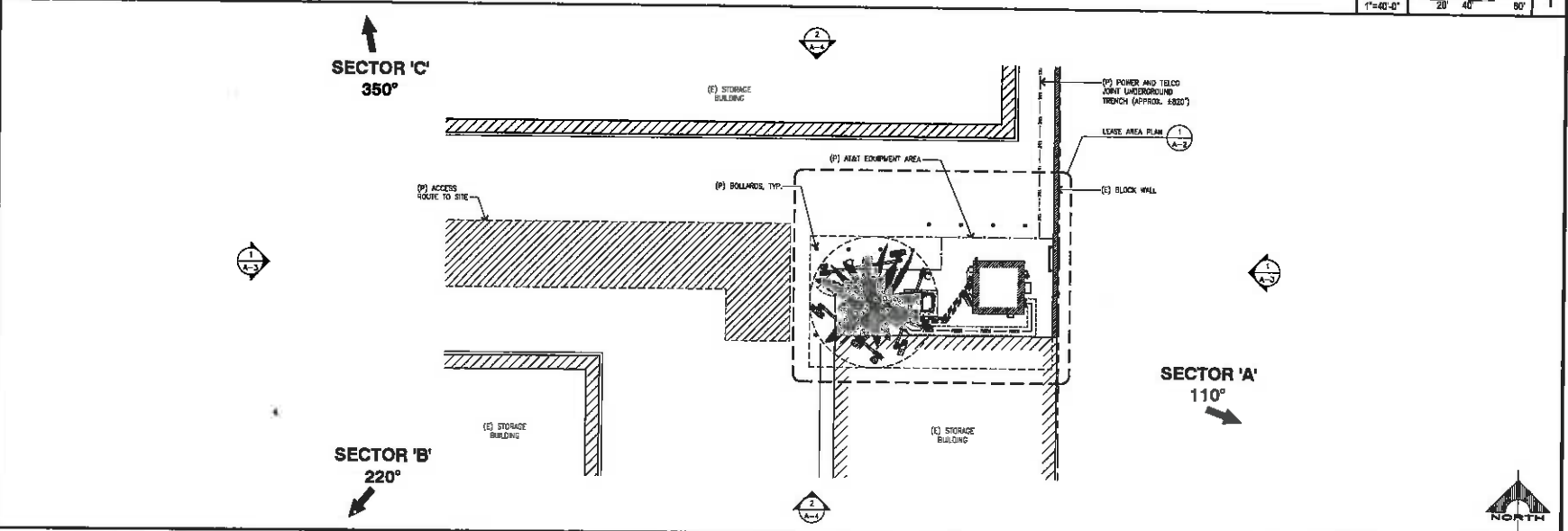
SHEET NUMBER
LS-1



NOTE:
 • UTILITY DESIGN IS PROPOSED AND BASED ON THE DESIGN VISIT. FINAL UTILITY COORDINATION WILL DETERMINE THE POINT OF CONNECTION AND ROUTE.

SITE PLAN

SCALE
 1"=40'-0"
 0 20 40 80' 1



ENLARGED SITE PLAN

SCALE:
 1/4"=1'-0" 2

AT&T
 1482 EDINGER AVE.
 TUSTIN, CALIFORNIA 92780

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smartlink
 18401 VONKARMAN AVE., SUITE 400
 IRVINE, CA 92612
 TEL: (949) 367-1285
 FAX: (949) 367-1275

ASA
 5925 PIONEER BLVD., #102
 SANTA FE SPRING, CA 90703

REV	DATE	DESCRIPTION
0	10/22/10	ISSUE ZONING DRAWING
1	10/19/10	ISSUE ZONING DRAWING

NOT TO BE USED FOR CONSTRUCTION

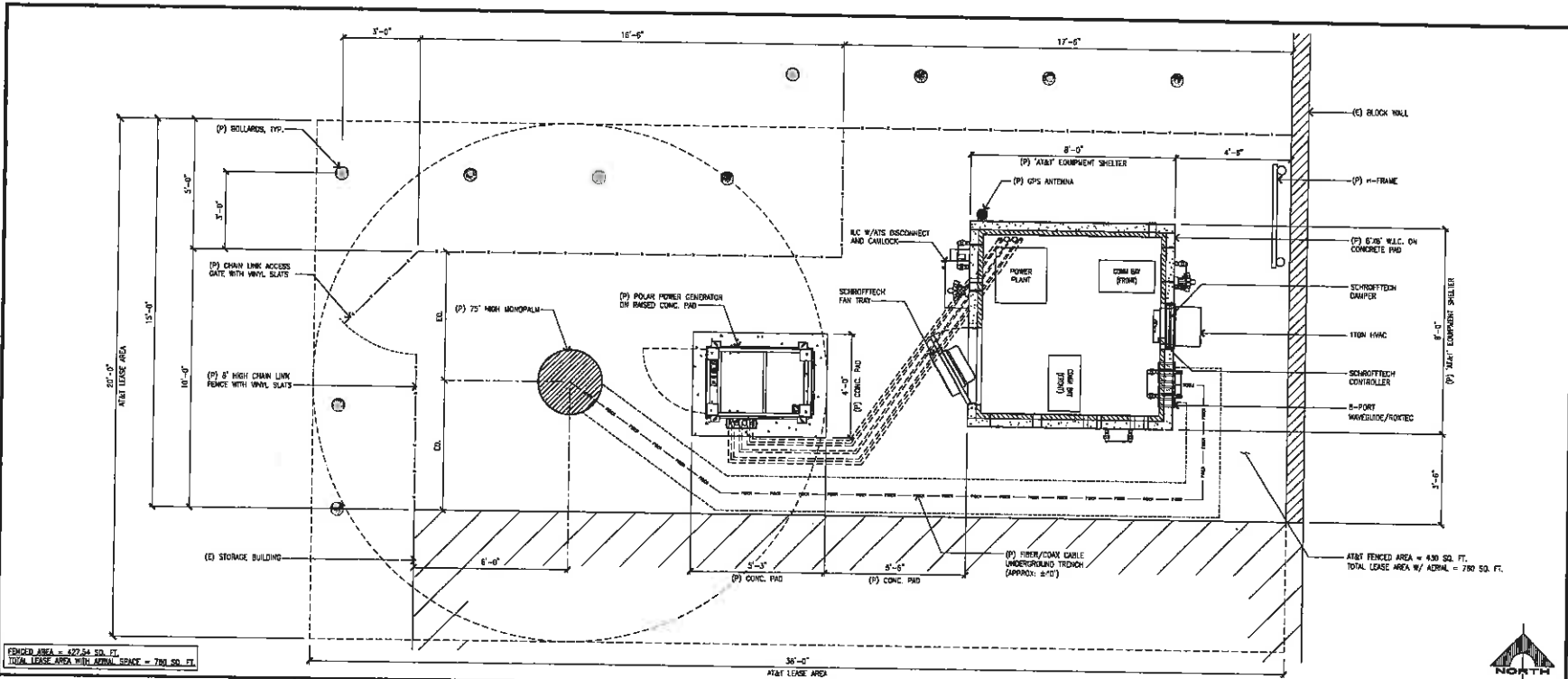
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE WORKING UNDER THE CREATION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CSL00298
 GLOBE STREET
 25065 GLOBE ST,
 MORENO VALLEY, CA 92551
 MONOPALM

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
 SITE PLAN AND ENLARGED SITE PLAN

SHEET NUMBER: A-1
 REV.: 0



FISHER AREA = 572 SQ. FT.
TOTAL LEASE AREA WITH ADJAC. SPACE = 780 SQ. FT.

LEASE AREA PLAN



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REV	DATE	DESCRIPTION
D	10/28/18	100% EXHIBIT DRAWINGS
A	10/18/19	ADD EXHIBIT DRAWINGS

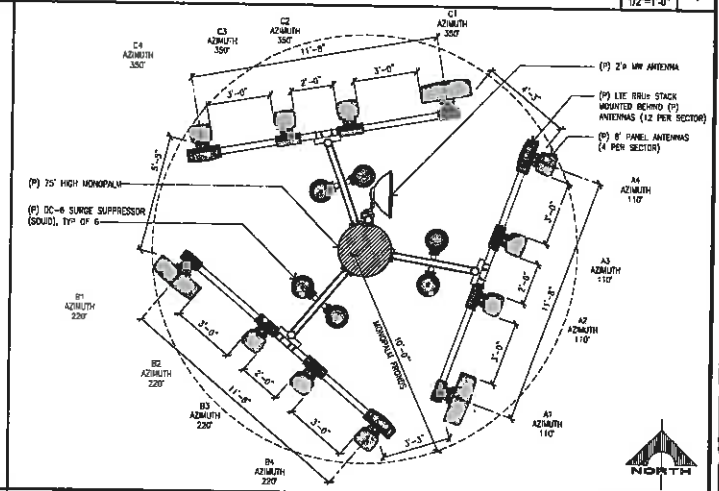


SCALE: 1/2"=1'-0" 1

SECTOR	PROPOSED TECHNOLOGY	PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS						
		ANTENNA	ANTENNA	RAD	TRANSMISSION LINES (LENGTH FT +/-)			
		ARR/REV/IS-PORT	SIZE (L x W x H)	ADJUST	DC CABLE (AWG #)			
ALPHA SECTOR	A1	LTE	8-PORT PANEL ANTENNA	110"	85°-0'	<12"	1/- 30'	
	A2	LTE	8-PORT PANEL ANTENNA	8'	110"	85°-0'	<12"	1/- 90'
	A3	LTE	8-PORT PANEL ANTENNA	8'	110"	85°-0'	<12"	+/- 90'
	A4	LTE	8-PORT PANEL ANTENNA	8'	110"	85°-0'	<12"	+/- 30'
BETA SECTOR	B1	LTE	8-PORT PANEL ANTENNA	8'	220"	85°-0'	<12"	+/- 90'
	B2	LTE	8-PORT PANEL ANTENNA	8'	220"	85°-0'	<12"	+/- 90'
	B3	LTE	8-PORT PANEL ANTENNA	8'	220"	85°-0'	<12"	+/- 90'
	B4	LTE	8-PORT PANEL ANTENNA	8'	220"	85°-0'	<12"	+/- 90'
GAMMA SECTOR	C1	LTE	8-PORT PANEL ANTENNA	8'	350"	85°-0'	<12"	+/- 90'
	C2	LTE	8-PORT PANEL ANTENNA	8'	350"	85°-0'	<12"	+/- 90'
	C3	LTE	8-PORT PANEL ANTENNA	8'	350"	85°-0'	<12"	+/- 90'
	C4	LTE	8-PORT PANEL ANTENNA	8'	350"	85°-0'	<12"	+/- 90'

SECTOR	RRU LP OR COAX	RRU COUNT	RRU LOCATION (DISTANCE FROM ANTENNA)	MINIMUM CLEARANCES			
				ABOVE	BELOW	SIDES	
ALPHA SECTOR	A1	UP	3	<12"	18"	0"	0"
	A2	UP	3	<12"	18"	0"	0"
	A3	UP	3	<12"	18"	0"	0"
	A4	UP	3	<12"	18"	0"	0"
BETA SECTOR	B1	UP	3	<12"	18"	0"	0"
	B2	UP	3	<12"	18"	0"	0"
	B3	UP	3	<12"	18"	0"	0"
	B4	UP	3	<12"	18"	0"	0"
GAMMA SECTOR	C1	UP	3	<12"	18"	0"	0"
	C2	UP	3	<12"	18"	0"	0"
	C3	UP	3	<12"	18"	0"	0"
	C4	UP	3	<12"	18"	0"	0"

ANTENNA AND RRU SCHEDULE



ANTENNA PLAN



SCALE: 3/8"=1'-0" 2

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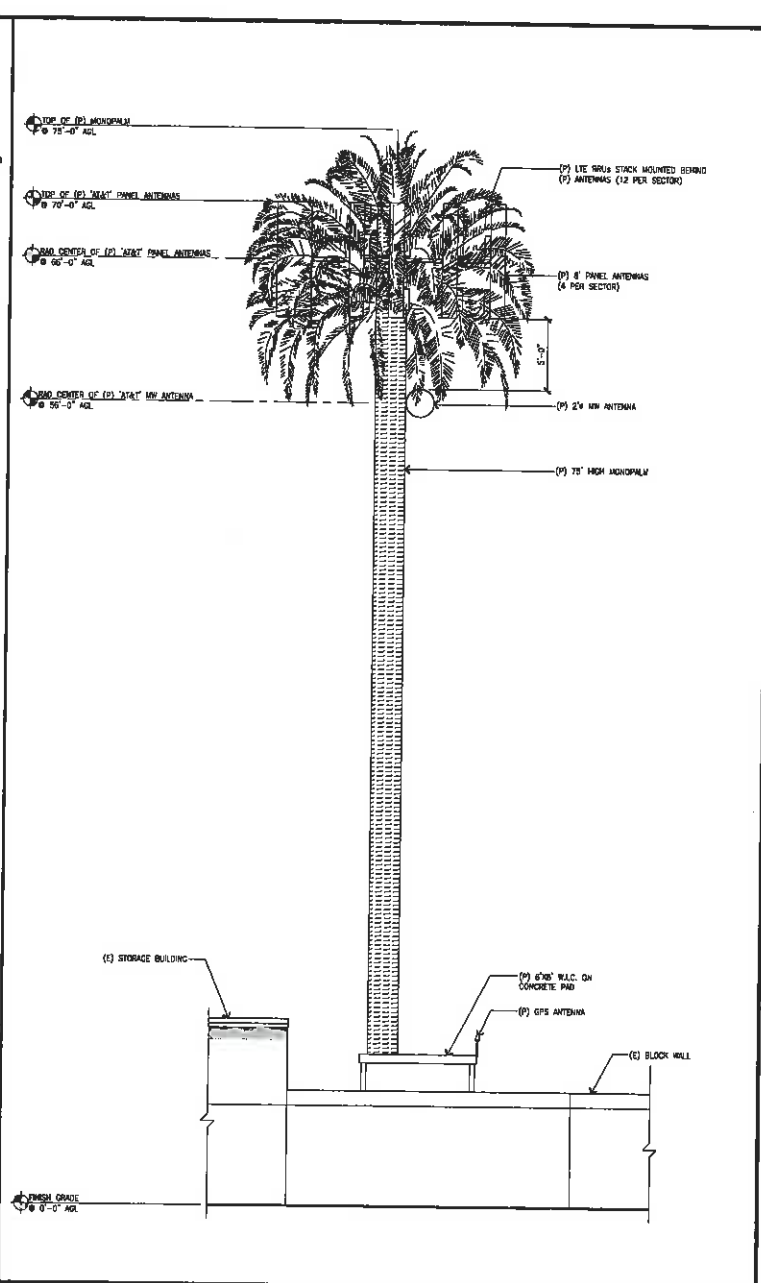
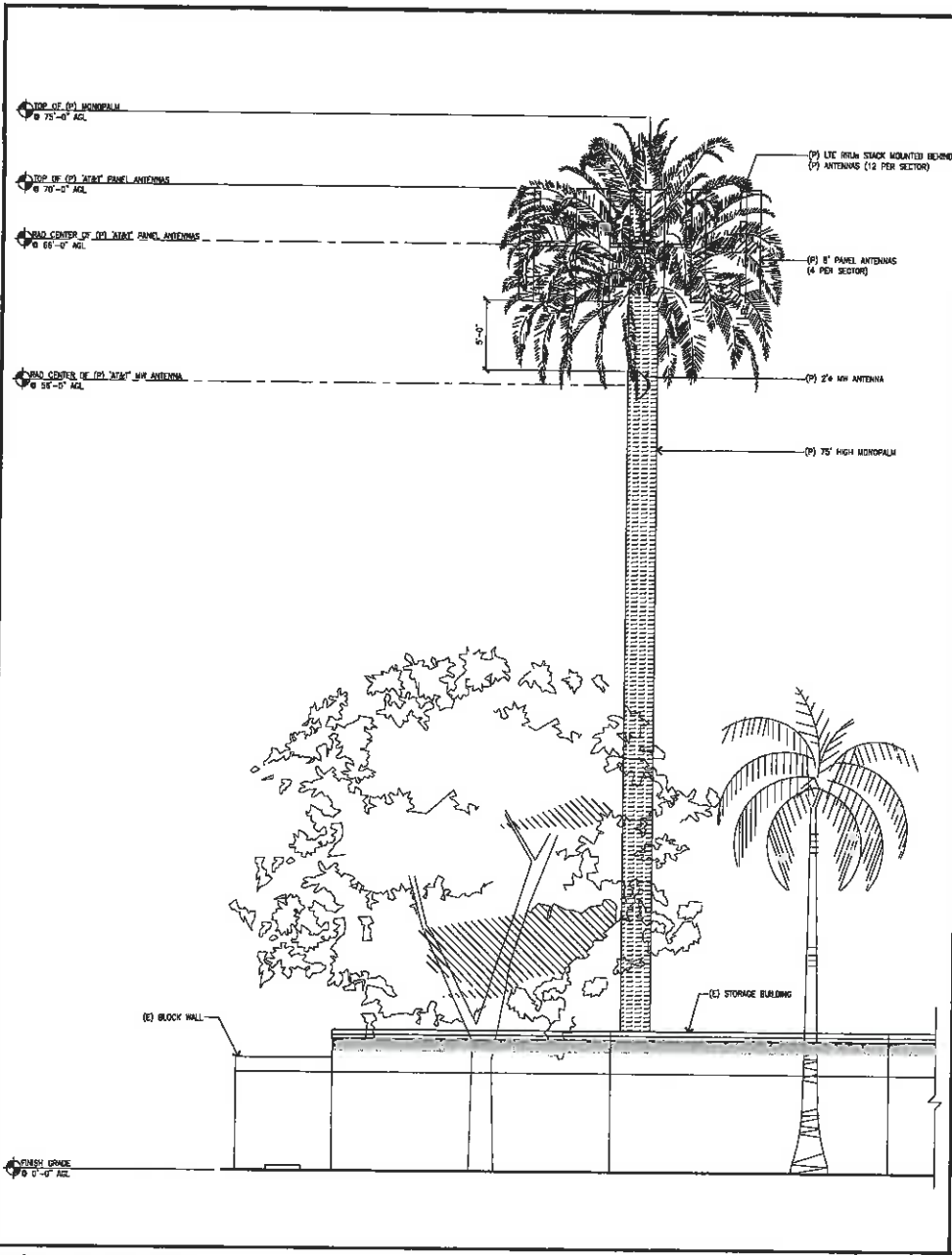
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CSL00298
GLOBE STREET
25065 GLOBE ST,
MORENO VALLEY, CA 92551
MONOPALM

DRAWN BY: JEM
CHECKED BY: JS

SHEET TITLE:
LEASE AREA/ANTENNA PLAN
AND ANTENNA/RRU SCHEDULE

SHEET NUMBER: A-2
REV: 0



NORTH ELEVATION

SCALE: 1/4"=1'-0" 2

EAST ELEVATION

SCALE: 1/8"=1'-0" 1



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REV	DATE	DESCRIPTION
0	10/28/10	ISSUE DRAWING
A	10/18/10	ISSUE DRAWING

NOT TO BE USED FOR CONSTRUCTION

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CSL00298
 GLOBE STREET
 25065 GLOBE ST,
 MORENO VALLEY, CA 92551
 MONOPALM

DRAWN BY: JEM CHECKED BY: JS

SHEET TITLE:
ELEVATIONS

SHEET NUMBER: **A-3** REV.: **0**

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

February 7, 2019

CHAIR

Steve Manos
Lake Euisnore

VICE CHAIR

Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director

Simon A. Housman

John Guerin
Paul Rull

Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Mr. Chris Ormsby, Senior Planner
City of Moreno Valley Planning Department
14177 Frederick Street
Moreno Valley CA 92552

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1347MA19
Related File No.: PEN19-0004
APN: 291-570-029

Dear Mr. Ormsby:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. PEN19-0004 (Conditional Use Permit), a proposal to establish a 2,145 square foot Starbucks drive-through restaurant on a 1.2-acre lot located on the westerly side of Frederick Street, northerly of Centerpoint Drive and southerly of the eastbound State Highway Route 60 Frederick Street off-ramp, within the TownGate Plaza shopping center.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 15,000 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,685 feet AMSL. The site's maximum pad elevation is 1,638 feet AMSL, and the proposed maximum building height of 21 feet, resulting in a top point elevation of 1,659 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the proposed building.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

AIRPORT LAND USE COMMISSION

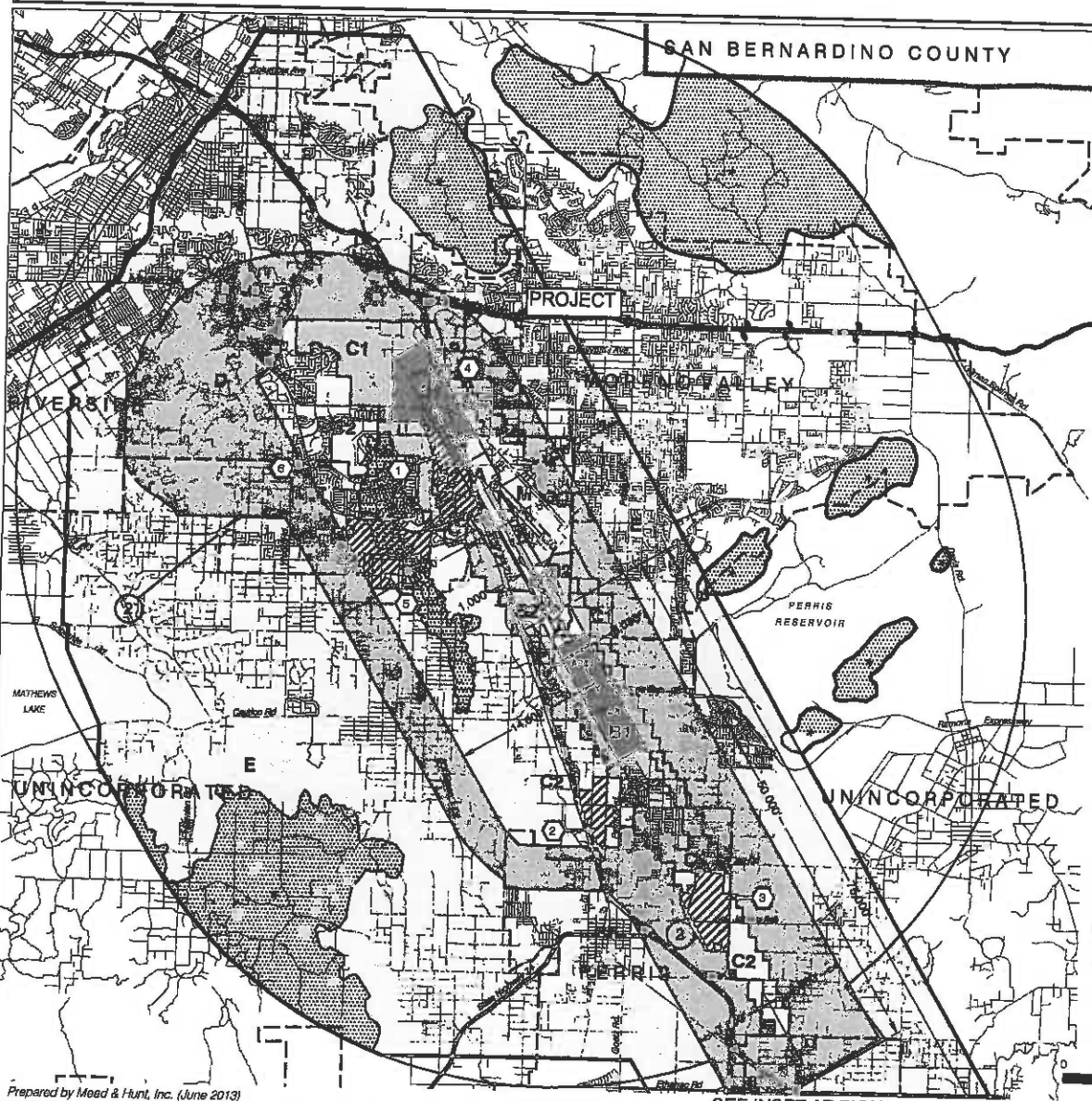
Attachments: Notice of Airport in Vicinity

cc: Fritz Duda Company, Paul Bernard (applicant/representative)
Dallas Plaza Partners, Ltd (Dallas office) (fee-payer)
Harold Beral (listed property owner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1347MA19\ZAP1347MA19.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

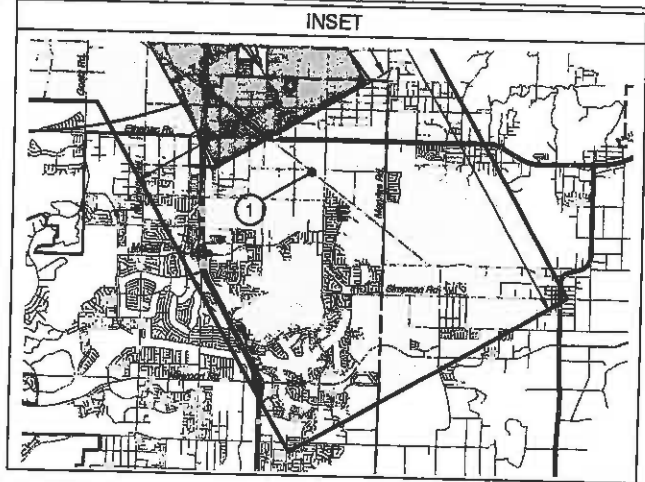
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:
All dimensions are measured from runway ends and centerlines.



Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)

Map MA-1
Compatibility Map
March Air Reserve Base / Inland Port Airport

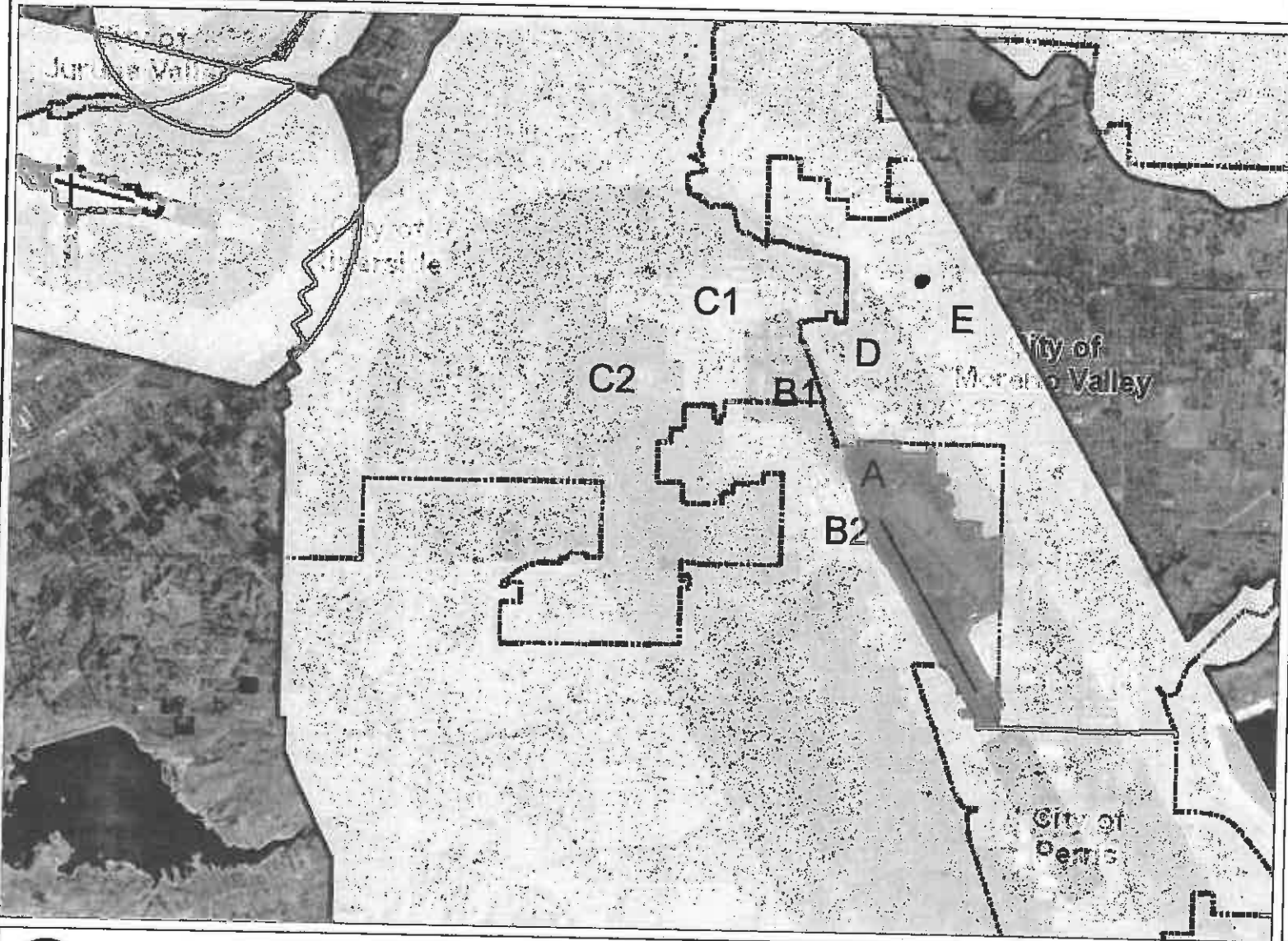
11/15/13 11:11 AM C:\GIS\Projects\MapMA-1\MapMA-1.aprx 10/16/14 1:52 PM

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Base map source: County of Riverside 2013

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones
 - ▨ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



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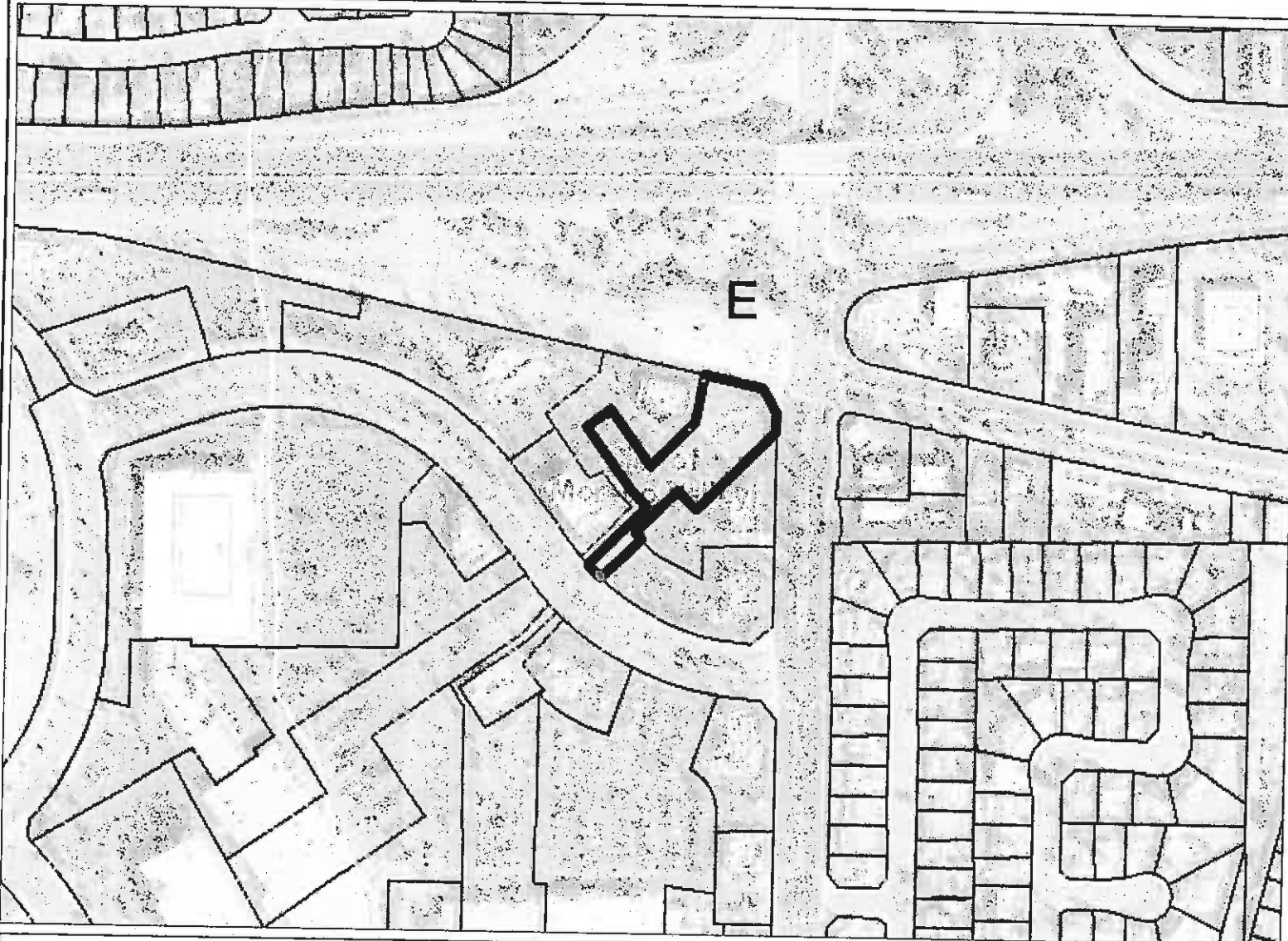
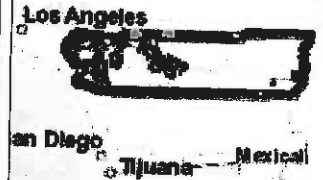


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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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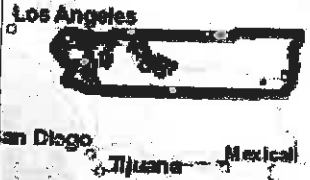
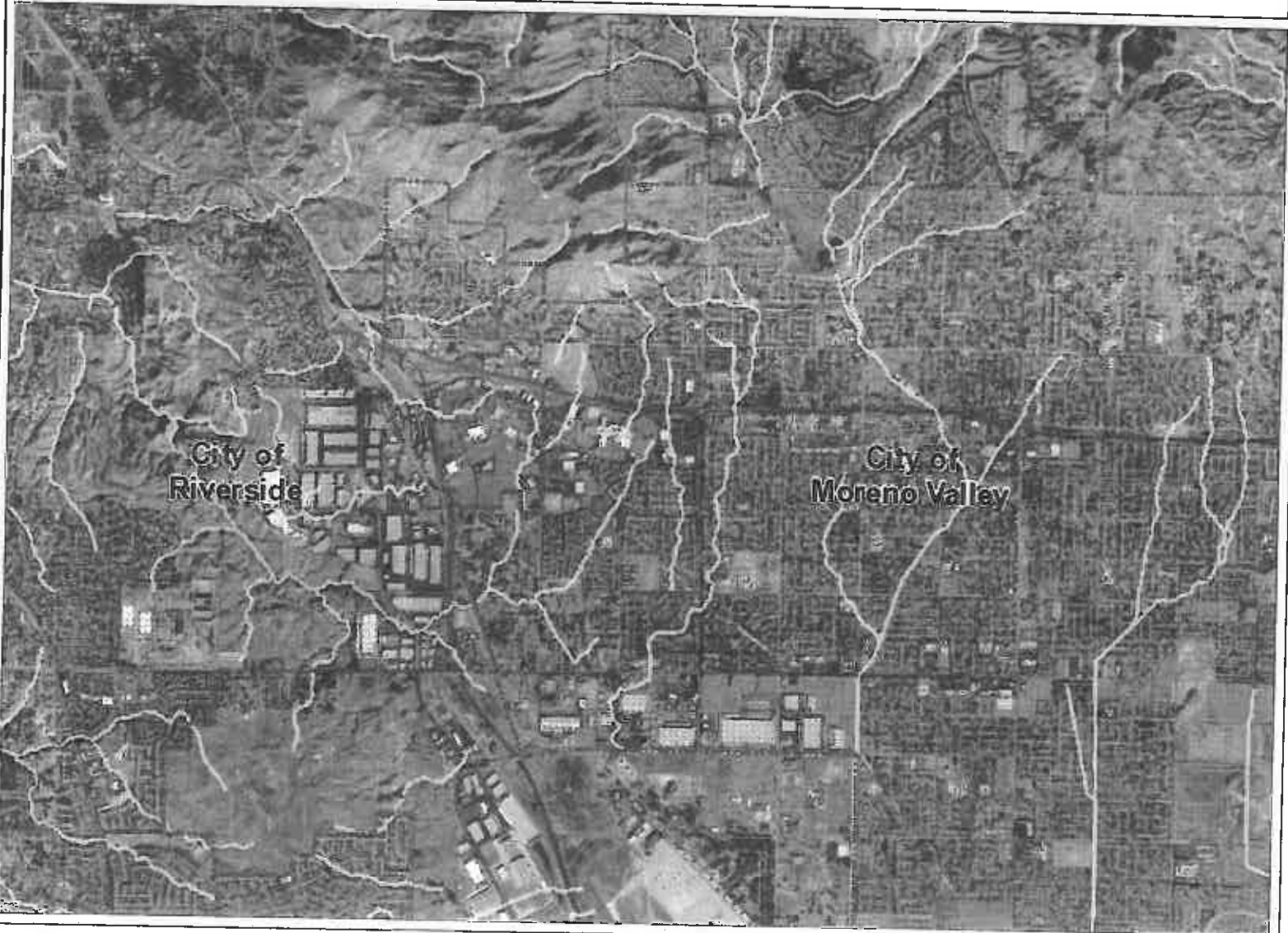
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Notes

Map My County Map



Legend

- Blue line Streams
- City Areas
- World Street Map



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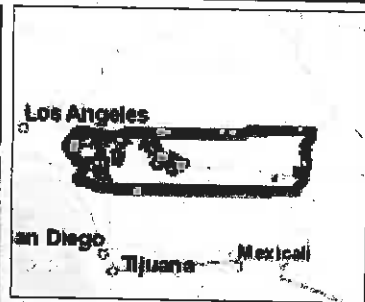


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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



0 1 3,032 Feet
516

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Notes

Map My County Map



Legend

-  Parcels
-  Blueline Streams
-  City Areas
-  World Street Map



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Notes

0 379 758 Feet

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PROJECT DESCRIPTION (PEN19-0004)
PROPOSED STARBUCK'S BUILDING
MORENO VALLEY, CALIFORNIA

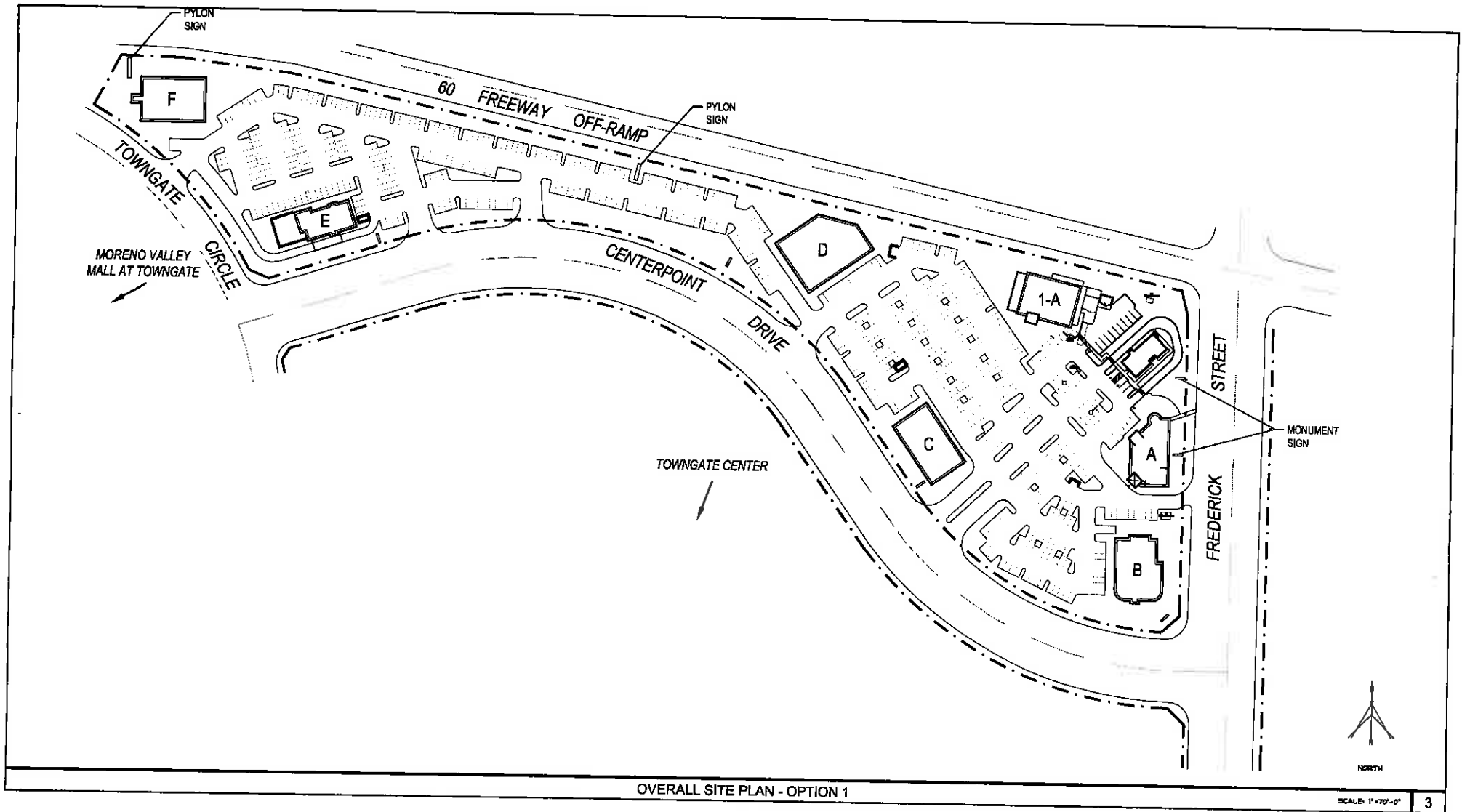
The attached information is for the development of a Starbucks drive-thru building at TownGate Plaza in Moreno Valley. TownGate Plaza is a shopping center in Moreno Valley, California comprised of primarily free standing retail buildings. TownGate Plaza is roughly 46,500 square feet and the Starbucks drive-thru would add roughly 2,145 square feet to the property.

The attached site plan shows the following existing buildings:

- A – Small retail stores
- 1-A – BJ's Restaurant
- B – Chilis
- C – Bank of America
- D – Macaroni Grill
- E – Carl's Jr.
- F – Outback Steakhouse

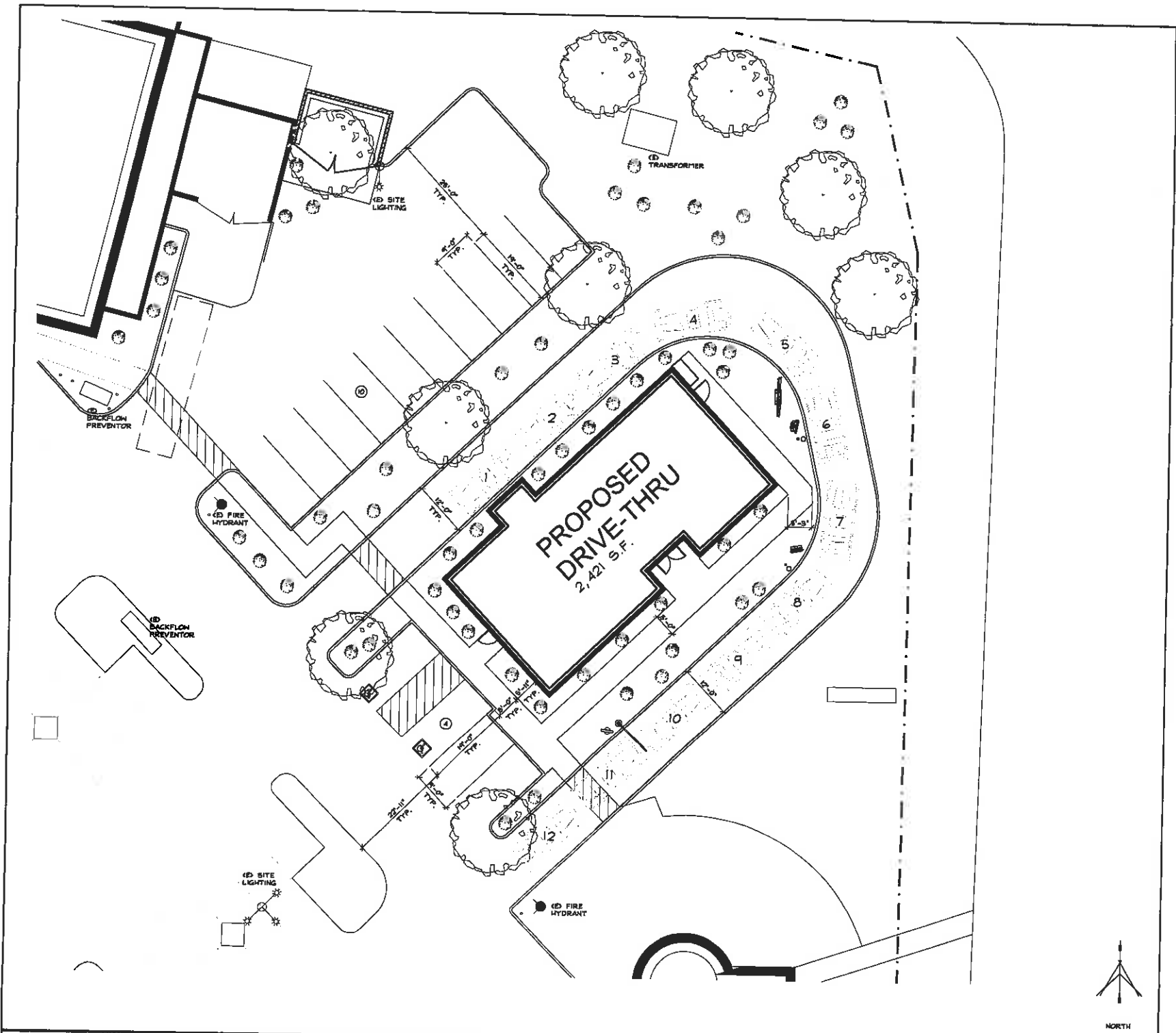
The new Starbuck's drive-thru will be located on the highlighted pad at the corner of Frederick and the 60 Freeway Off-ramp.

The Entitlement Package has been submitted to the City of Moreno Valley for review and approval.

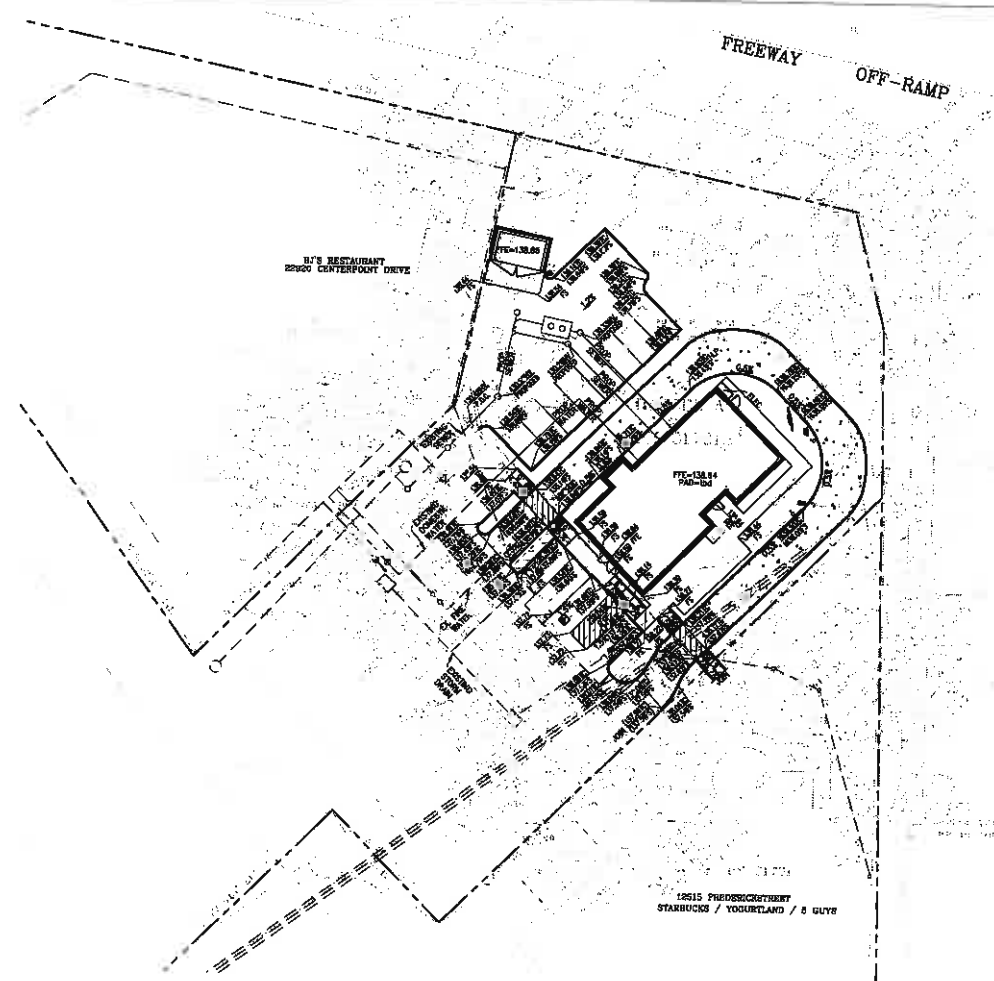


OVERALL SITE PLAN - OPTION 1

SCALE: 1"=70'-0"



PROPOSED SITE PLAN - OPTION 1



CIVIL ENGINEER & SURVEYOR

HADLEY & ASSOCIATES, INC.
8302 PITTSBURGH AVENUE, SUITE 230
RANCHO CUCUMBERA, CA 91729
PHONE: (909) 481-6222

BENCH MARK
CITY OF MORENO VALLEY B.M. NO. M-39-69
3" ALUMINUM CIRC STAMPED CITY OF MORENO VALLEY, M-39-69 RESET 1997,
AT THE SOUTHEAST CURB RETURN AT THE BOX AT THE INTERSECTION OF
FREDERICK STREET & SUNSHINE BOULEVARD.
ELEVATION = 1843.56' (1887 ADA)
EXPLAN: SITE ELEVATIONS + 1000 = SITE DESIGN ELEVATIONS

BASIS OF BEARINGS
THE CORNER OF "WALTER BOYD" WEST ON THE CENTERLINE OF
FREDERICK STREET, AS SHOWN ON PARCEL MAP NO. 30781, IN THE CITY
OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA,
WAS USED AS THE BASIS OF BEARINGS.

LEGAL DESCRIPTION
THE SUBJECT PROPERTY IS IN THE CITY OF MORENO VALLEY, COUNTY
OF RIVERSIDE STATE OF CALIFORNIA.
PARCEL 2 OF PARCEL MAP NO. 31781, ON FILE IN BOOK 21,
PAGES 8 AND 10 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY,
CALIFORNIA.
APR. 231-576-029.

LEGEND:
[Symbol] CONCRETE

**CONCEPTUAL
GRADING &
UTILITY PLAN**

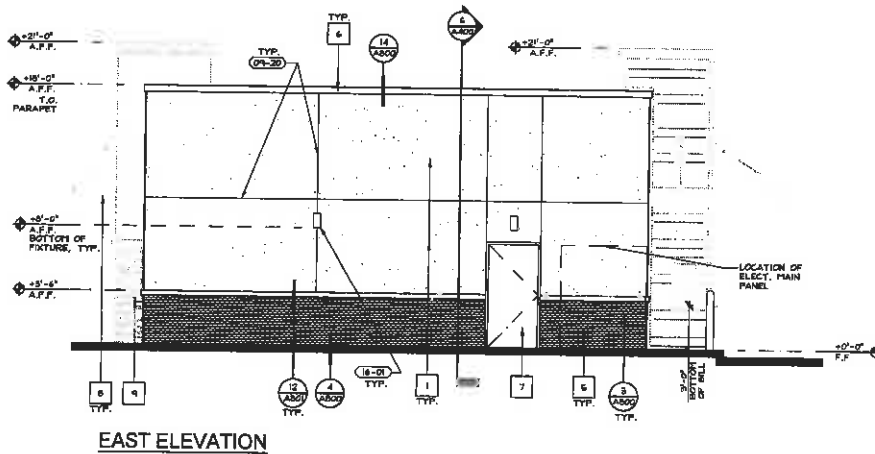
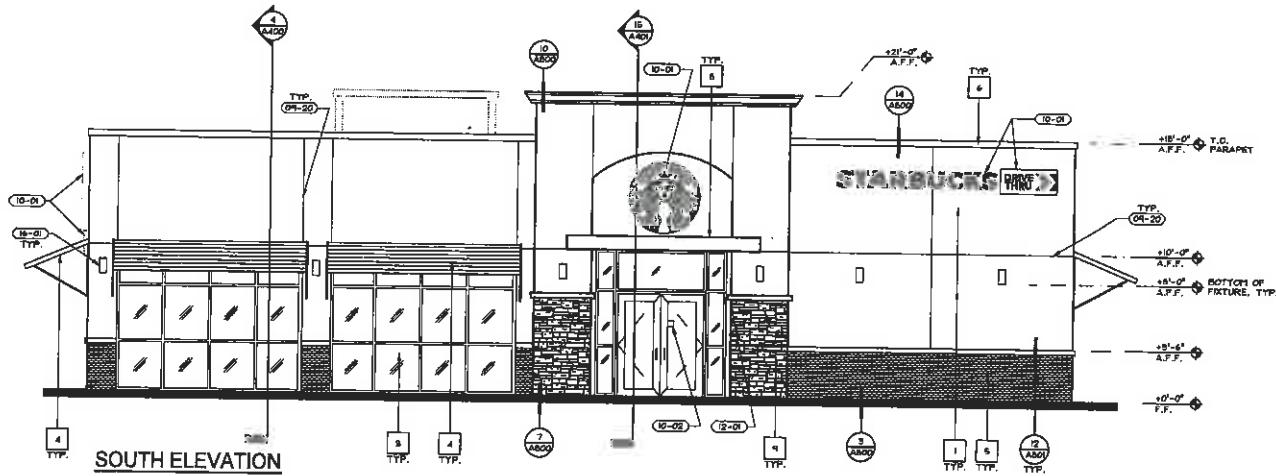
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Vermetfoort Architects, Inc.
Architecture and Planning
8322 South Gable Avenue
Suite 100
Trinity, California 91729
Office: 909.422.0744
Fax: 909.422.0741



**STARBUCKS
COFFEE**
12515 FREDERICK STREET
MORENO VALLEY, CALIFORNIA



ISSUE DATE:	12-05-18
REV. DATE:	
PROJECT NO.:	18005.16
DRAWN BY:	JE
SHEET:	C-1



- 04-20 FRY REVEAL, PGB-75-50.
- 10-01 BUILDING SIGNAGE, BY SEPARATE REVIEW & PERMIT.
- 10-02 5/8\"/>

KEYNOTES 1

KEY 2

KEY	MATERIAL	COLOR / FINISH
1	7/8\"/>	SHERWIN WILLIAMS #54 60% "PACER WHITE"
2	CORRUGATED METAL PANEL	ALCOA REYNOLDS 7.8\"/>
3	STOREFRONT & GLAZING	DARK BRONZE ANODIZED FRAMES & GLAZING TO BE CLEAR, NDI-TINTED, NON-REFLECTIVE, DOUBLE GLAZED
4	ACCENT PAINTING	COLOR TO MATCH 2
5	THIN BRICK VENEER	ARTO 2x8 STANDARD, COLOR "COTTO DARK", GROUT: CUSTOM BUILDING PRODUCTS #108 EARTH
6	PARAPET CAP FLASHING	PAINTED TO MATCH 2
7	MISC. METALS	PAINTED TO MATCH 1
8	METAL CANOPY	COLOR TO MATCH 2
9	STONE VENEER	ELDORADO STONE - MOUNTAIN LEDGE PROFILE, "SERRA"

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 Architecture and Planning
 8525 North Cedar Avenue, Suite 100
 Fresno, California 93720
 Office: 559.432.2744
 Fax: 559.432.0715



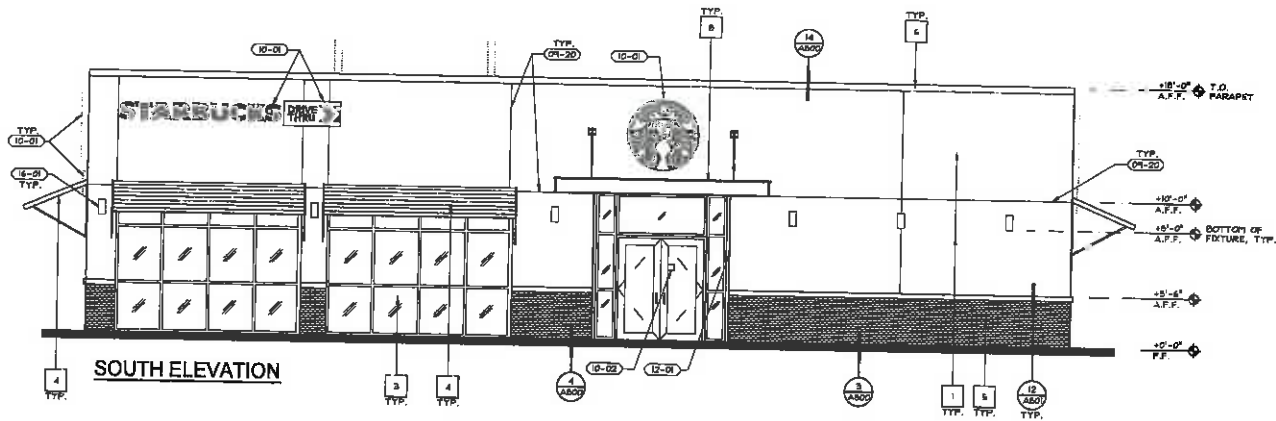
STARBUCKS COFFEE
 S.E. CORNER OF GREEN VALLEY PARK &
 RIVER ISLAND PKWY., LATHROP, CALIFORNIA
 EXTERIOR ELEVATIONS

STARBUCKS COFFEE
 S.E. CORNER OF GREEN VALLEY PARK &
 RIVER ISLAND PKWY., LATHROP, CALIFORNIA
 EXTERIOR ELEVATIONS

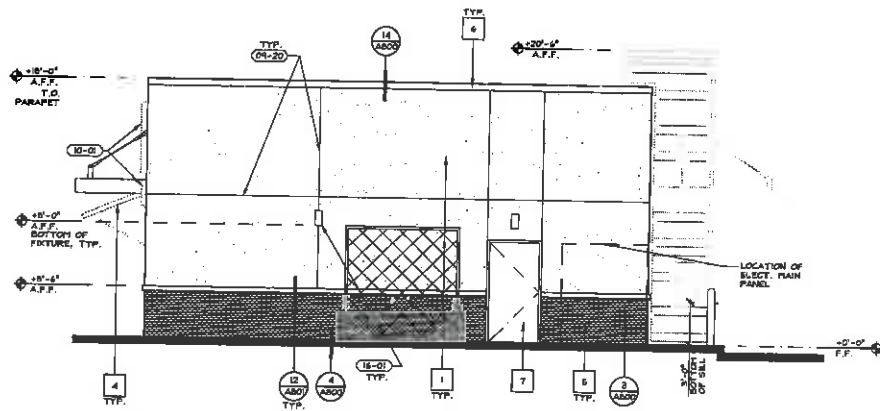


ISSUE DATE: 7-26-16
 REV. DATE:
 PROJECT NO.: 16006-A
 DRAWN BY: RRS
 SHEET:

A300



SOUTH ELEVATION



EAST ELEVATION

- (01-20) FRY REVEAL, PCS-76-60.
- (10-01) BUILDING SIGNAGE, BY SEPARATE REVIEW & PERMIT.
- (10-02) 5/16" SYMBOL OF ACCESSIBILITY, MOUNTED @ 446 A.F.F.
- (12-01) KNOX BOX BRAND KEY BOX, TOP OF BOX TO BE NO HIGHER THAN @ 46'-0" A.F.F.
- (16-01) EXTERIOR LIGHTING, SEE ELEC. DRAWINGS.

KEYNOTES

KEY	MATERIAL	COLOR / FINISH
1	7/8" EXTERIOR CEMENT PLASTER, ELASTOMERIC TOP COAT - FIELD	SHERWIN WILLIAMS' #54 #08 "PACER WHITE"
3	STOREFRONT GLAZING	DARK BRONZE ANODIZED FRAMES & GLAZING TO BE CLEAR, NON-TINTED, NON-REFLECTIVE, DOUBLE GLAZED
4	ACCENT FINISH	COLOR TO MATCH 2
5	THIN BRICK VENEER	ARTO 318 STANDARD, COLOR "COTTED DARK", GROUT: CUSTOM BUILDING PRODUCTS #08 SARTH
6	PARAPET CAP FLASHING	PAINTED TO MATCH 2
7	MISC. METALS	PAINTED TO MATCH 1
8	METAL CANOPY	COLOR TO MATCH 2

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 Vermillion Architecture and Planning
 8525 North Cedar Avenue, Suite 106
 Fresno, California 93720
 Office: 559.433.6744
 Fax: 559.432.6745



STARBUCKS COFFEE
 S.E. CORNER OF WARD AVE. & LAS PALMAS AVE.
 PATERSON, CALIFORNIA
 EXTERIOR ELEVATIONS



ISSUE DATE: 7-4-18
 REV. DATE:
 PROJECT NO: 18008.1
 DRAWN BY: RB
 SHEET:

A300

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

February 14, 2019

CHAIR
Steve Manos
Lake Elsinore

VICE CHAIR
Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Ruff
Barbara Santos

County Administrative Center
4080 Larron St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Mr. H.P. Kang, Principal Planner
City of Hemet Community Development Department – Planning Division
445 E. Florida Avenue
Hemet CA 92543

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1059HR19
Related File No.: CUP19-001 (Conditional Use Permit)
APN: 456-010-010

Dear Mr. Kang:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Hemet Case No. CUP19-001 (Conditional Use Permit), a proposal to establish a 70 foot tall mono-eucalyptus wireless communication facility including a 600 square foot equipment shelter area on a 7.48 acre parcel located at 150 Auto Mall Drive, southerly of Florida Avenue, easterly of Warren Road, and northerly of Whittier Avenue.

The site is located within Airport Compatibility Zone E of the Hemet-Ryan Airport Influence Area (AIA). Zone E does not restrict non-residential intensity. The proposed wireless communication facility will not create any significant occupancy.

The elevation of Runway 5-23 at its existing southwesterly terminus is approximately 1,508 feet above mean sea level (AMSL). At a distance of approximately 2,400 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1,532 feet AMSL. The elevation of the project site is 1,507 feet AMSL, and the proposed structure is 70 feet, for a maximum top point elevation of 1,577 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons was required. The applicant submitted Form 7460-1 to the Federal Aviation Administration Obstruction Evaluation Service (FAA OES), and a Determination of No Hazard to Air Navigation letter for Aeronautical Study No. 2018-AWP-17920-OE was issued on February 6, 2019. The study revealed that the proposed structure would not exceed obstruction standards and would not be a hazard to air navigation provided conditions are met. These FAA OES conditions have been incorporated into this finding.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, provided that the City of Hemet applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property.
4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The Federal Aviation Administration has conducted an aeronautical study of the proposed structure (Aeronautical Study No. 2018-AWP-17920-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 2 and shall be maintained in accordance therewith for the life of the project.
6. The maximum height of the proposed structure to top point shall not exceed 70 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 1,577 feet above mean sea level.

AIRPORT LAND USE COMMISSION

7. The specific coordinates, height, and top point elevation of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
8. Temporary construction equipment used during actual construction of the structure shall not exceed 70 feet in height and a maximum elevation of 1,577 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
9. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the structure.

If you have any questions, please contact Paul Rull, ALUC Principal Planner at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachment: Notice of Airport in Vicinity
Aeronautical Study Number No. 2018-AWP-17920-OE

cc: AT&T (applicant)
Anthony Hughes, Smartlink, LLC (Von Karman address) (representative)
Tyler Kent, Smartlink, LLC (Newport Beach address) (representative)
Smartlink, LLC (Annapolis, MD address) (fee-payer)
Eric Gosch (property owner)
J. & G. Gosch, c/o Jack Gosch (additional property owner)
Vincent Yzaguirre, Riverside County Economic Development Agency – Aviation
Liliana Valle, Riverside County Economic Development Agency - Aviation
ALUC Case File

Y:\AIRPORT CASE FILES\Hemet-Ryan\ZAP1059HR19\ZAP1059HR19.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2018-AWP-17920-OE

Issued Date: 02/06/2019

Robert P Walters
 AT&T Mobility (JO)
 208 S Akard St.
 1014.08
 Dallas, TX 75202

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole CSL00252 (273132)
 Location: Hemet, CA
 Latitude: 33-44-17.91N NAD 83
 Longitude: 117-01-46.98W
 Heights: 1507 feet site elevation (SE)
 70 feet above ground level (AGL)
 1577 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 2.

This determination expires on 08/06/2020 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (424) 405-7643, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AWP-17920-OE.

Signature Control No: 391745247-395759187
Karen McDonald
Specialist

(DNE)

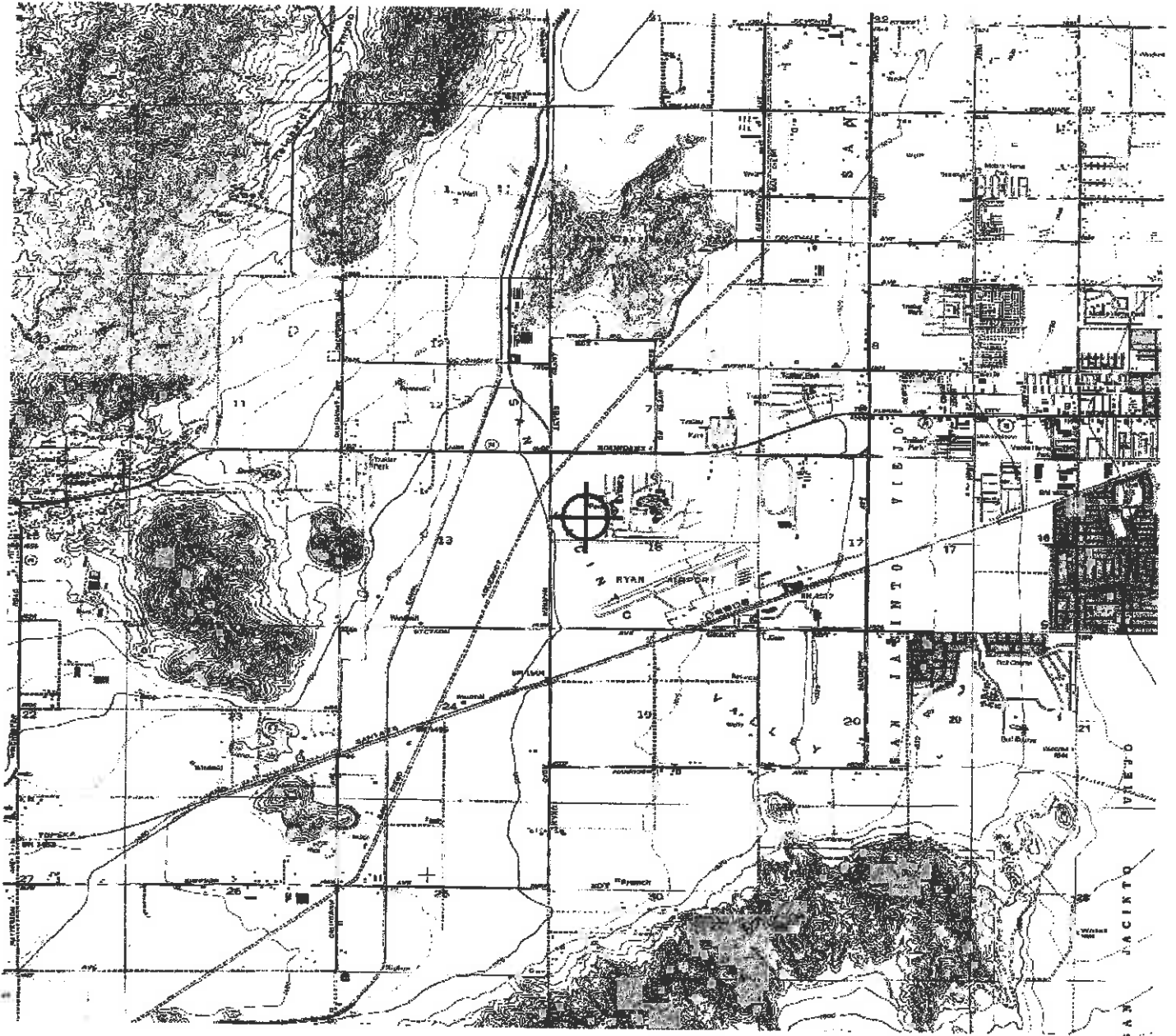
Attachment(s)
Frequency Data
Map(s)

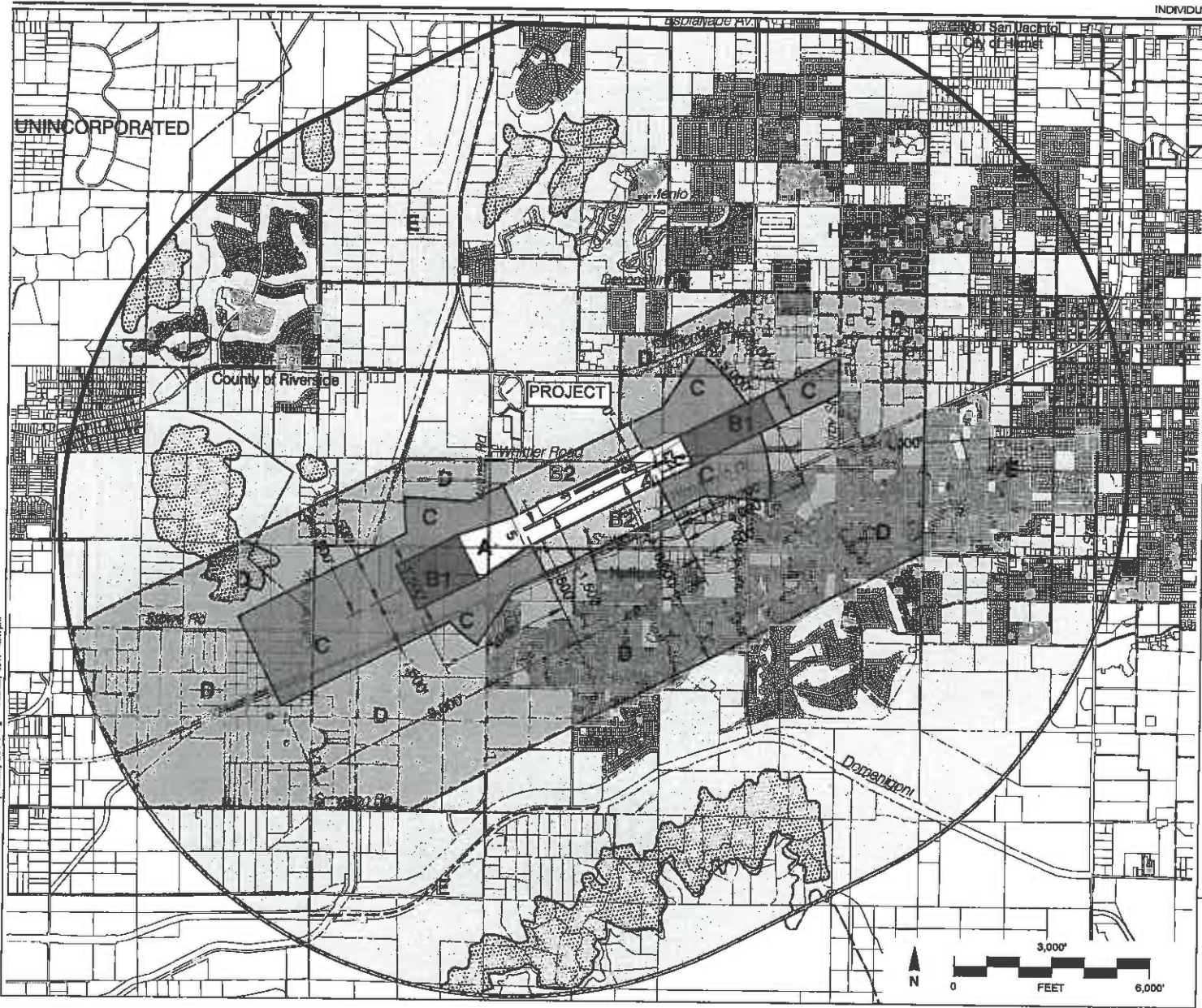
cc: FCC

Frequency Data for ASN 2018-AWP-17920-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

TOPO Map for ASN 2018-AWP-17920-OE





Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits
 - City Sphere of Influence

Note
 Airport Influence Area boundary measured from a point 200 feet beyond ends of proposed future 4,815 foot runway in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from ends and centerlines of existing 4,315 foot runway.

Riverside County
 Airport Land Use Commission
Hemet-Ryan Airport
Land Use Compatibility Plan
 (Adopted February 9, 2017)

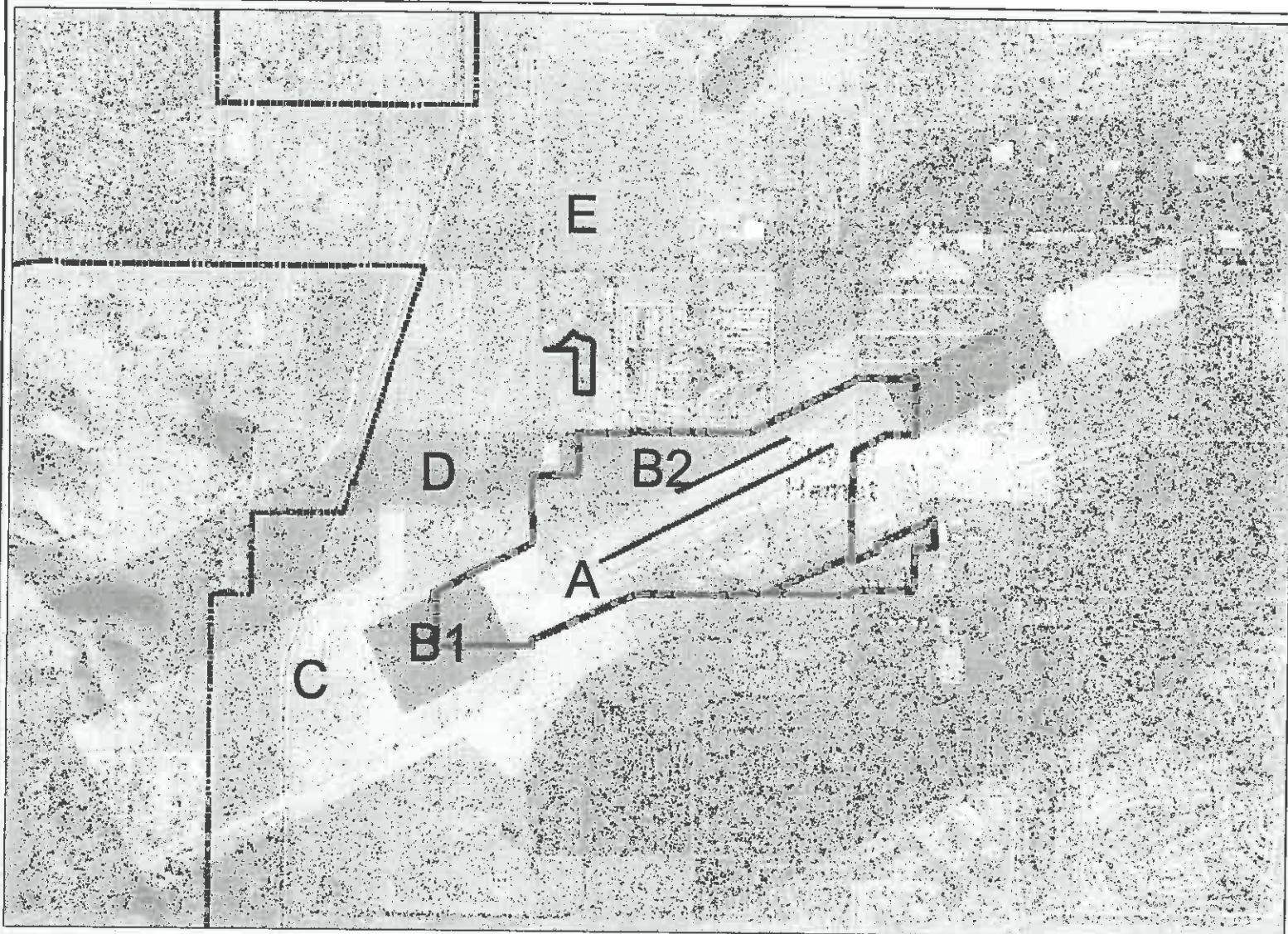
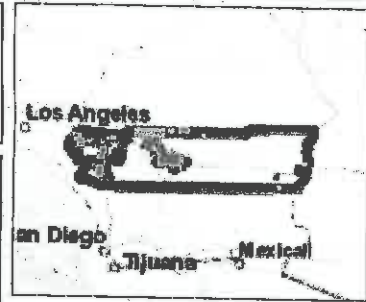
Map HR-1

Compatibility Map
 Hemet-Ryan Airport

X:\1619101\11\1282201\TECH\CD\HMT-Compat\Library 2017.dwg Feb 05, 2017 - 4:47pm





Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones
 - ▨ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6

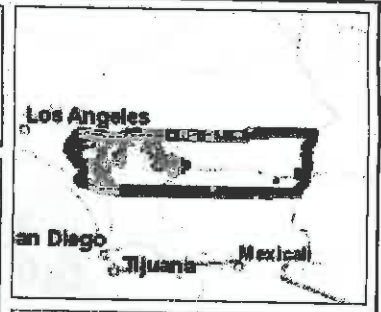
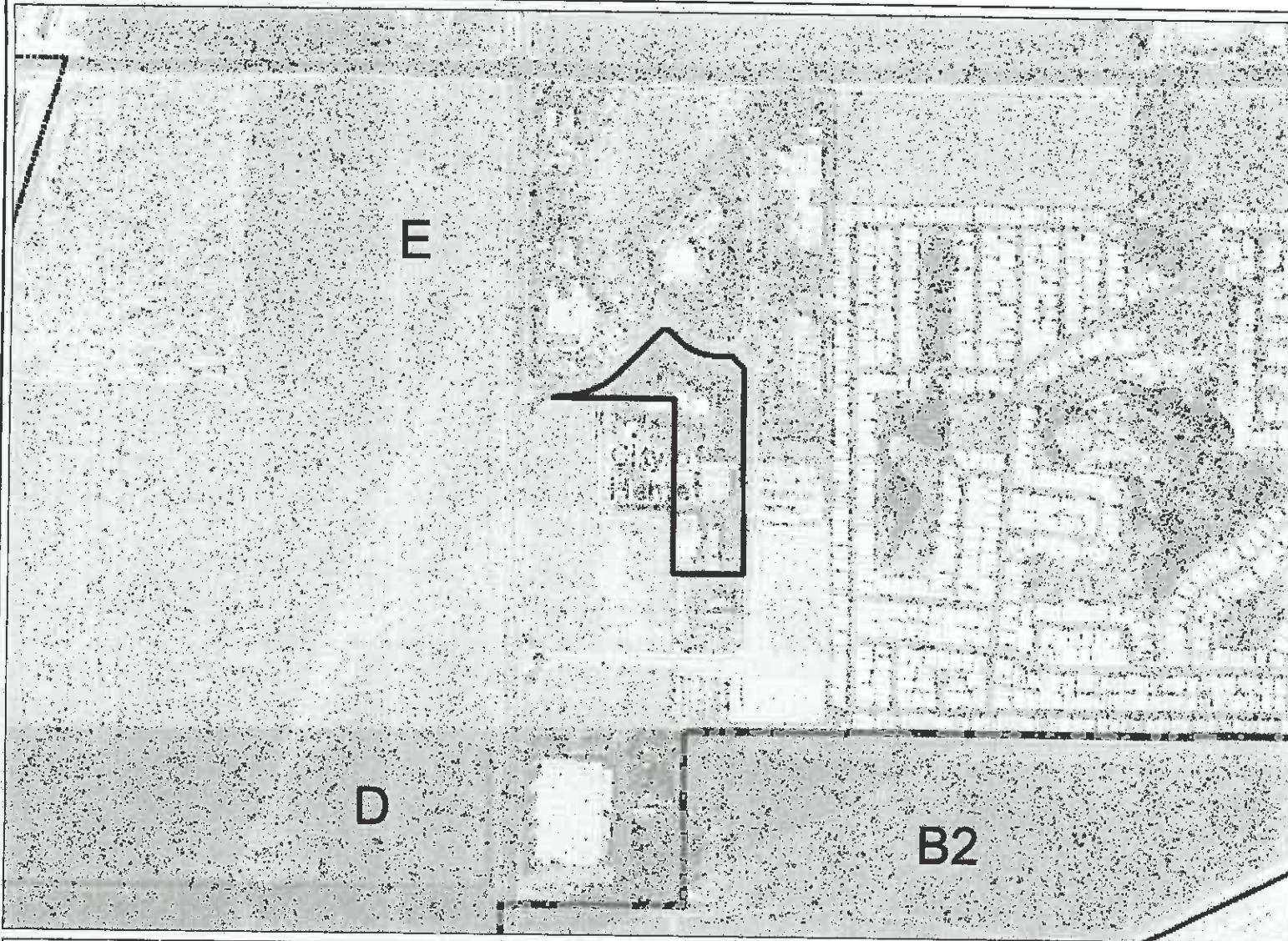
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032

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Notes

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - ▨ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



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Notes

Map My County Map



- Legend**
- Blueline Streams
 - City Areas
 - World Street Map



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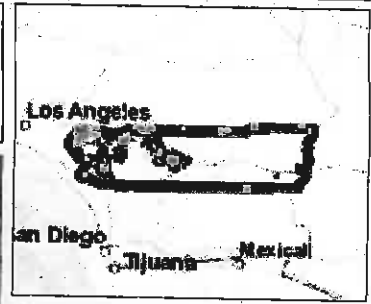
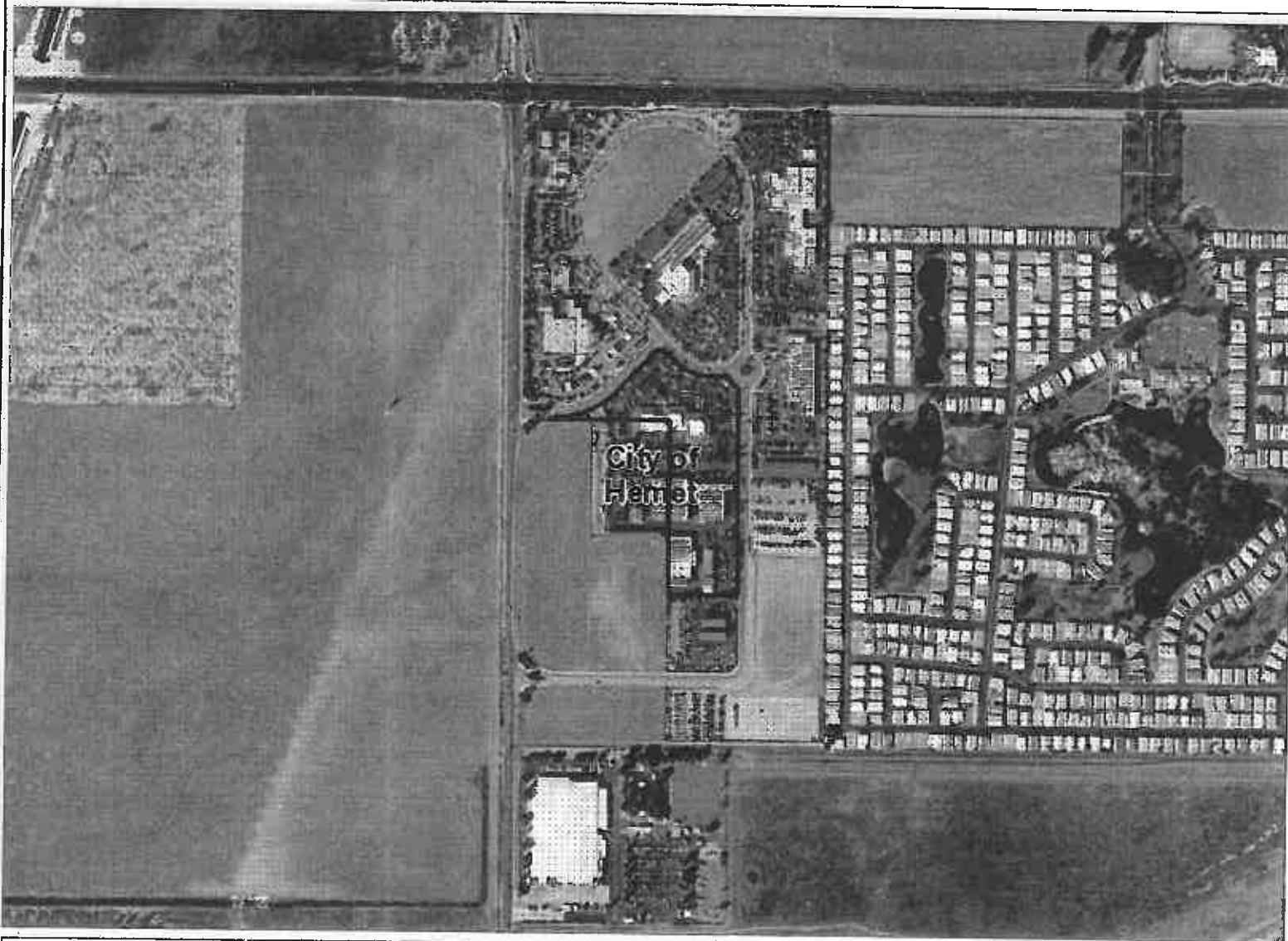


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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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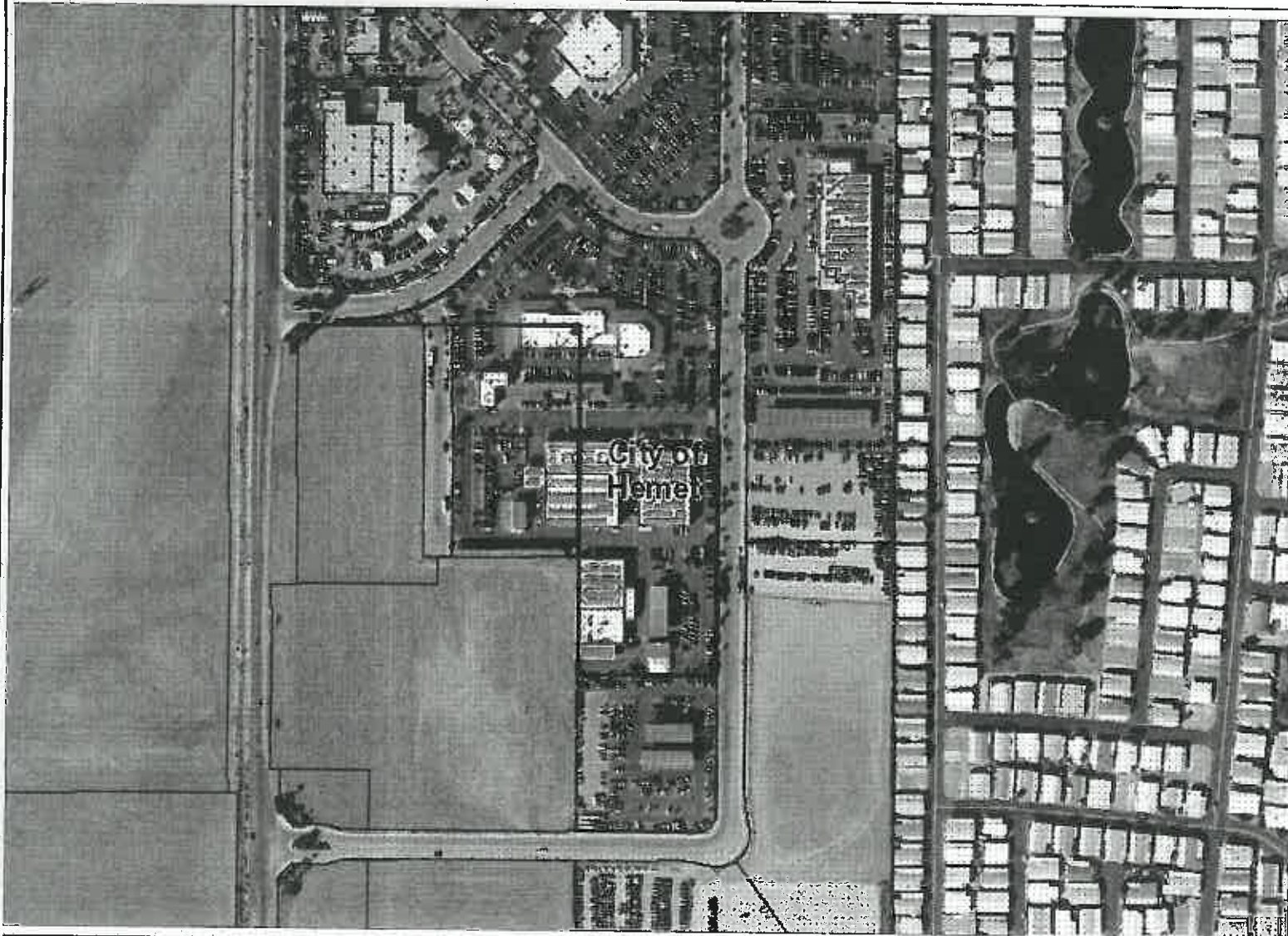
Notes

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Map My County Map



Legend

-  Parcels
-  BlueLine Streams
-  City Areas
-  World Street Map



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Notes

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CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PREVENT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 1. 2014 CALIFORNIA BUILDING CODE
- 2. 2014 CALIFORNIA ELECTRICAL CODE
- 3. 2014 CALIFORNIA FIRE CODE
- 4. 2014 CALIFORNIA MECHANICAL CODE
- 5. 2014 CALIFORNIA PLUMBING CODE
- 6. 2014 CALIFORNIA ENERGY CODE
- 7. COUNTY COASTAL ZONE LAND USE ORDINANCE TITLE 22
- 8. COUNTY FIRE CODE ORDINANCE - TITLE 16
- 9. COUNTY LAND USE ORDINANCE - TITLE 22
- 10. COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 10

PROJECT TEAM

CLIENT REPRESENTATIVE

COMPANY: SMARTLINK LLC
 ADDRESS: 18401 VON KARMAN AVE, SUITE 400
 IRVINE, CA 92612
 CONTACT: ALEX HALEY
 PHONE: (949) 838-7213
 EMAIL: AHaley@smartlink.com

CONSTRUCTION MANAGER

COMPANY: 36078 OCEAN BLDG INC.
 ADDRESS: 180 SAN ANTONIO AVE SUITE 225
 TUSTIN, CA 92780
 CONTACT: ANDREW HOLLEMAN
 PHONE: (714) 345-0631
 EMAIL: rhollema@36078.com

SITE ACQUISITION

COMPANY: SMARTLINK LLC
 ADDRESS: 18401 VON KARMAN AVE, SUITE 400
 IRVINE, CA 92612
 CONTACT: ALEX HALEY
 PHONE: (949) 838-7213
 EMAIL: AHaley@smartlink.com

ATT PROJECT MANAGER

COMPANY: AT&T
 ADDRESS: 1452 EDINGER AVE
 TUSTIN, CA 92780
 CONTACT: ANDREW HOLLEMAN
 PHONE: (714) 886-7112
 EMAIL: aholl@att.com

ZONING

COMPANY: SMARTLINK LLC
 ADDRESS: 18401 VON KARMAN AVE, SUITE 400
 IRVINE, CA 92612
 CONTACT: TYLER HUNT
 PHONE: (949) 771-0444
 EMAIL: THunt@smartlink.com

APPLICANT

COMPANY: AT&T
 ADDRESS: 1452 EDINGER AVE
 TUSTIN, CA 92780
 CONTACT: ANDREW HOLLEMAN
 PHONE: (714) 886-7112
 EMAIL: aholl@att.com

ENGINEER

COMPANY: CASA INDUSTRIES, INC.
 ADDRESS: 8920 PIONEER BLVD, #105
 SANTA FE SPRINGS, CA 90670
 CONTACT: JALUIS SANTIAGO
 PHONE: (714) 858-8800
 EMAIL: JSANTIAGO@CASAINC.COM

RF ENGINEER

COMPANY: AT&T
 ADDRESS: 1452 EDINGER AVE
 TUSTIN, CA 92780
 CONTACT: HARSHESH KALIDAR
 PHONE: (949) 838-7213
 EMAIL: MKR92@att.com

SITE INFORMATION

APPLICANT / LESSEE

AT&T
 Your world. Delivered
 1452 EDINGER AVE, 3RD FLOOR
 TUSTIN, CALIFORNIA 92780

PROPERTY OWNER

NAME: ERIC GOSCH
 ADDRESS: 150 AUTO MALL DR
 HEMET, CA 92343
 CONTACT: ERIC GOSCH
 PHONE: (951) 958-4881
 EMAIL: egosch@csdnet.net

LATITUDE: 33° 44' 18.2" (N) (308811) N
 LONGITUDE: 117° 07' 47.0" (W) (117.1298822) W
 NAD: 83
 70' M.S.L.
 1512' A.C.L.
 458' O.D.G.
 690' S.O.P.
 CITY OF HEMET
 00
 UNIMATED TELECOMMUNICATIONS FACILITY
 FACILITY IS UNIMATED AND NOT FOR HUMAN
 HABITATION. HANDICAPPED ACCESS NOT REQUIRED



AT&T

Your world. Delivered

SITE NUMBER: CSL00252

SITE NAME: GOSCH

FA NUMBER: 13024085

USID: 219917

150 AUTO MALL DR.

HEMET, CA 92545

RIVERSIDE COUNTY

VICINITY MAP



LOCAL MAP



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:

HEAD NORTHWEST TOWARD AT&T, TURN LEFT TOWARD AT&T, TURN RIGHT ONTO AT&T, TURN LEFT ONTO EDINGER AVE, USE THE LEFT 2 LANES TO TURN LEFT ONTO DEL AVE AND AVE, USE THE RIGHT 2 LANES TO TAKE THE RAMP ONTO CA-55 N/S STATE RTE 55 N, MERGE ONTO CA-55 N/S STATE RTE 55 N, MERGE ONTO CA-41 E, USE THE RIGHT 2 LANES TO TAKE EXIT 65 S FOR CA-80 E/A-215 S TOWARD SMI MTRD/BROD, MERGE ONTO CA-80 E, CONTINUE ONTO CA-80 E/A-215 S, KEEP RIGHT AT THE FORK TO STAY ON I-215 S, FOLLOW SIGN FOR INTERSTATE 215 S/SH OCEA, TAKE EXIT 15 FOR CA-74 E TOWARD HEMET, CONTINUE ONTO CA-74 E, TURN RIGHT ONTO WARREN RD, TURN LEFT ONTO AUTO MALL DR.

LEGAL DESCRIPTION

SEE LS-1



APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

DISCIPLINE	SIGNATURE	DATE
AT&T RF ENGINEER		
AT&T OPERATIONS		
SITE ACQUISITION		
CONSTRUCTION MANAGER		
PROPERTY OWNER		
ZONING VENDOR		
PROJECT MANAGER		

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS
 SUBCONTRACTOR SHALL VERIFY ALL PLANS & DISTINGUISH DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

GENERAL NOTES

THE FACILITY IS UNIMATED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON NEIGHBORS. NO HAZARDOUS WASTE SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SERVICE IS PROPOSED.

PROJECT DESCRIPTION

THE SCOPE WILL CONSIST OF THE FOLLOWING:

- INSTALL 1 (1) 10'-0" HIGH MONO-EUCALYPTUS.
- INSTALL 1 (1) 6'-0" X 8'-0" A.C.L. ON METAL PIER.
- INSTALL 1 (1) 6' HIGH E.L. FENCE WITH VINYL SLATS.
- INSTALL 1 (1) POWER GENERATOR.
- INSTALL 1 (1) DC POWER PLANT.
- INSTALL 2 (2) FE PILES.
- INSTALL 1 (1) GPS ANTENNA.
- INSTALL (1) UTILITY CHIMNEY.
- INSTALL (1) TELCO BOND.
- INSTALL 12 (12) 8' PANEL ANTENNAS (4 PER SECTION).
- INSTALL 38 (38) LTE RIGS AT ANTENNA LEVEL (12 PER SECTION).
- INSTALL 1 (1) 2' x 8' AN ANTENNA.
- INSTALL 8 (8) DC-6 SURGE SUPPRESSORS (SMD).
- TOTAL LEASE AREA = 600 SQ.FT.

DRAWING INDEX

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
LS-1	RTE SURVEY
LS-2	SITE SURVEY
A-1	SITE PLAN AND ENLARGED SITE PLAN
A-2	LEASER AREA/ANTENNA PLAN AND ANTENNA/RIG SCHEDULE
A-3	ELEVATIONS
A-4	ELEVATIONS



THE INFORMATION COVERED IN THE SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T. NO REUSE OR DISSEMINATION OF THIS INFORMATION IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF AT&T. ANY USE OR DISSEMINATION OTHER THAN AS INTENDED IS STRICTLY PROHIBITED.



REV.	DATE	DESCRIPTION
0	10/04/16	ISSUE ZONING PERMITS
A	10/25/18	ISSUE ZONING PERMITS

NOT TO BE USED FOR CONSTRUCTION

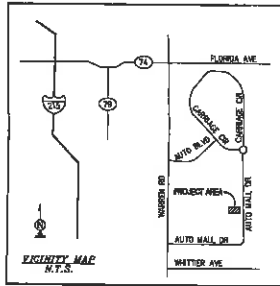
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE NOTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CSL00252
 GOSCH
 150 AUTO MALL DR.
 HEMET, CA 92545
 MONO-EUCALYPTUS (INDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
 TITLE SHEET

SHEET NUMBER: T-1
 REV.: 0



POSITION OF GEODETIC COORDINATES
 LATITUDE 33° 44' 13.91" (33.738309) NORTH (NAD83)
 LONGITUDE 117° 01' 46.93" (117.029703) WEST (NAD83)
 GROUND ELEVATION @ 1306.2' (NAVD88)

SURVEY DATE
 09/15/2018

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE 5K, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NOS GEOID 128" MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'CALMRS' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

GRID-TO-GROUND SCALE FACTOR NOTE

ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA ZONE 5K STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99991128

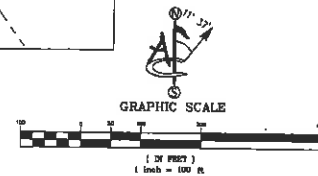
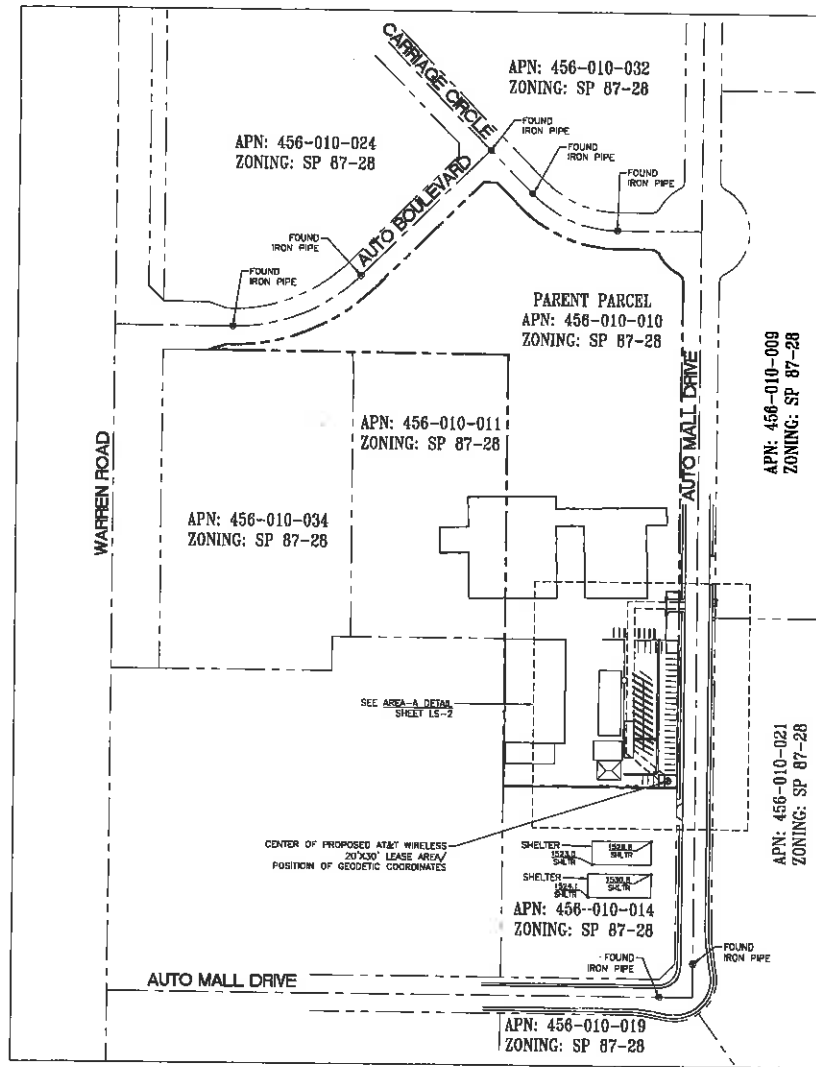
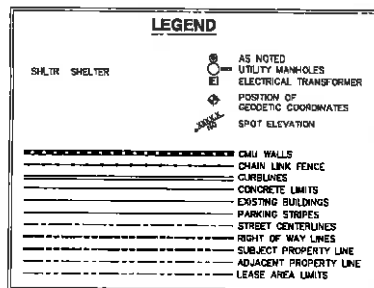
FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X", ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #60605C0066, DATED 08/28/2008

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

LESSOR'S LEGAL DESCRIPTION
 TO BE PROVIDED BY TITLE.



OVERALL DETAIL



12900 PARK PLAZA DRIVE
 CERRITOS, CA 90703



ambit consulting
 428 MAIN STREET SUITE 206
 HUNTINGTON BEACH, CALIFORNIA 92648
 PH: (408) 638-4072



10660 REAGAN ST. #482
 LOS ALAMITOS, CALIFORNIA 90720

REV	DATE	DESCRIPTION	BY
A	08/21/18	PRELIM	BC

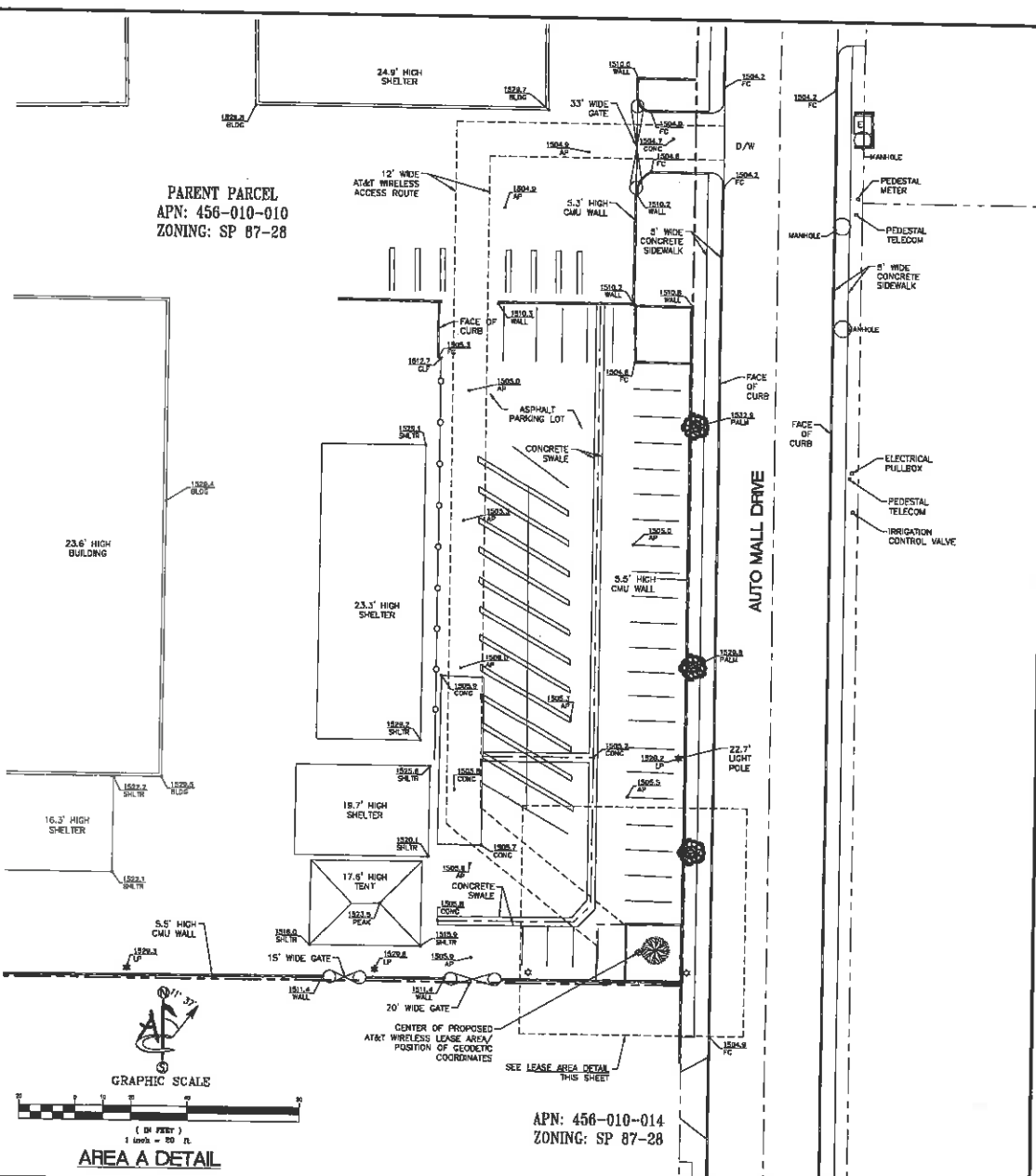
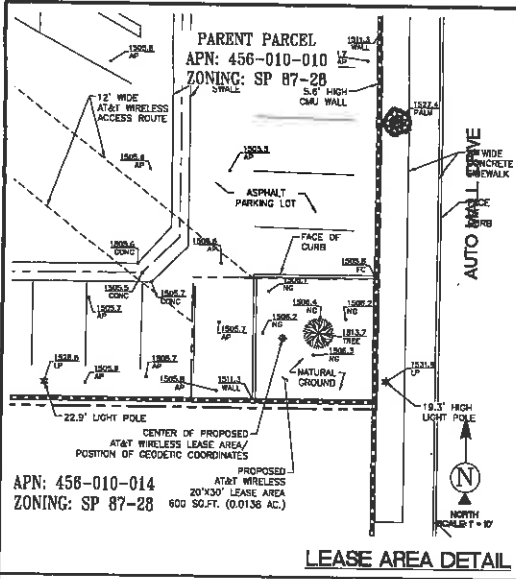
**PRELIMINARY
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 FOR CONSTRUCTION**

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CSL00252
 150 CARRIAGE CIR.
 HEMET, CA 92545

SHEET TITLE
SITE SURVEY

SHEET NUMBER
LS-1



LEGEND

AP	ASPHALT	○	UTILITY MANHOLES
BLDG	TOP OF BUILDING	□	ELECTRICAL TRANSFORMER
CLF	CHAIN LINK FENCE	◇	POSITION OF GEODETIC COORDINATES
CMU	CONCRETE MASONRY UNIT	●	SPOT ELEVATION
CONC	EDGE OF CONCRETE		
D/W	ACCESS DRIVEWAY		
FC	FACE OF CURB		
LP	LIGHT POLE		
NG	NATURAL GRADE		
WALL	TOP OF WALL		
●	TREES		
⊙	PALM TREES		
---	CMU WALLS		
---	CHAIN LINK FENCE		
---	CURBLINES		
---	CONCRETE LIMITS		
---	EXISTING BUILDINGS		
---	PARKING STRIPES		
---	STREET CENTERLINES		
---	RIGHT OF WAY LINES		
---	SUBJECT PROPERTY LINE		
---	ADJACENT PROPERTY LINE		
---	LEASE AREA LIMITS		

12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

428 MAIN STREET SUITE 205
HUNTINGTON BEACH, CALIFORNIA 92646
PH: (714) 639-6072

10650 REAGAN ST., #482
LOS ALAMITOS, CALIFORNIA 90720

REV	DATE	DESCRIPTION	BY
A	09/21/18	PRELIM	ES

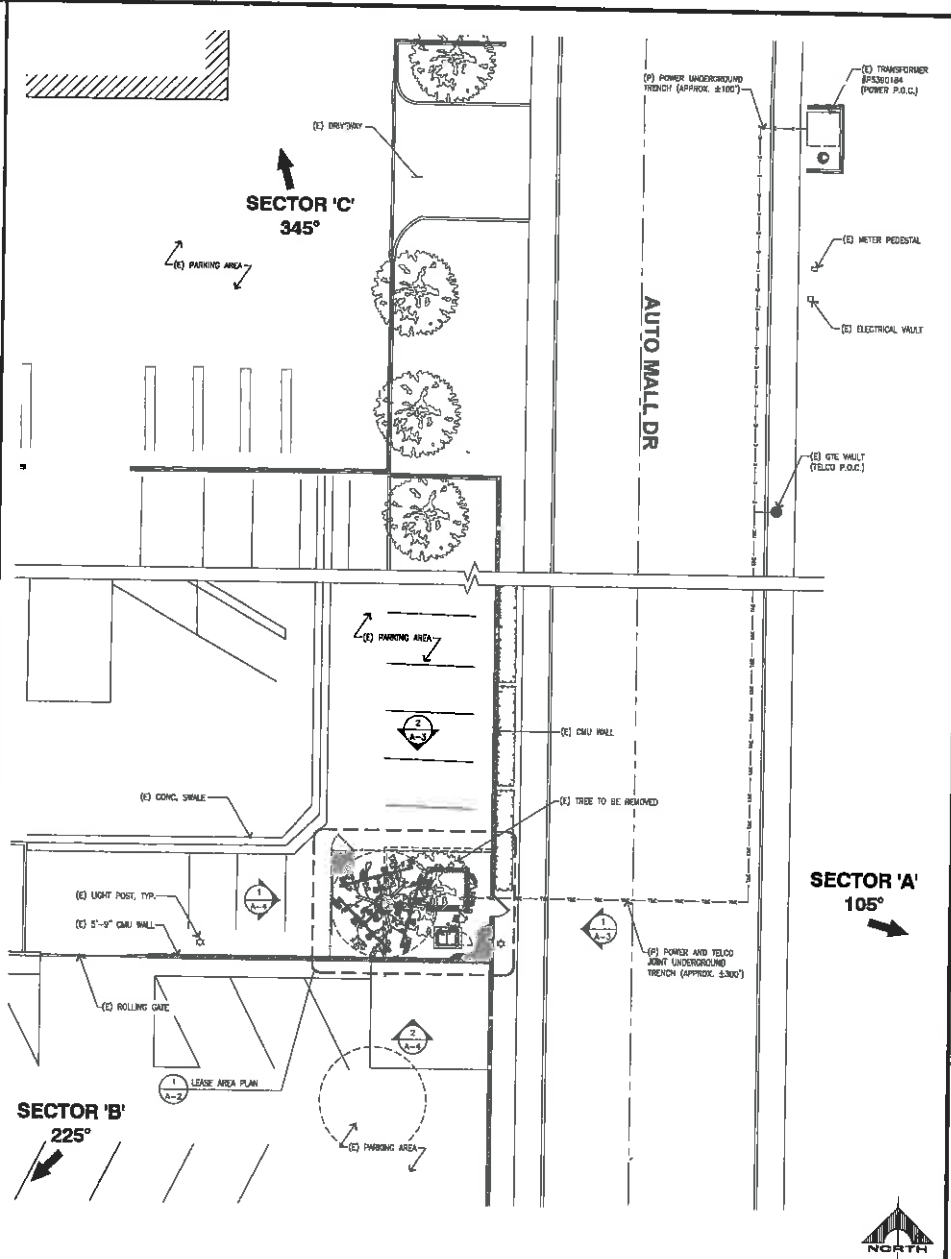
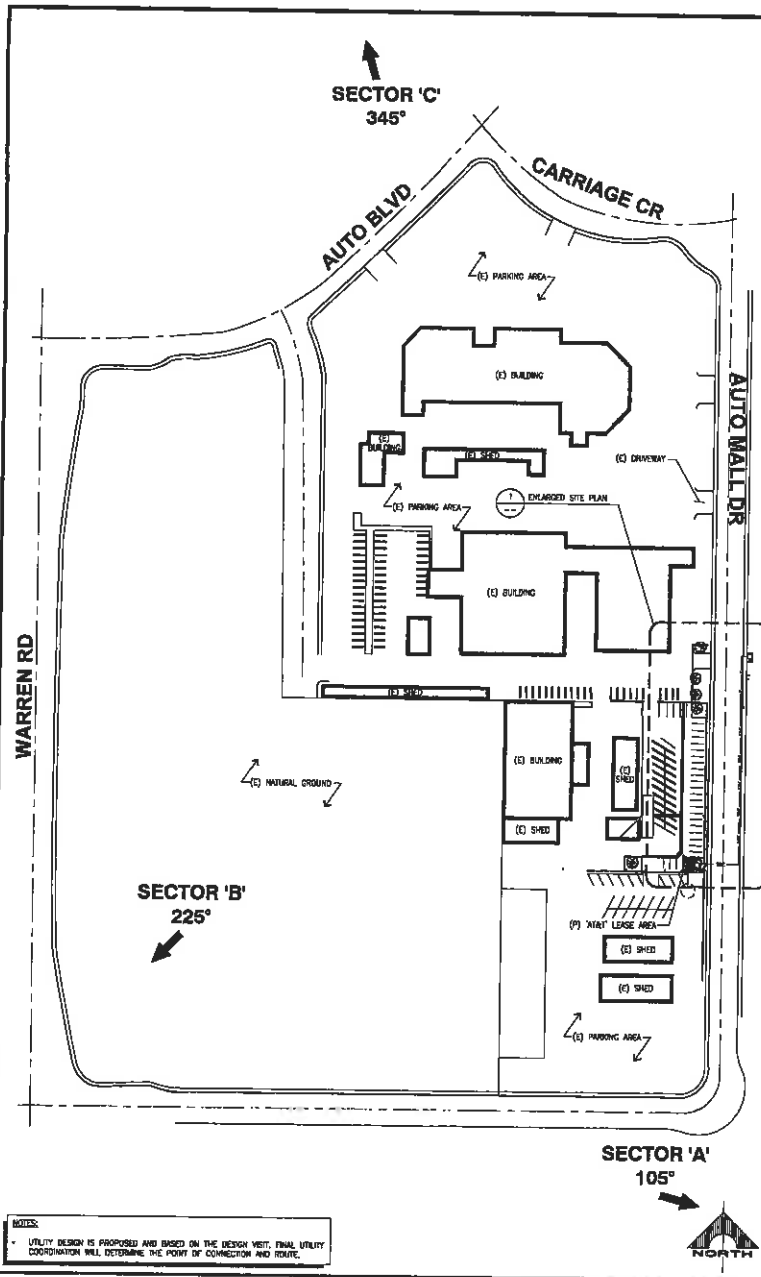
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FOR CONSTRUCTION**

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CSL00252
150 CARRIAGE CIR.
HEMET, CA 92545

SHEET TITLE
SITE SURVEY

SHEET NUMBER
LS-2



NOTES:
 * UTILITY DESIGN IS PROPOSED AND BASED ON THE DESIGN VISIT. FINAL UTILITY COORDINATION WILL DETERMINE THE POINT OF CONNECTION AND FEATURE.

SITE PLAN

SCALE: 1"=30'-0"
 40' 80' 120'

ENLARGED SITE PLAN

SCALE: 3/32"=1'-0"
 1

1432 EDINGER AVE.
 TUSTIN, CALIFORNIA 92780

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T. UNLESS OTHERWISE SPECIFIED, ALL RIGHTS ARE RESERVED. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO THIS PROJECT IS EXPRESSLY PROHIBITED.

18401 VON KARMAN AVE., SUITE 400
 IRVINE, CA 92612
 TEL: (949) 367-1265
 FAX: (949) 367-1275

1800 PIONEER BLVD., #105
 SANTA FE SPRING, CA 92670

REV	DATE	DESCRIPTION
0	10/24/18	ISSUE FOR PERMITS
1	09/28/18	ISSUE FOR PERMITS

NOT TO BE USED FOR CONSTRUCTION

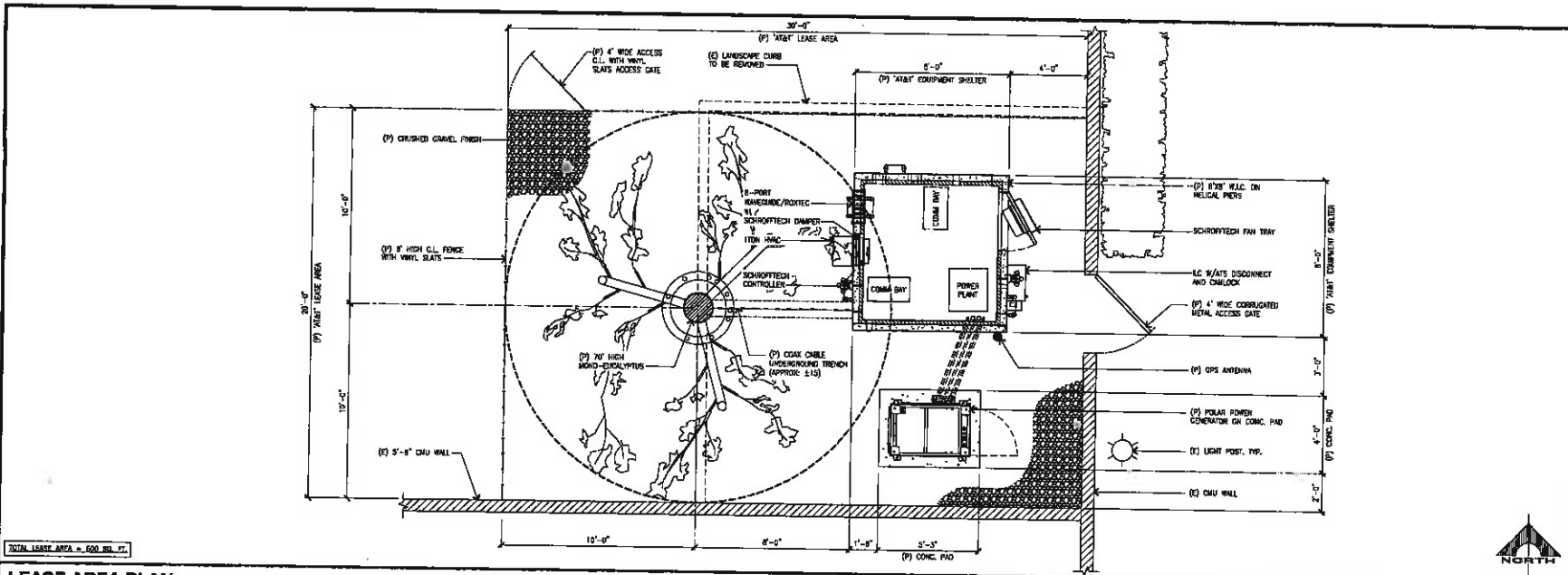
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CSL00252
 GOSCH
 150 AUTO MALL DR.
 HEMET, CA 92545
 MOND-EUCALYPTUS (INDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
 SITE PLAN AND ENLARGED SITE PLAN

SHEET NUMBER: A-1
 REV.: 0



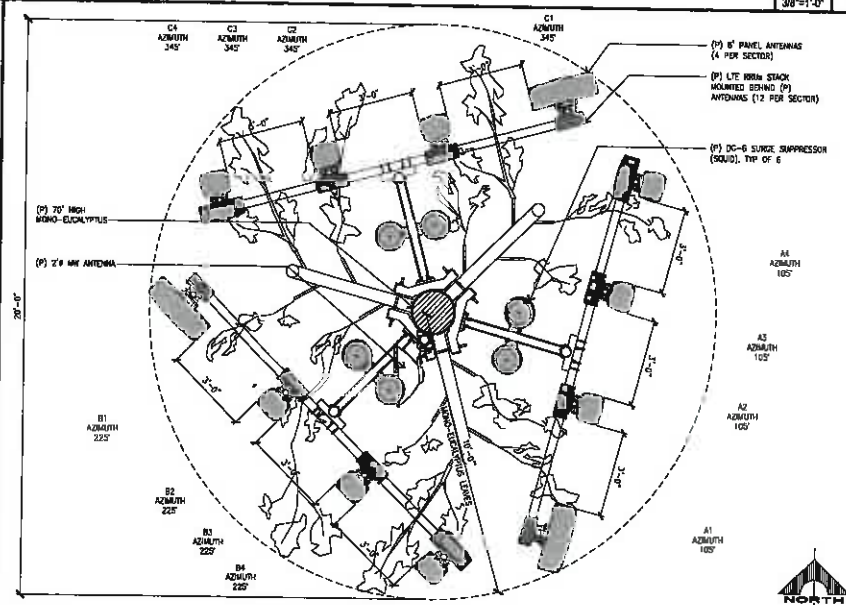
TOTAL LEASE AREA = 600 SQ. FT.

LEASE AREA PLAN

SCALE
3/8"=1'-0" 1

PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS							
SECTOR	PROPOSED TECHNOLOGY	ANTENNA	ANTENNA SIZE (L, W, H)	ANTENNA AZIMUTH	RAD. CENTER	TRANSMISSION LINE (DIAGN. FT +/-)	DC CABLE (AWG [IN])
SECTOR SECTION	A1	LTE	8-PORT PANEL ANTENNA	8"	105°	81'-0"	<12" 1/2- 90'
	A2	LTE	8-PORT PANEL ANTENNA	8"	105°	81'-0"	<12" +/- 90'
	A3	LTE	8-PORT PANEL ANTENNA	8"	105°	81'-0"	<12" +/- 90'
SECTOR SECTION	B1	LTE	8-PORT PANEL ANTENNA	8"	105°	81'-0"	<12" +/- 90'
	B2	LTE	8-PORT PANEL ANTENNA	8"	225°	81'-0"	<12" +/- 90'
	B3	LTE	8-PORT PANEL ANTENNA	8"	225°	81'-0"	<12" +/- 90'
SECTOR SECTION	C1	LTE	8-PORT PANEL ANTENNA	8"	345°	81'-0"	<12" +/- 90'
	C2	LTE	8-PORT PANEL ANTENNA	8"	345°	81'-0"	<12" +/- 90'
	C3	LTE	8-PORT PANEL ANTENNA	8"	345°	81'-0"	<12" +/- 90'

REMOTE (RAD) UNITS (RDU'S)				MINIMUM CLEARANCES			
SECTOR	RRU UP OR DOWN	RRU COUNT	RRU LOCATION (DISTANCE FROM ANTENNA)	ABOVE	BELOW	SIDES	
SECTOR SECTION	A1	UP	3	<12"	18"	8"	8"
	A2	UP	3	<12"	18"	8"	8"
	A3	UP	3	<12"	18"	8"	8"
SECTOR SECTION	B1	UP	3	<12"	18"	8"	8"
	B2	UP	3	<12"	18"	8"	8"
	B3	UP	3	<12"	18"	8"	8"
SECTOR SECTION	C1	UP	3	<12"	18"	8"	8"
	C2	UP	3	<12"	18"	8"	8"
	C3	UP	3	<12"	18"	8"	8"



ANTENNA AND RRU SCHEDULE

3 ANTENNA PLAN

SCALE
1/2"=1'-0" 2



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REV	DATE	DESCRIPTION
0	10/04/18	ISSUE DURING DRAWINGS
A	06/28/18	ISSUE DURING DRAWINGS

NOT TO BE USED FOR CONSTRUCTION

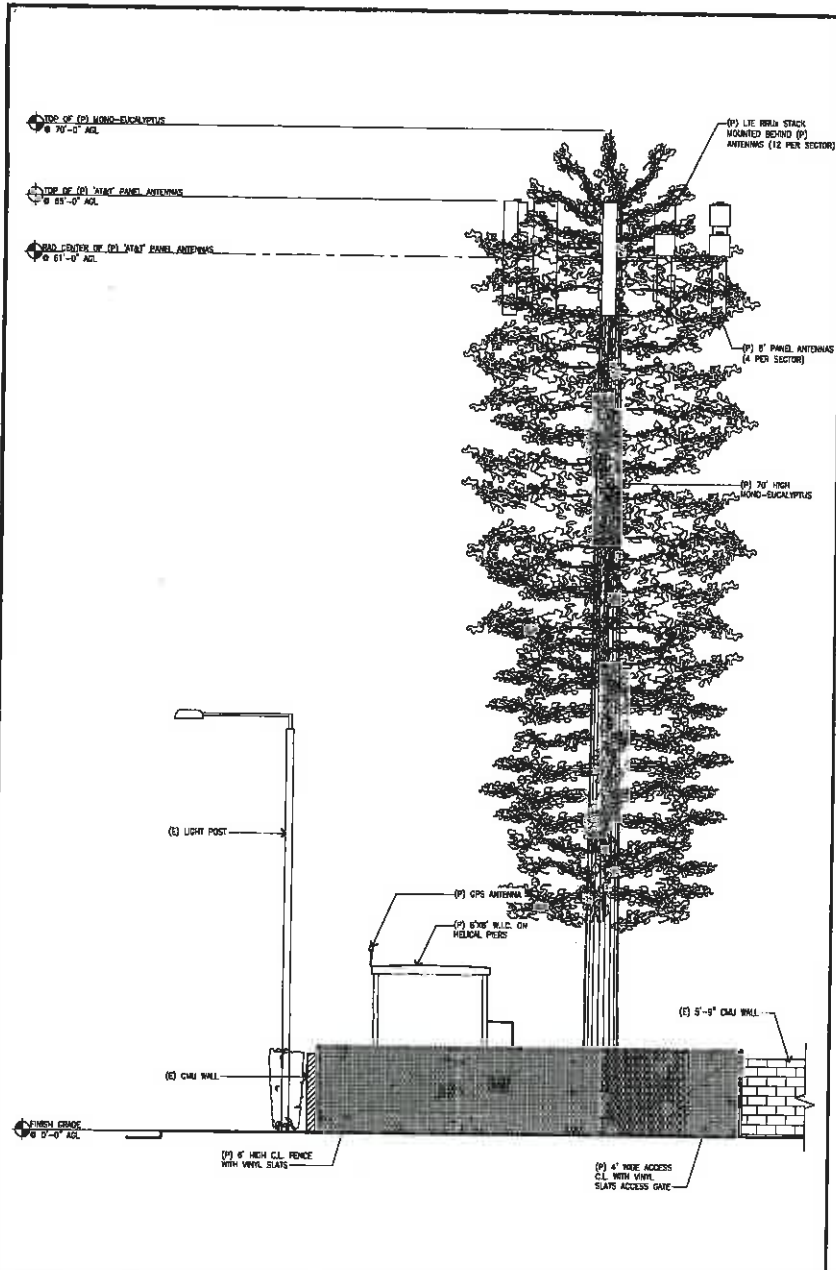
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CSLD0252
GOSCH
150 AUTO MALL DR.
HEMET, CA 92545
MONO-EUCALYPTUS (INDOOR)

DRAWN BY: JEM
CHECKED BY: JS

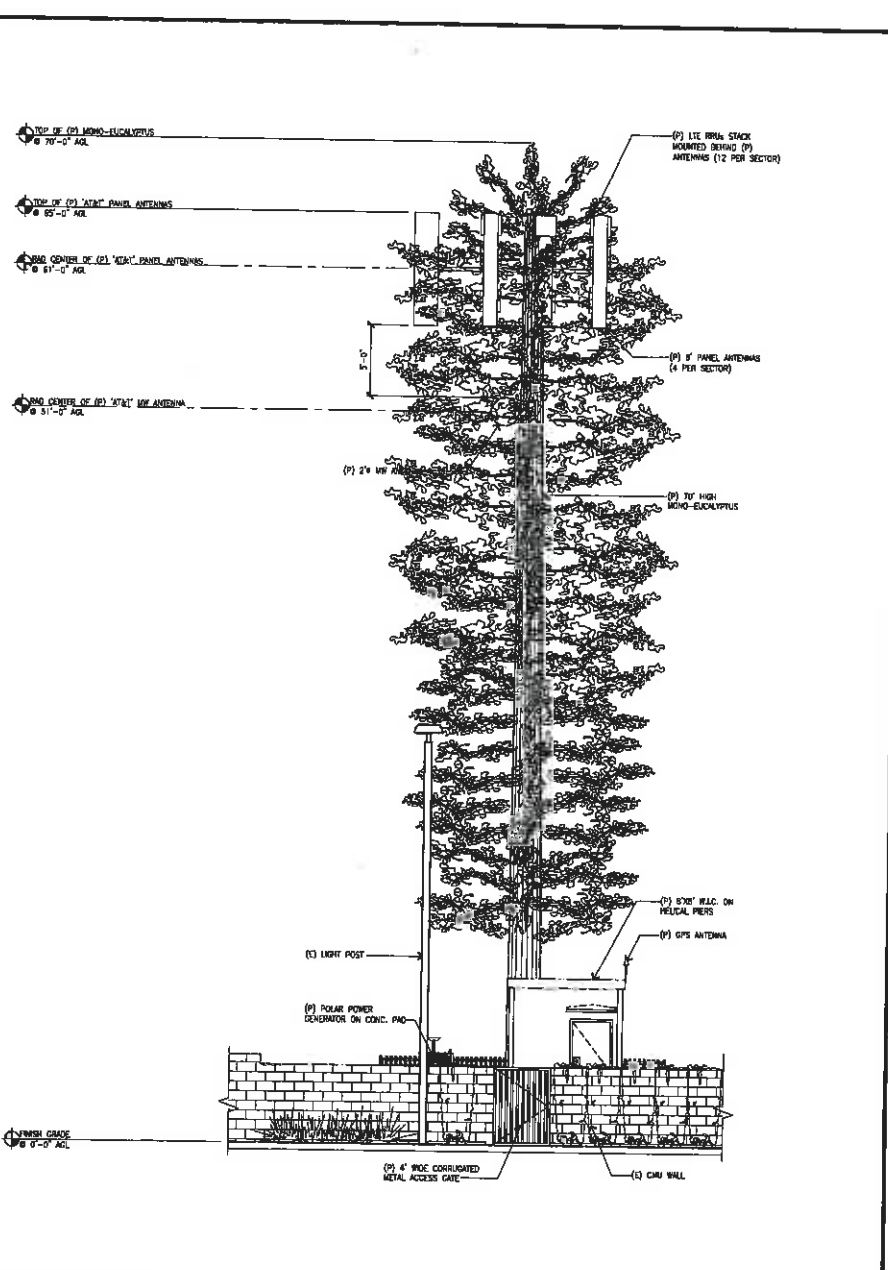
SHEET TITLE:
LEASE AREA/ANTENNA PLAN AND ANTENNA/RRU SCHEDULE

SHEET NUMBER: A-2
REV.: 0



NORTH ELEVATION

SCALE: 1/4"=1'-0" 2



EAST ELEVATION

SCALE: 1/4"=1'-0" 1



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REV.	DATE	DESCRIPTION
0	10/24/18	ISSUE DRAWING
A	06/25/18	ISSUE DRAWING

NOT TO BE USED FOR CONSTRUCTION

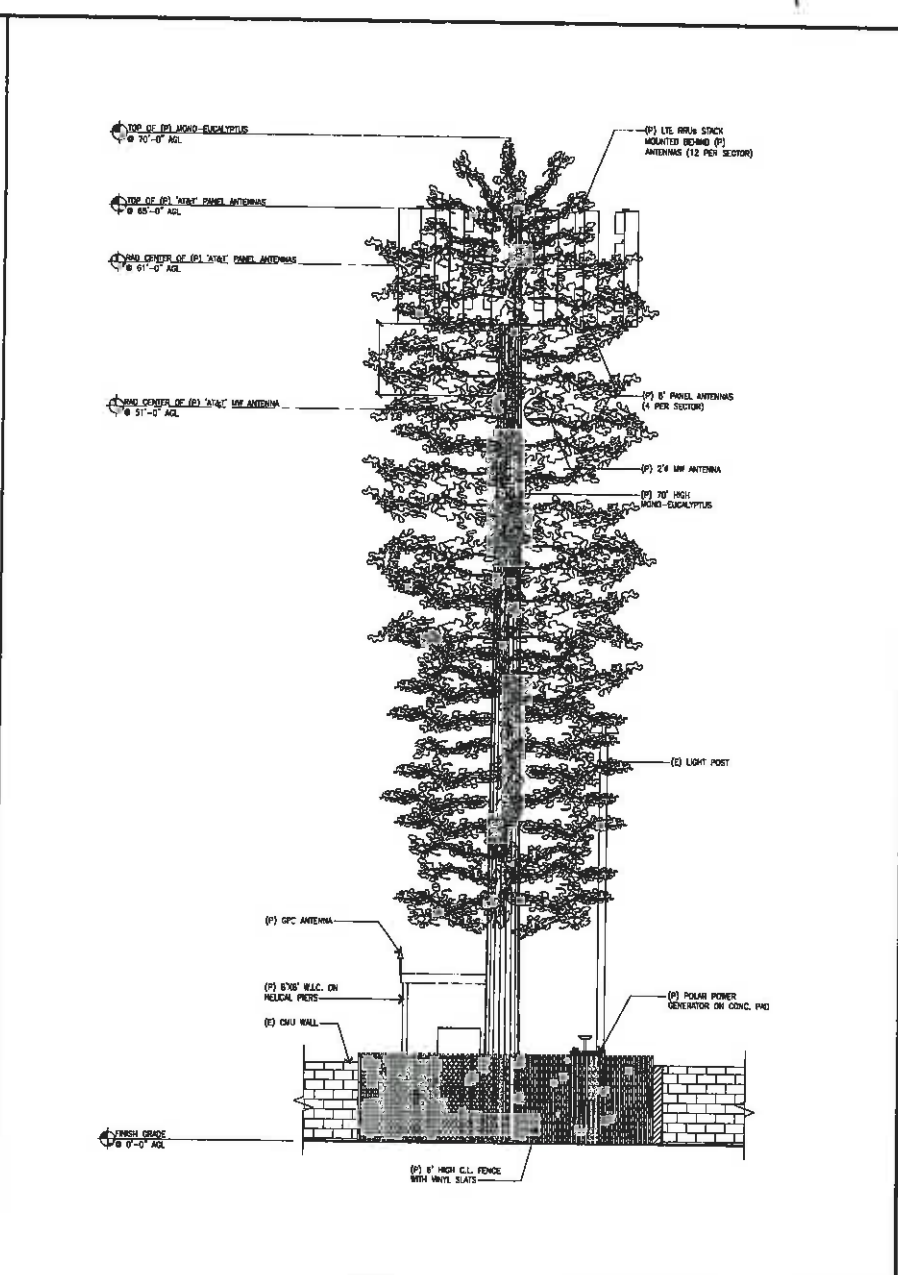
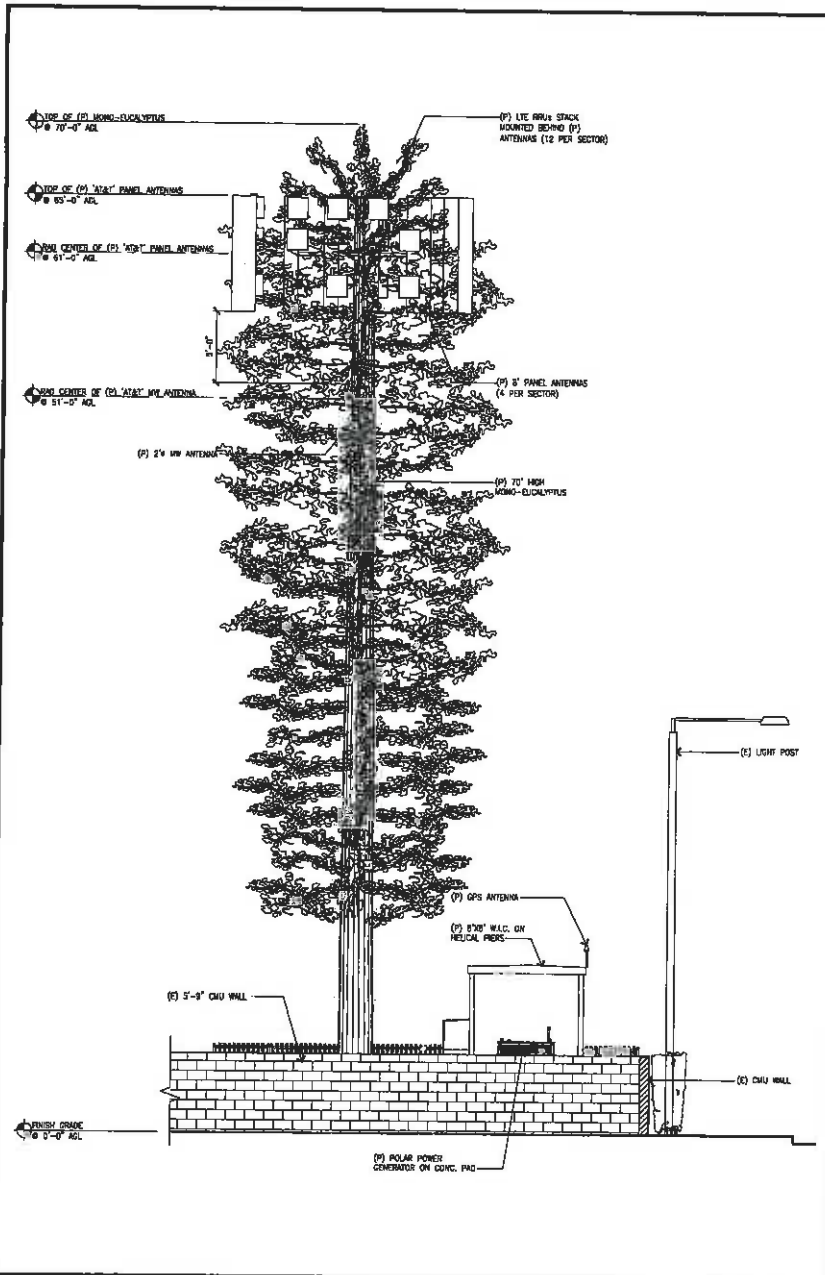
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CSL00252
GOSCH
150 AUTO MALL DR.
HEMET, CA 92545
MONO-EUCALYPTUS (INDOOR)

DRAWN BY: JEM CHECKED BY: JS

SHEET TITLE: ELEVATIONS

SHEET NUMBER: A-3 REV.: 0



SOUTH ELEVATION

WEST ELEVATION

SCALE: 1/8"=1'-0" 2

SCALE: 1/8"=1'-0" 1



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REV.	DATE	DESCRIPTION
1	12/20/18	ISSUE EXHIBIT DRAWINGS
2	01/22/19	FOR JONAS ISSUANCE
REV.	DATE	DESCRIPTION

NOT TO BE USED FOR CONSTRUCTION

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CSL00252
 GOSCH
 150 AUTO MALL DR.
 HEMET, CA 92545
 MONO-EUCALYPTUS (INDOOR)

DRAWN BY: JEM
 CHECKED BY: JS

SHEET TITLE:
ELEVATIONS

SHEET NUMBER: **A-4**
 REV.: **0**

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

A regular scheduled meeting of the Airport Land Use Commission was held on February 14, 2019 at the Riverside County Administrative Center, Board Chambers.

COMMISSIONERS PRESENT: Steve Manos, Chair
Russell Betts, Vice Chair
Arthur Butler
Steven Stewart
Gary Youmans
Michael Geller, alternate for Richard Stewart

COMMISSIONERS ABSENT: John Lyon
Richard Stewart

STAFF PRESENT: Simon Housman, ALUC Director
John Guerin, Principal Planner
Paul Rull, Principal Planner
Barbara Santos, ALUC Commission Secretary
Raymond Mistica, ALUC Counsel

OTHERS PRESENT: Doug Darnell, City of Riverside

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

- I. **AGENDA ITEM 2.1:** ZAP1034RG18 – City of Riverside (Representative: Doug Darnell) – City Planning Case No. P18-0865. A proposal to amend the City of Riverside’s Zoning Code (Title 19 of the Riverside Municipal Code), primarily updating the provisions of Chapter 19.442 relating to Accessory Dwelling Units (previously known as second units) to comply with State laws enacted in 2016 and subsequent years. Pursuant to this amendment, accessory dwelling units (ADUs), which are presently allowable only in the R-1 and R-E zones, would also be allowed: (1) in the MU-N, MU-U, and MU-V zones; (2) in the R-3 and R-4 zones on an existing lot not greater than 0.25 acre in size in conjunction with an existing or proposed primary single-family residence; and (3) in the RR, RA-5, and R-5 zones IF within the existing space of a single-family residence or an existing legal accessory structure. The Incidental Use Table (19.150.020B) would be amended to reflect these changes. Table 19.580.060 relating to parking space requirements would be amended so as to delete parking requirements for ADUs. (Replacement parking for the primary dwelling unit would be required when a garage is converted to an ADU.) Finally, the definitions section would be amended to clarify that, in addition to detached or attached structures, an ADU may be located within a primary single-family residential dwelling. ADUs would be required to include permanent provisions for living, sleeping, cooking, eating, and sanitation.

- II. **MAJOR ISSUES**
None. This item was continued due to the expansion in the scope of this amendment in terms of the zoning classifications where Accessory Dwelling Units would be allowed. The newspaper notice ordered for the January hearing only referenced the addition of the R-3 and R-4 zones, with no mention of the mixed use and low density residential zones. Therefore, staff deemed re-advertisement necessary.

- III. **STAFF RECOMMENDATION**
Staff recommends that the Commission open the public hearing, consider testimony, and find the proposed City of Riverside Zoning Code Amendment CONSISTENT with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and the 2004 Flabob Airport Land Use Compatibility Plan.

- IV. **PROJECT DESCRIPTION**
The City of Riverside proposes to amend the City’s Zoning Code [Title 19 of the Riverside Municipal Code], primarily updating the provisions of Chapter 19.442 relating to Accessory Dwelling Units (previously known as second units) to comply with State laws enacted in 2016 and subsequent years. Pursuant to this amendment, Accessory Dwelling Units (ADUs), which are presently allowable only in the City’s R-1 and RE zones, would also be allowed in the MU-N, MU-U, and MU-V zones, in the R-3 and R-4 zones on existing legal lots not greater than 0.25 acre in area in conjunction with an existing or proposed primary single-family residence, and in the RR, RA-5, and R-5 zones IF located entirely within the existing space of a single-family residence or an existing legal accessory structure. The Incidental Use Table (19.150.020B) would be amended to reflect these changes. Table 19.580.060 relating to parking space requirements would be amended to delete parking requirements for ADUs. (Replacement parking for the primary dwelling unit would be required when a garage is converted to an ADU.) The Definitions section of Title 19 would be amended to clarify that an ADU may be a detached or attached structure or located within a primary single-family residential dwelling. ADUs would be required to include permanent provisions for living, sleeping, cooking, eating, and sanitation.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

The following spoke in favor or the project:

Doug Darnell, City of Riverside, 3900 Main Street, Riverside, CA

No one spoke in neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 6-0 found the project **CONSISTENT**. Absent: Lyon

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 2.1: TIME: 9:32 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.1:** ZAP1346MA18 – Majestic Realty Co. (Representative: T&B Planning, Inc.) – County of Riverside Case No. 180038 (Plot Plan). A proposal to construct a 147,249 square foot industrial manufacturing building on 8.45 acres located northerly of Commerce Center Drive, easterly of Harvill Avenue, westerly of 215 Freeway, and southerly of Markham Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).
- II. **MAJOR ISSUES**
None
- III. **STAFF RECOMMENDATION**
Staff recommends that the proposed Plot Plan be found CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.
- IV. **PROJECT DESCRIPTION**
The applicant proposes to construct a 147,249 square foot industrial manufacturing building on 8.45 acres.

CONDITIONS: Final Conditions await FAA approval

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note A on Table 4 of the Mead Valley Area Plan.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight. Children's schools are discouraged.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

4. The following uses/activities are not included in the proposed project, but, if they were to be proposed through a subsequent use permit or plot plan, would require subsequent Airport Land Use Commission review:

Restaurants and other eating establishments; day care centers; health and exercise centers; churches, temples, or other uses primarily for religious worship; theaters.

5. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
6. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
8. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
9. This project has been evaluated for 147,249 square feet of manufacturing area. Any increase in building area or change in use other than for warehouse, office and manufacturing uses will require an amended review by the Airport Land Use Commission.
10. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 6-0 found the project **CONDITIONALLY CONSISTENT** subject to the conditions included herein, and such additional conditions as may be required by the FAA OES.

Absent: Lyon

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.1: TIME: 9:40 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.2:** ZAP1345MA18 – Majestic Realty Co. (Representative: T&B Planning, Inc.) – County of Riverside Case No. 180034 (Plot Plan). A proposal to construct a 373,368 square foot industrial manufacturing building on 21.26 acres located southerly of Commerce Center Drive, easterly of Harvill Avenue, westerly of Messenia Lane, and northerly of Perry Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).
- II. **MAJOR ISSUES**
None
- III. **STAFF RECOMMENDATION**
Staff recommends that the proposed Plot Plan be found CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.
- IV. **PROJECT DESCRIPTION**
The applicant proposes to construct a 373,368 square foot industrial manufacturing building on 21.26 acres.

CONDITIONS: Final Conditions await FAA approval

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note A on Table 4 of the Mead Valley Area Plan.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight. Children's schools are discouraged.

**AIRPORT LAND USE COMMISSION
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4. The following uses/activities are not included in the proposed project, but, if they were to be proposed through a subsequent use permit or plot plan, would require subsequent Airport Land Use Commission review:

Restaurants and other eating establishments; day care centers; health and exercise centers; churches, temples, or other uses primarily for religious worship; theaters.

5. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
6. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
8. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
9. This project has been evaluated for 373,368 square feet of manufacturing area. Any increase in building area or change in use other than for warehouse, office and manufacturing uses will require an amended review by the Airport Land Use Commission.
10. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 6-0 found the project **CONDITIONALLY CONSISTENT** subject to the conditions included herein, and such additional conditions as may be required by the FAA OES.

Absent: Lyon.

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RIVERSIDE MEETING**

VII. CD

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ITEM 3.2: TIME: 9:44 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER FEBRUARY 14, 2019
RIVERSIDE MEETING**

I. **4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals – Information Only

4.2 Revised Public Hearing Notice – Information Only

4.3 Resolution No. 2019-01: Public Hearing Cost Recapture

The ALUC by a unanimous vote of 6-0, approved Resolution No. 2019-01 for the Recapture of Public Hearing costs, effective March 1, 2019.

II. **5.0 APPROVAL OF MINUTES**

The ALUC by a vote of 4-0 approved the January 10, 2019 minutes. Abstain: Youmans and Geller; Absent: Lyon

III. **6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

The ALUC was advised of the passing of former Commissioner Greg Pettis, and agreed to adjourn in his memory.

IV. **7.0 COMMISSIONER'S COMMENTS**

None

V. **8.0 ADJOURNMENT**

Steve Manos, Chairman adjourned the meeting at 9:57 a.m. in honor of the passing of former ALUC Commissioner Greg Pettis.

VI. **CD**

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ITEM 4.0: TIME IS: 9:50 A.M.