



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center  
4080 Lemon St., 1st Floor Hearing Room  
Riverside, California

**Special Day and Time**

Thursday 9:30 a.m., August 15, 2013

**CHAIR**

Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**

Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

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Riverside

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Cathedral City

Richard Stewart  
Moreno Valley

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St, 14<sup>th</sup> Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, CA 92501 during normal business hours.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

## 1.0 INTRODUCTIONS

### 1.1 CALL TO ORDER

### 1.2 SALUTE TO FLAG

### 1.3 ROLL CALL

## 2.0 PUBLIC HEARING: CONTINUED CASES

### CHINO AIRPORT

2.1 ZAP1018CH13 – Providence Archibald, LLC (Representative: Albert A. Webb Associates, Sandy Chandler) – City of Eastvale Case Nos. 12-0750 (Development Plan Review) and revised PM35865 (Parcel Map). PP12-0750 is a proposal to develop a total of 738,970 square feet of industrial/office space within 12 shell buildings on 39.32 net acres located westerly of Archibald Avenue, southerly of Limonite Avenue, and northerly of 65<sup>th</sup> Street, in the City of Eastvale. Revised PM35865 is a proposal to subdivide the 39.32 net acres into 11 parcels [one for each of the proposed buildings, with buildings 4 and 5 sharing a parcel]. (Zones C and D of Chino Airport Influence Area.) Continued from July 11, 2013. ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org).

Staff Recommendation: CONSISTENT

**HEMET RYAN AIRPORT**

- 2.2 ZAP1028HR13 – City of Hemet – City Case No. ZC 13-001. A proposal to establish R-4 zoning on a number of parcels in the City of Hemet. Within the Hemet-Ryan Airport Influence Area (the area of concern for this Commission), this would include: (1) a change of zone from A-5 (Agriculture, 5 acre minimum lot size) to R-4 (Very High Density) on a 12.29-acre site (APN 448-120-010) located on the east side of Myers Street, southerly of Devonshire Avenue and northerly of Florida Avenue (State Highway Route 74); (2) a change of zone from C-1 (Neighborhood Commercial) to R-4 (Very High Density) on a 5.32-acre site (APN 464-270-002) located on the south side of Stetson Avenue, westerly of Elk Street and easterly of Lyon Avenue; (3) a change of zone from R-3 (Multiple-Family/Medium-High Density) to R-4 (Very High Density) on 10.07 acres (APN 464-270-005 and 464-270-006) located on the south side of Stetson Avenue, easterly of Elk Street and westerly of Palm Avenue; and (4) a change of zone from SR-3 (Senior Apartment) to R-4 (Very High Density) on 3.31 acres (APN 442-060-046) located on the south side of Latham Avenue, easterly of Lyon Avenue and westerly of Elk Street, Valley View Drive, and Palm Avenue. (Area III of the Hemet-Ryan Airport Influence Area). Continued from July 11, 2013. ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org).

Staff Recommendation: CONSISTENT

**3.0 PUBLIC HEARING: NEW CASE**

- 3.1 ZAP1061RI13 – Tavaglione Construction and Development, Inc./Joe Tavaglione (Representative: Rick Engineering/Robert Stockton) - City of Riverside Case Nos. P13-0038 (Rezoning) and P13-0441 (Design Review). Case No. P13-0038 is a proposal to change the zoning of a 0.32-acre (net area) parcel located on the east side of Adams Street, southerly of Magnolia Avenue, and northerly of Briarwood Drive from R-1-7,000-SP – Single Family Residential and Specific Plan (Magnolia Avenue) Overlay Zones to the MU-N-SP – Mixed Use-Neighborhood and Specific Plan (Magnolia Avenue) Overlay Zones to allow for the conversion of an existing single-family residence into a live/work unit. The Commission may further recommend rezoning the parcel from R-1-7,000-SP to MU-N-SP-AP-D or a split designation of MU-N-SP-AP-D and MU-N-SP-AP-E. Case No. P13-0441 is a proposal to convert the existing single family residence on this property to a live/work unit, also involving removal of an existing garage and construction of outdoor parking on the same 0.32-acre area. A live/work unit is a residential occupancy that includes cooking space and sanitary facilities in conformance with City building standards and adequate working space accessible from the living area that is reserved for, and regularly used by, one or more persons residing therein. The business activity occupying the live/work unit may utilize employees who do not reside in the unit, provided that at least one of the full-time workers resides therein. (Zones D and E of Riverside Municipal Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org).

Staff Recommendation: CONSISTENT

**4.0 ADMINISTRATIVE ITEMS**

4.1 Ken Brody with Mead and Hunt will provide an update on the progress of March Air Reserve Base Airport Land Use Compatibility Plan.

**5.0 APPROVAL OF MINUTES**

July 11, 2013

**6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

**7.0 COMMISSIONER'S COMMENTS**

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**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.12-3

**HEARING DATE:** August 15, 2013 (continued from July 11, 2013)

**CASE NUMBER:** ZAP1018CH13 – Providence Archibald, LLC  
(Representative: Albert A. Webb Associates, Sandy Chandler)

**APPROVING JURISDICTION:** City of Eastvale

**JURISDICTION CASE NO.:** 12-0750 (Development Plan Review), PM35865 (Parcel Map)

**MAJOR ISSUES:** The square footage of office areas is increased in relation to the previously approved design. Intensities based on the anticipated uses (as specified on the site plan as *originally* submitted) within certain buildings may *have exceeded* the single-acre intensity for Compatibility Zone C of 150 persons. Single-acre intensity limits may only be met with reductions in office and manufacturing areas and larger proportions of storage or warehousing areas, in comparison to the numbers proposed on the site plan.

*The applicant has provided a revised site plan that notes the office, manufacturing, and warehouse uses within each building. Any tenant that proposes to occupy any building that proposes to exceed these uses will require a revised permit with the City and further review by ALUC. Staff has advised the applicant of the limitations proposed herein, and is requesting an amended site plan that corresponds to the reallocation of use within the buildings. Single-acre intensities within Buildings 1A/1B and 5 may exceed the 150 person threshold at 157 and 167 persons, respectively. The applicant has indicated for each of these buildings that certain risk reduction design measures will be incorporated that would qualify it for potential risk reduction intensity bonus. ALUC staff has requested from City of Eastvale staff to confirm whether such a bonus will be granted. At the time of writing of this staff report, staff has not received confirmation.*

In addition, the open area required for Zones C and D (7.06 and 1.63 acres, respectively) will be provided as indicated on the open area exhibit provided by the applicant. Within Zone C, the exact amount of 7.06 acres of open area is provided, while within Zone D 1.87 acres of open area is provided for a total of 8.93 acres across the site. While the designated areas will be kept clear of all structures and other obstructions greater than four feet in height and four inches in diameter, some of the designated open areas will include parking areas and break areas. However, the applicant has indicated that these areas will not include any feature that would conflict with the four foot height and four inch diameter threshold. These requirements are laid out in proposed conditions 7, 8, and 9.

**RECOMMENDATION:** Provided that *the City of Eastvale confirms the risk reduction intensity bonus the amended site plan is provided to staff* and found acceptable prior to the hearing, staff recommends that the proposed project be found **CONSISTENT** with the 2008 Chino Airport Land Use Compatibility Plan, subject to the conditions included herein. If the *confirmation amended site plan* has not been received and found acceptable, a continuance to *September 12 August 15* may will be necessary.

**PROJECT DESCRIPTION:** Development Plan Review Case No. 12-0750 is a proposal to develop a total of 738,970 square feet of industrial/office space within 12 shell buildings on 39.32 net acres. Revised PM35865 is a proposal to subdivide the 39.32 net acres into 11 parcels (one for each of the proposed buildings, with buildings 4 and 5 sharing a parcel). Size of each building ranges between 10,600 square feet to 254,810 square feet with anticipated uses primarily consisting of office, manufacturing and **warehouse uses, storage and with** potential retail use in building 4 and medical office use in building 5.

**PROJECT LOCATION:** The site is located westerly of Archibald Avenue, southerly of Limonite Avenue, and northerly of 65<sup>th</sup> Street, in the City of Eastvale, approximately 6,900 feet easterly of the easterly terminus of Runway 8R-26L at Chino Airport.

**LAND USE PLAN:** 2008 Chino Airport Land Use Compatibility Plan

- a. Airport Influence Area: Chino Airport
- b. Land Use Policy: Airport Compatibility Zones C and D
- c. Noise Levels: Primarily beyond the 55 CNEL contour ; 55-60 CNEL in the northwesterly portion of the property

**ANALYSIS:**

Prior ALUC Decision: ALUC had previously found a similar industrial project consistent on the property pursuant to ZAP1011CH08 on December 11, 2008. The project was previously designed as 14 buildings with a total building area of 738,432 square feet, with individual buildings ranging from 12,638 square feet to 91,784 square feet in gross floor area. Pursuant to the prior conditions, limitations on the maximum amount of office in certain buildings were included for the purpose of limiting single-acre intensities. This permit has subsequently expired with the City of Eastvale, and the applicant has submitted a new, redesigned project as described above. Single-acre intensity issues have been raised by staff, primarily as a result of the increased square footage of office uses.

Nonresidential Average Intensity: The site is located in Airport Compatibility Zones C and D, with the majority of the buildings located entirely or mostly within Zone C, excluding building 12 which is located entirely within Zone D and buildings 10 and 11 which are located mostly within Zone D. Nonresidential intensity in Airport Zones C and D is restricted to an average of 75 and 150 persons

per acre, respectively. The “Building Code Method” for calculating intensity utilizes “minimum floor area per occupant” criteria from the Building Code as a factor in projecting intensity. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the intensity of office areas has been determined to be one person per 100 square feet. However, Appendix C recommends that, for calculation of intensity levels, the Building Code occupancy levels be reduced by 50 percent, at least for office uses. In addition, the Chino Airport Land Use Compatibility Plan provides for retail uses, not including restaurants or other high intensity uses, to be calculated at an intensity of one person per 115 square feet instead of one person per 30 square feet as prescribed by the Building Code.

Based on these building intensity rates, the 12 buildings are anticipated to accommodate a total of **1,646** ~~2,924~~ people based on the anticipated distribution of office, manufacturing, **warehouse storage**, and retail uses indicated on the site plan submitted. To determine the average intensity, we divide by the gross acreage of 53.37, which equals the property area, plus the area included in the half-widths of adjoining streets. While the net acreage of the proposed parcels combined is only 39.32 acres, the adjacent half-widths bring the gross area of the parcel to 53.37 acres, according to the submitted plans. When this gross area is taken into account, an average intensity of **31** ~~55~~ people is estimated, which is consistent with both the Zone C and D average acre intensity criteria.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle in the absence of more precise data). Based on the number of parking spaces provided (1,261 standard vehicle spaces and 51 loading spaces), the total occupancy would be estimated at 1,968 people for an average acre intensity of approximately 37, which is also consistent with both the Zone C and D average acre intensity criteria.

Non-Residential Single-Acre Intensity: As previously noted, the project is located in Airport Compatibility Zones C and D, with the majority of the buildings located entirely or mostly within Zone C, excluding building 12, which is located entirely within Zone D, and buildings 10 and 11, which are located mostly within Zone D. Non-residential intensity in Airport Compatibility Zones C and D is restricted to 150 and 450, respectively, in any given single-acre pursuant to the Chino Airport Land Use Compatibility Plan. Since end uses and floor plans are not specifically known, analysis of anticipated uses assumes a worst case scenario of the maximum amount of office, then the maximum amount of manufacturing that could fit within any given single-acre area (210 foot by 210 foot area) utilizing the anticipated area for each use in each building as indicated by the site plan provided. In addition, utilization of the 210 foot by 210 foot area within certain individual buildings actually overlap into adjacent **or nearby** buildings (buildings **4, 5, 6, 7, 8, 9, and 10**). So, analysis of single-acre intensity for each of these certain buildings actually accounts partially for the uses within the adjacent buildings. Buildings 10 and 11, although only located partially within Zone C, were evaluated pursuant to the criteria for Zone C. **Building 5, although originally indicated as 100% office, would actually include a substantial amount of utility, hallway, and other non-occupant type areas that reduce the total office area to 28,000 square feet, which is the amount utilized for determining intensity.**

Based on this methodology and the Building Code method with utilization of the 50% reduction for office uses, buildings 1A/1B and ~~2, 5, 6, 7, 8, 9, 10, and 11~~ could potentially exceed the single-acre criteria of 150 persons. **Building 1A/1B could result in 157 persons per single-acre and building 5 could result in a maximum of 167 people (including overlap into Building 4).** Staff made calculations as to maximum limits of office and manufacturing square footage for each building (with the remainder of the area within the building to be utilized as storage areas) that would not exceed the single-acre criteria as follows:

- ~~Building 1A/1B—office 3,500 square feet, manufacturing 4,500 square feet~~
- ~~Building 2—office 2,000 square feet, manufacturing 4,000 square feet~~
- ~~Building 5—office 22,000 square feet~~
- ~~Building 6—office 1,500 square feet, manufacturing 3,500 square feet~~
- ~~Building 7—office 1,500 square feet, manufacturing 3,500 square feet~~
- ~~Building 8—office 1,500 square feet, manufacturing 3,500 square feet~~
- ~~Building 9—office 1,500 square feet, manufacturing 3,500 square feet~~
- ~~Building 10—office 2,500 square feet, manufacturing 8,500 square feet~~
- ~~Building 11—office 2,500 square feet, manufacturing 7,000 square feet~~

Staff has included a condition that any uses that occupy these buildings that exceed **the size for each use noted for each building** ~~these limits~~ be subject to an amended Development Review Plan approval and consultation with ALUC to verify that the building and the overall development continue to comply with the single-acre criteria. ~~The condition allows Buildings 3, 4, and 12 to be developed and occupied in accordance with the square footage allocations proposed on the site plan submitted in May.~~

~~Reallocation of uses within the buildings in this manner would involve a reduction of 33,600 square feet of office area, including reductions of 11,600 square feet in Building 5 and 10,500 square feet in Building 1A/1B. The reductions in office areas within Buildings 1A/1B, 2, and 6 through 11 would in each of these cases negate the second floor office areas proposed on the site plan.~~

Risk Reduction Bonus: The proposed buildings **will** ~~may~~ include design components that would allow consideration of a risk reduction bonus. ~~If such design components are included and a risk reduction bonus is considered by the City of Eastvale, the previously noted maximums for each use and those noted in the following conditions may be increased to account for the potentially granted risk reduction bonus, which cannot exceed 30 percent.~~ **Building 1A/1B would include concrete walls, limited windows, enhanced fire sprinkler system (K-25 sprinkler heads for increased water pressure and velocity), single story, and increased emergency exits. Building 5 would include concrete walls, avoiding skylights, and enhanced fire sprinkler system (Ordinary Hazard Group 1 Occupancy based for increased sprinkler density for greater water flow per floor area).** Based on these buildings including at least three out of the recommended seven risk reduction design measures, it is suggested that half of the maximum 30 percent bonus be

**considered by the City. This would equate to a 15 percent bonus which would increase the standard 150 person intensity criteria to 172 persons. As noted previously, Building 1A/1B would result in a maximum of 157 persons and Building 5 would result in a maximum of 167 persons in a single-acre. These would be consistent with a revised intensity criteria with bonus of 172 persons.**

Open Area: 20% open area is required within Compatibility Zone C and 10% open area is required within Compatibility Zone D. The adjusted site gross area, excluding only those portions dedicated for Archibald Avenue and Limonite Avenue, is 51.58 acres. Based on this acreage (split between 35.31 acres within Zone C and 16.27 acres within Zone D), a total of 8.69 acres of open area is required. As indicated on the submitted Open Space Area exhibit, the proposed project provides a total of 8.93 acres of open area (areas a minimum of 75'x 300') within the internal private road, drive aisles, and parking areas.

Noise: The northwest portion of the site is located partially within an area that is projected in the 2008 Chino Airport Land Use Compatibility Plan to ultimately be subject to average aircraft noise levels between 55 and 60 CNEL. The remainder of the site falls below the 55 CNEL level. Typical construction design would allow for an exterior to interior noise reduction of at least 20 dbA. Interior noise levels would likely not exceed 40 CNEL for the anticipated industrial and office uses within the proposed buildings. No special noise mitigation measures will be required to reduce interior noise levels from aircraft operations.

PART 77: The elevation of Runway 8R-26L at its easterly terminus (the nearest point to the site) is 636.5 feet above mean sea level (AMSL). At an approximate distance of 6,900 feet from the runway, any building with an elevation at top of roof exceeding 705.5 feet AMSL would require Federal Aviation Administration (FAA) Obstruction Evaluation Service notice and review through the Form 7460-1 process. According to the proposed Parcel Map, the highest pad elevation is 637.9 feet AMSL (building 4). The proposed buildings will not exceed a height of 36 feet above ground level for a total maximum height of 673.9 feet AMSL. Therefore, Obstruction Evaluation is not required.

#### **CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light, or visual approach slope indicator.



- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Within Compatibility Zone C: Children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 2 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, and hazards to flight.
  - (f) Within Compatibility Zone D: highly noise-sensitive outdoor non-residential uses, and hazards to flight.
3. The City of Eastvale shall either prohibit the following uses, or shall require additional review by the Airport Land Use Commission prior to the establishment of any of the following uses in any of the structures proposed through this Development Plan Review:
- Auction rooms, auditoriums, bowling alleys, churches and chapels, classrooms, conference rooms, restaurant serving area (dining areas and areas open to public use, other than corridors and restrooms), dance floors, drinking establishments, exhibit rooms, gaming, gymnasiums, lodge rooms, lounges, reviewing stands, skating rinks, stages, swimming pools, and other uses that would be considered to have an occupancy level greater than one person per 30 square feet (minimum square feet per occupant less than 30) pursuant to California Building Code (1998) Table 10-A.
4. The attached notice shall be provided to all potential purchasers of the property and all potential tenants of the buildings, and shall be recorded as a deed notice.
5. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
6. The site plan (**Sheet A1.1**) **dated July 30, 2013** as submitted to ALUC in May 2013 shall

~~be revised to~~ indicates maximum square footages of office and manufacturing uses as specified below. Any proposed tenant/use or combination of proposed and existing tenants/uses within each of the buildings that exceed the following area for each specific use through any building permit or tenant improvement permit shall require an amended Development Review Plan approval and consultation with ALUC to verify that the building and the overall development continue to comply with the applicable single-acre criteria. Proposed uses that do not exceed these maximums (other than those uses previously noted in Condition 3) shall not require further Airport Land Use Commission review.

- ~~• Building 1A/1B office 3,500 square feet, manufacturing 4,500 square feet~~
  - ~~• Building 2 office 2,000 square feet, manufacturing 4,000 square feet~~
  - ~~• Building 3 office 3,500 square feet, manufacturing 5,775 square feet~~
  - ~~• Building 4 office or retail 10,600 square feet~~
  - ~~• Building 5 office 22,000 square feet~~
  - ~~• Building 6 office 1,500 square feet, manufacturing 3,500 square feet~~
  - ~~• Building 7 office 1,500 square feet, manufacturing 3,500 square feet~~
  - ~~• Building 8 office 1,500 square feet, manufacturing 3,500 square feet~~
  - ~~• Building 9 office 1,500 square feet, manufacturing 3,500 square feet~~
  - ~~• Building 10 office 2,500 square feet, manufacturing 8,500 square feet~~
  - ~~• Building 11 office 2,500 square feet, manufacturing 7,000 square feet~~
  - ~~• Building 12 office 4,500 square feet, manufacturing 20,200 square feet~~
7. A minimum of 8.69 acres of open areas as defined by Countywide Policy 4.2.4 of the 2004 Riverside County Airport Land Use Compatibility Plan shall be provided on-site (inclusive of the 78-foot industrial collector roadways), of which not less than 7.06 acres shall be located within the portion of the site within Compatibility Zone C. Such open areas, including the 78-foot private roadway, shall have a minimum width of 75 feet and a minimum length of 300 feet, and shall not be obstructed by walls, trash enclosures, large trees or poles (light poles or other) greater than 4 inches in diameter at a height greater than 4 feet, or overhead wires. Trees or poles less than 4 inches in diameter at a height greater than 4 feet would be allowed within the designated open area.
8. A minimum width of 75 feet by a minimum length of 300 feet, within the 78-foot roadway, shall not permit parking on these roadways or trees or poles greater than 4 inches in diameter at a height greater than 4 feet.
9. The open areas exhibit submitted to the Airport Land Use Commission by Albert A. Webb and Associates and included in this packet depicts area within parking, building frontage, and loading areas as meeting open area requirements. All uses within these areas, such as landscaped planters, bike racks, focal points, and break areas, shall comply with the requirements of Policy 4.2.4 as referenced above. Walls, trash enclosures, and trees and light

fixtures greater than 4 inches in diameter at a height greater than 4 feet shall not be permitted in these areas.

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## Brady, Russell

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**From:** Erik Lindberg [erikl@gaaarchitects.com]  
**Sent:** Monday, July 29, 2013 5:33 PM  
**To:** Brady, Russell; Roger Deitos; Brad Boatman  
**Subject:** FW: Revised Intensity Calcs  
**Attachments:** PIC006\_1.7.2 Single-Acre (1).pdf; PIC006\_1.1 Site Plan (1).pdf; PIC006\_1.7.1 Airport Land Use (1).pdf

Russell;

Attached are the revised site plan and ALUC sheets with the 'enhanced sprinkler' language incorporated. Let me know if everything looks good.

Erik Lindberg, Associate AIA & ASLA  
Project Coordinator

**G|A|A**

ARCHITECTS

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**From:** Brad Boatman [mailto:homeboatman@gmail.com]  
**Sent:** Monday, July 29, 2013 5:25 PM  
**To:** Erik Lindberg  
**Subject:** Fwd: Revised Intensity Calcs

Erik

I am re-sending this email in the event you did not receive it earlier today.

Brad

----- Forwarded message -----

**From:** Brad Boatman <[homeboatman@gmail.com](mailto:homeboatman@gmail.com)>  
**Date:** Mon, Jul 29, 2013 at 11:16 AM  
**Subject:** Fwd: Revised Intensity Calcs  
**To:** Erik Lindberg <[erikl@gaaarchitects.com](mailto:erikl@gaaarchitects.com)>

Erik

The Eastvale Business Park is being designed to install K-25 Fire Sprinkler heads. These offer much greater flow than the minimum requirement. This system exceeds an ESFR fire sprinkler in every way, velocity, high hazard, pressure, etc.

If additional information on the K-25 system please contact Dan Wozab.

Brad Boatman

## Brady, Russell

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**From:** Roger Deitos [rogerd@gaaarchitects.com]  
**Sent:** Thursday, July 25, 2013 11:12 AM  
**To:** Brady, Russell; Erik Lindberg  
**Cc:** jrb@markhamdmg.com; Brad Boatman  
**Subject:** RE: Revised Intensity Calcs

Russell,

Per discussion with the project Fire Sprinkler consultant we are proposing to increase the occupancy hazard for Buildings 4 and 5 from a "Light Hazard Occupancy" to an "Ordinary Hazard Group 1 Occupancy" which is beyond code required. This will increase the fire sprinkler design density from a 0.10 to a 0.15. Additionally, the maximum head spacing will go from 225 sq. ft. to 130 sq. ft. and design would have 225 GPM over 1,500 sq. ft. area.

Thanks,  
Roger Deitos  
Principal



8811 Research Drive, Suite 200  
Irvine, CA 92618  
T: 949-474-1775 ext. 237  
F: 949-553-9133 Fax  
C: 949-254-4653  
rogerd@GAAarchitects.com  
www.GAAarchitects.com

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**From:** Brady, Russell [mailto:rbrady@rctlma.org]  
**Sent:** Wednesday, July 24, 2013 10:50 AM  
**To:** Erik Lindberg; Roger Deitos  
**Cc:** 'jrb@markhamdmg.com'; 'Brad Boatman'  
**Subject:** RE: Revised Intensity Calcs

Also, can you make sure to update the date in the title block so that we can refer to a certain site plan and the date of it?

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**From:** Brady, Russell  
**Sent:** Wednesday, July 24, 2013 8:33 AM  
**To:** 'Erik Lindberg'; Roger Deitos  
**Cc:** jrb@markhamdmg.com; Brad Boatman  
**Subject:** RE: Revised Intensity Calcs

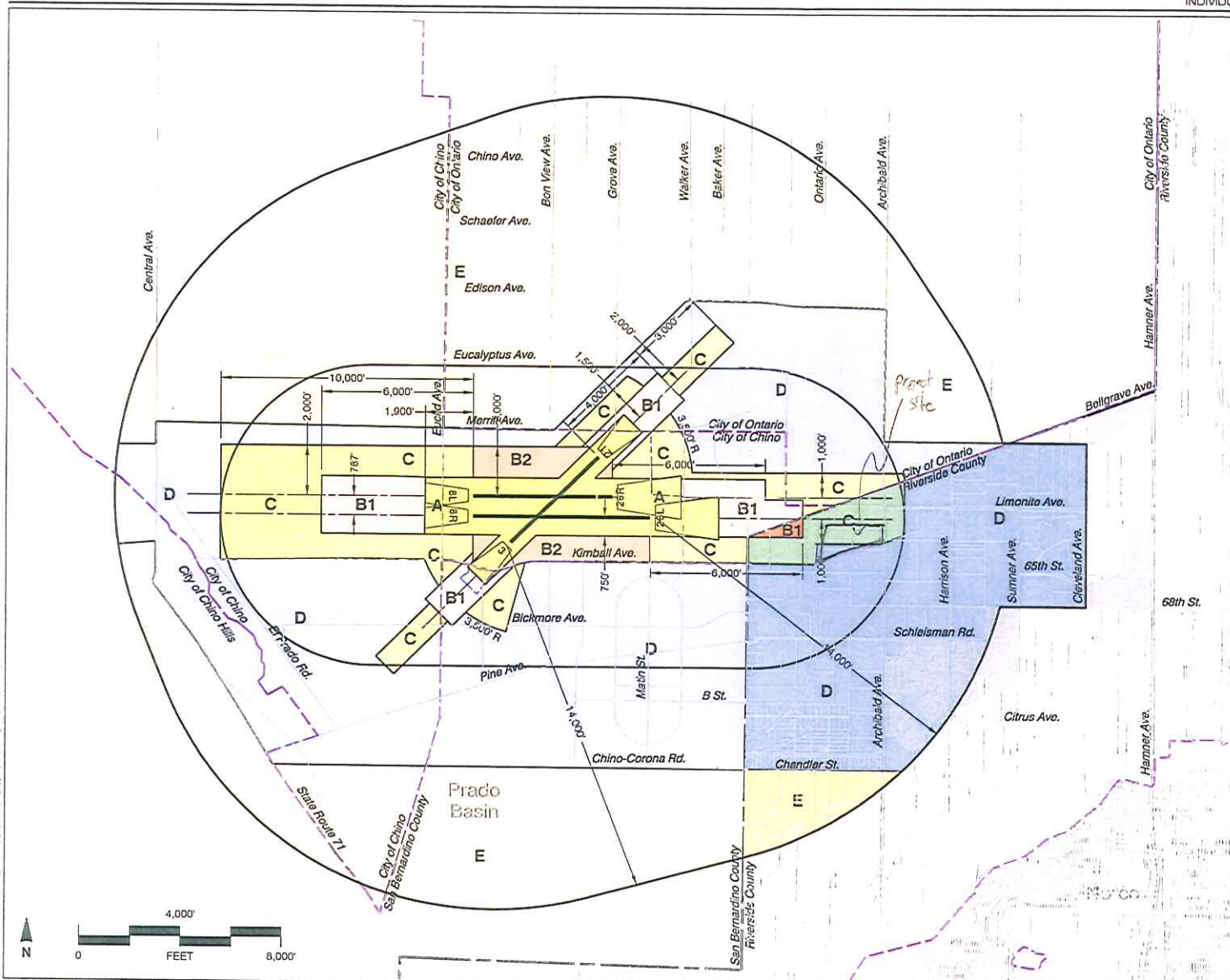
On all three buildings, in particular building 5 though, will the fire sprinkler system be enhanced beyond code requirements? Just having a fire sprinkler system per code requirements isn't a qualifying factor for bonus. It'd be good for at least building 5 to have it since then it can at least provide for 3 of the factors to justify the bonus amount.

**Russell Brady**  
Riverside County Airport Land Use Commission  
ALUC Planner

4080 Lemon Street, 14<sup>th</sup> Floor

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)(13)(A)



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary\*
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- City Limits
- County Line

**Note**

Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A, and the Additional Compatibility Policies for Chino Airport for compatibility criteria associated with this map.

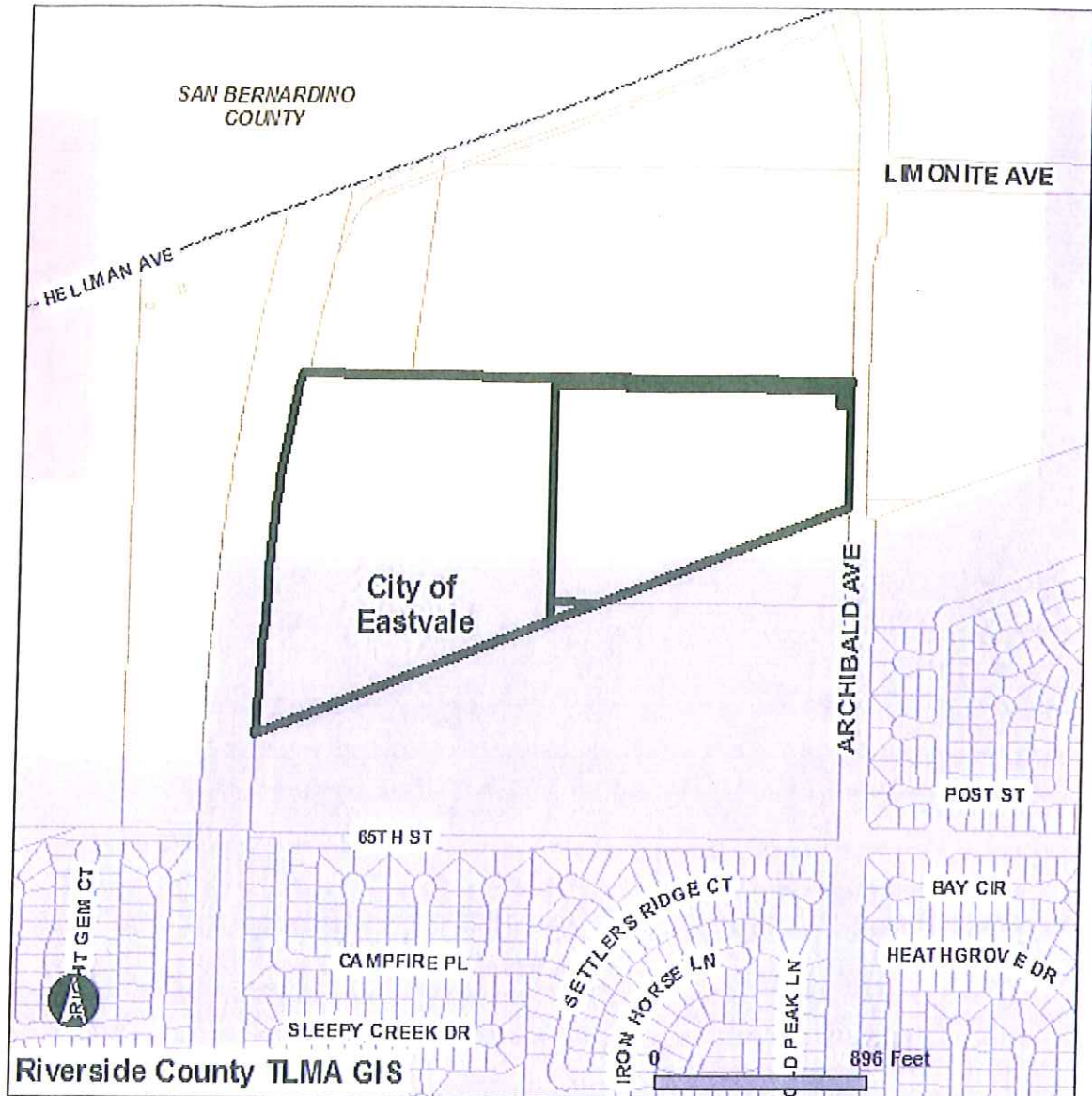
\*The policies in this plan apply only to the portions of the airport influence area lying within Riverside County. Compatibility Zones in San Bernardino County are shown only to provide context for the Riverside County area.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
 (Adopted September 2008)

Map CH-1

**Compatibility Map**  
 Chino Airport

RIVERSIDE COUNTY GIS



Selected parcel(s):  
 144-010-002 144-010-033 144-010-037 144-010-038

**AIRPORTS**

- |  |                       |                      |                      |
|--|-----------------------|----------------------|----------------------|
| <input type="checkbox"/> SELECTED PARCEL         | INTERSTATES           | HIGHWAYS             | PARCELS              |
| <input type="checkbox"/> AIRPORT INFLUENCE AREAS | COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE C | COMPATIBILITY ZONE D |

**\*IMPORTANT\***

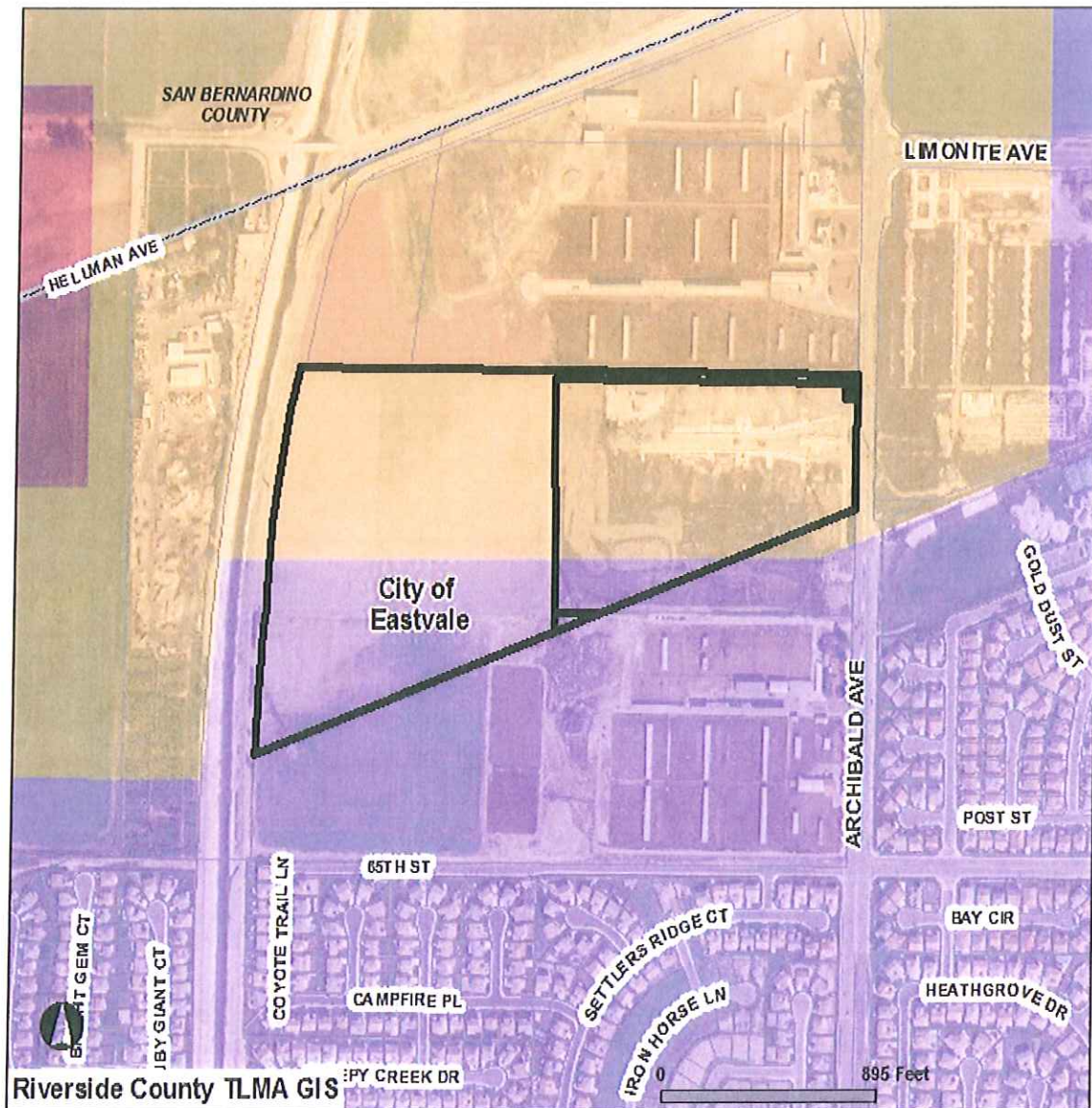
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jun 06 16:29:27 2013

Version 130225



RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

AIRPORTS

- |                         |                       |                      |                      |
|-------------------------|-----------------------|----------------------|----------------------|
| SELECTED PARCEL         | INTERSTATES           | HIGHWAYS             | PARCELS              |
| AIRPORT INFLUENCE AREAS | COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE C | COMPATIBILITY ZONE D |

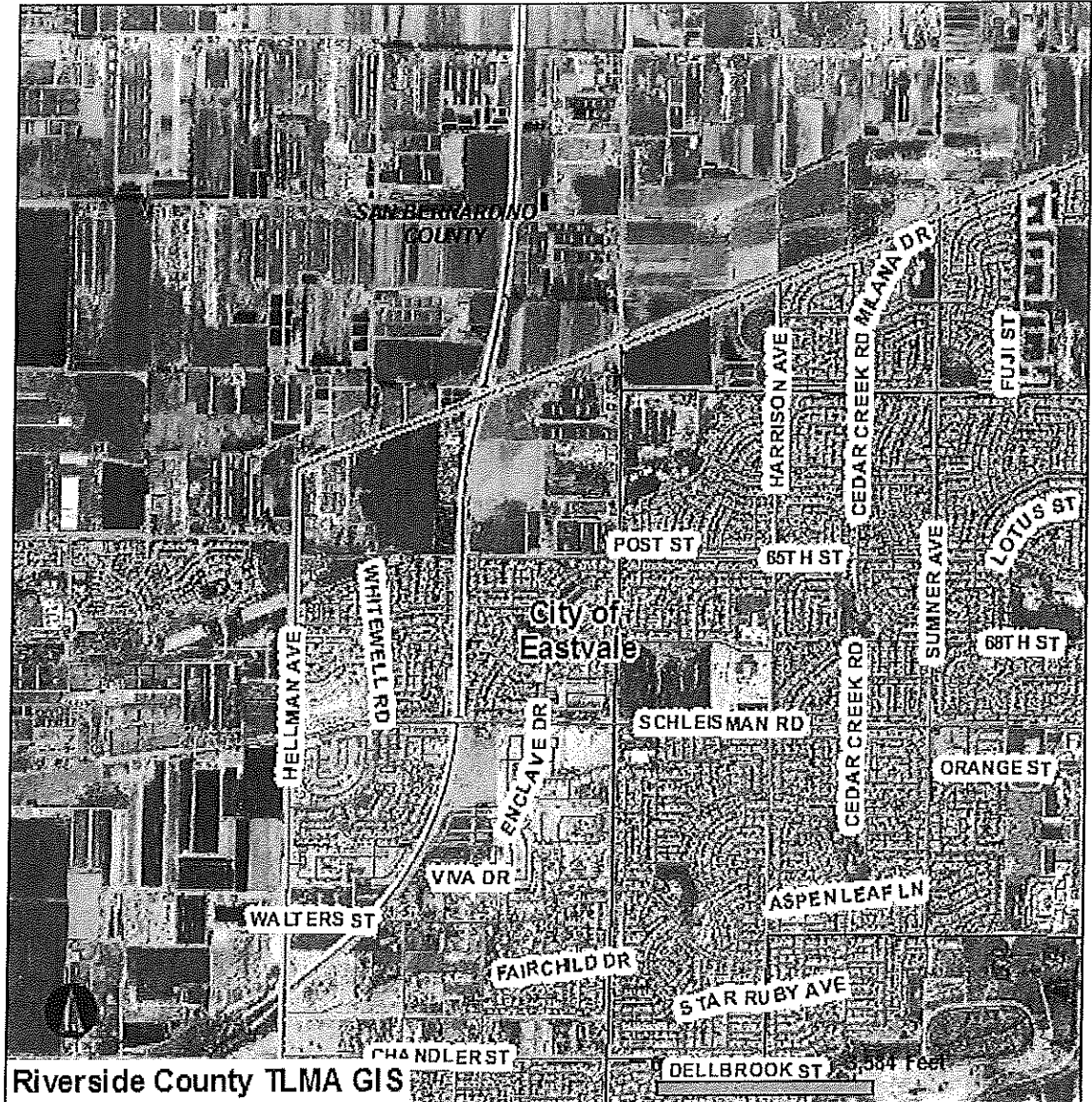
**\*IMPORTANT\***

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REPORT PRINTED ON...Wed Jun 26 12:53:02 2013

Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

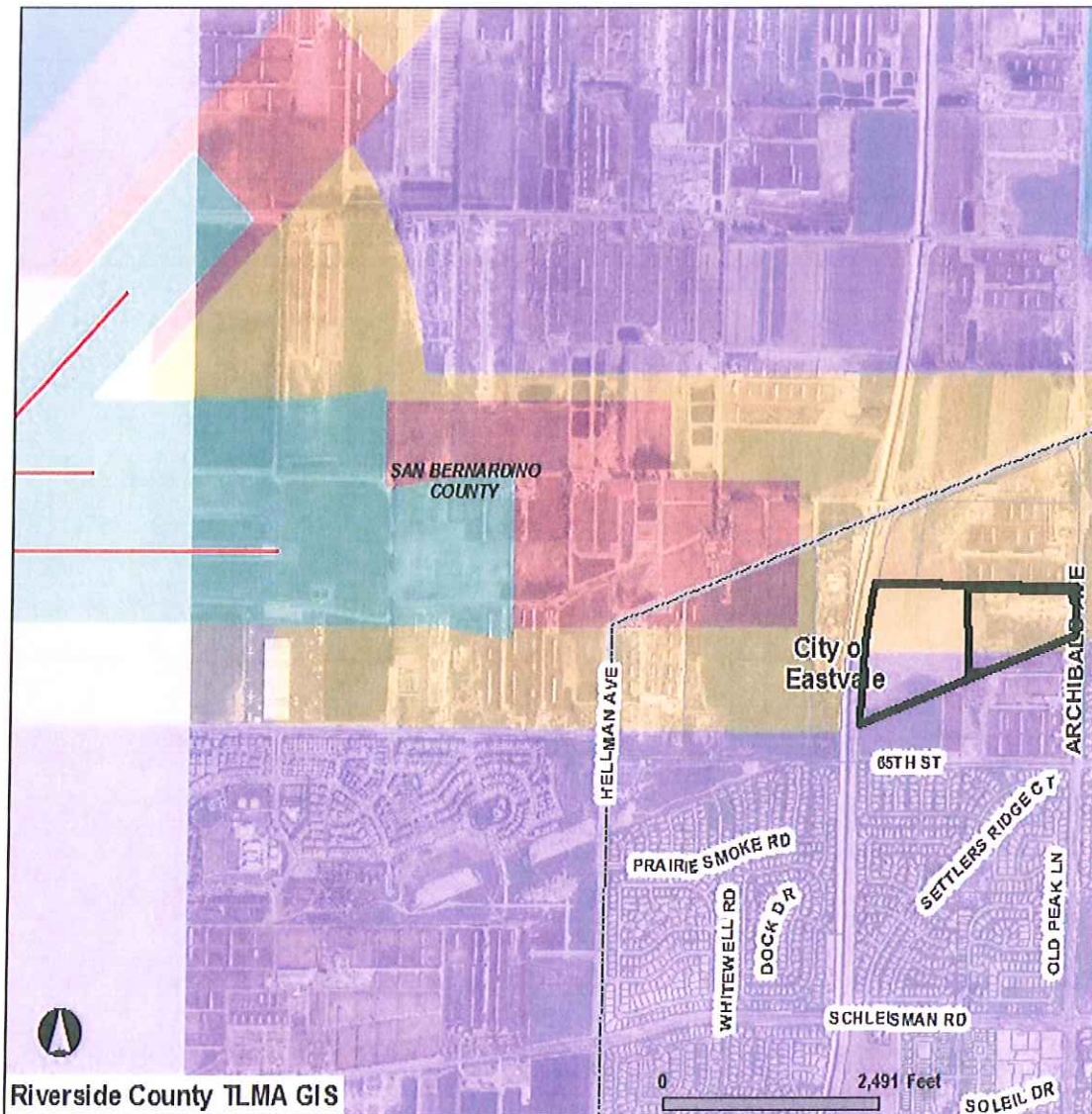
**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

AIRPORTS

- |                         |                      |                       |                       |
|-------------------------|----------------------|-----------------------|-----------------------|
| SELECTED PARCEL         | INTERSTATES          | HIGHWAYS              | PARCELS               |
| AIRPORT INFLUENCE AREAS | COMPATIBILITY ZONE A | COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2 |
| COMPATIBILITY ZONE C    | COMPATIBILITY ZONE D | COMPATIBILITY ZONE E  |                       |

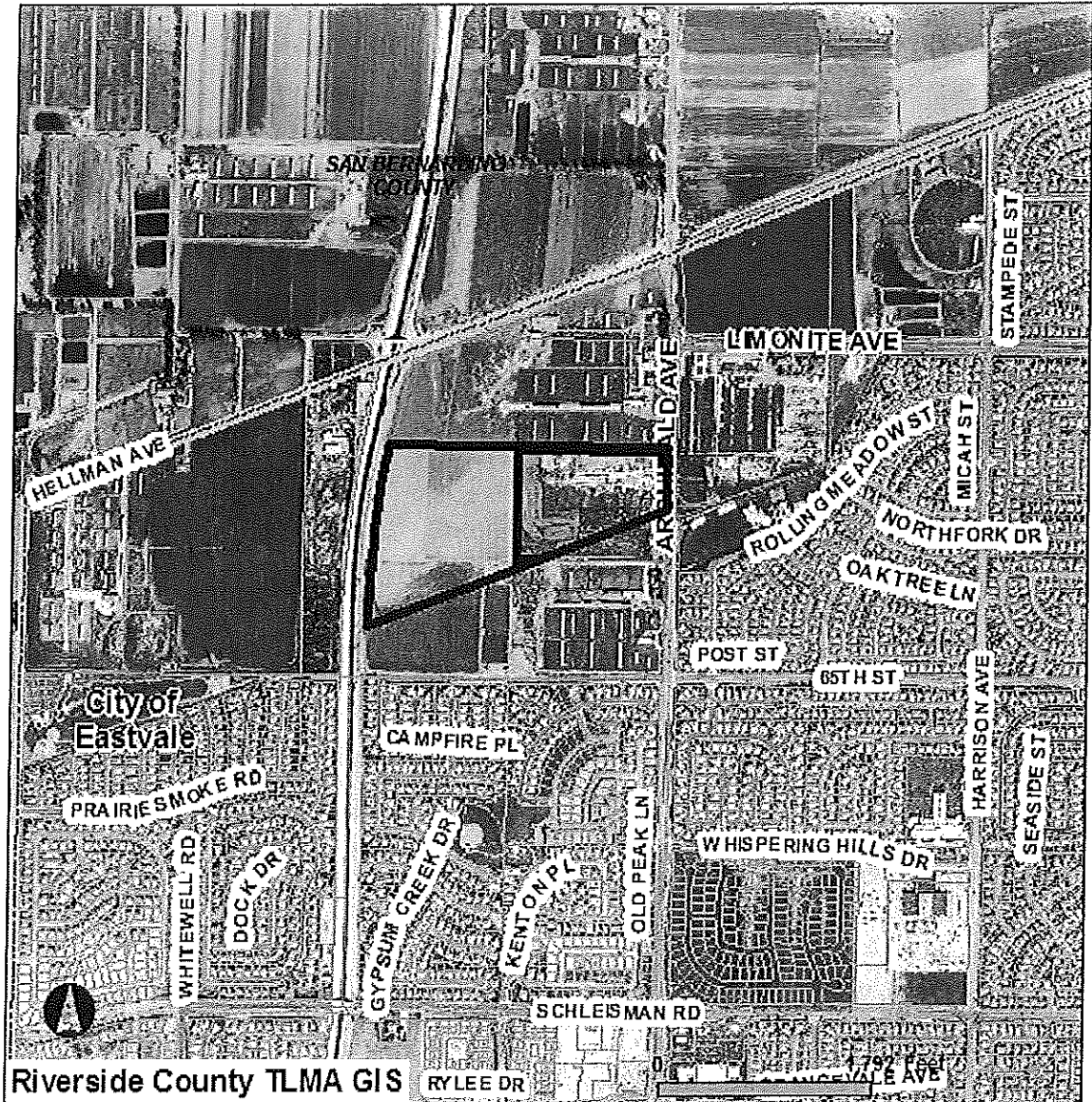
**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

**\*IMPORTANT\***

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REPORT PRINTED ON...Thu Jun 27 11:40:16 2013

Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

LEGEND

- SELECTED PARCEL
- INTERSTATES
- HIGHWAYS
- PARCELS
- CITY

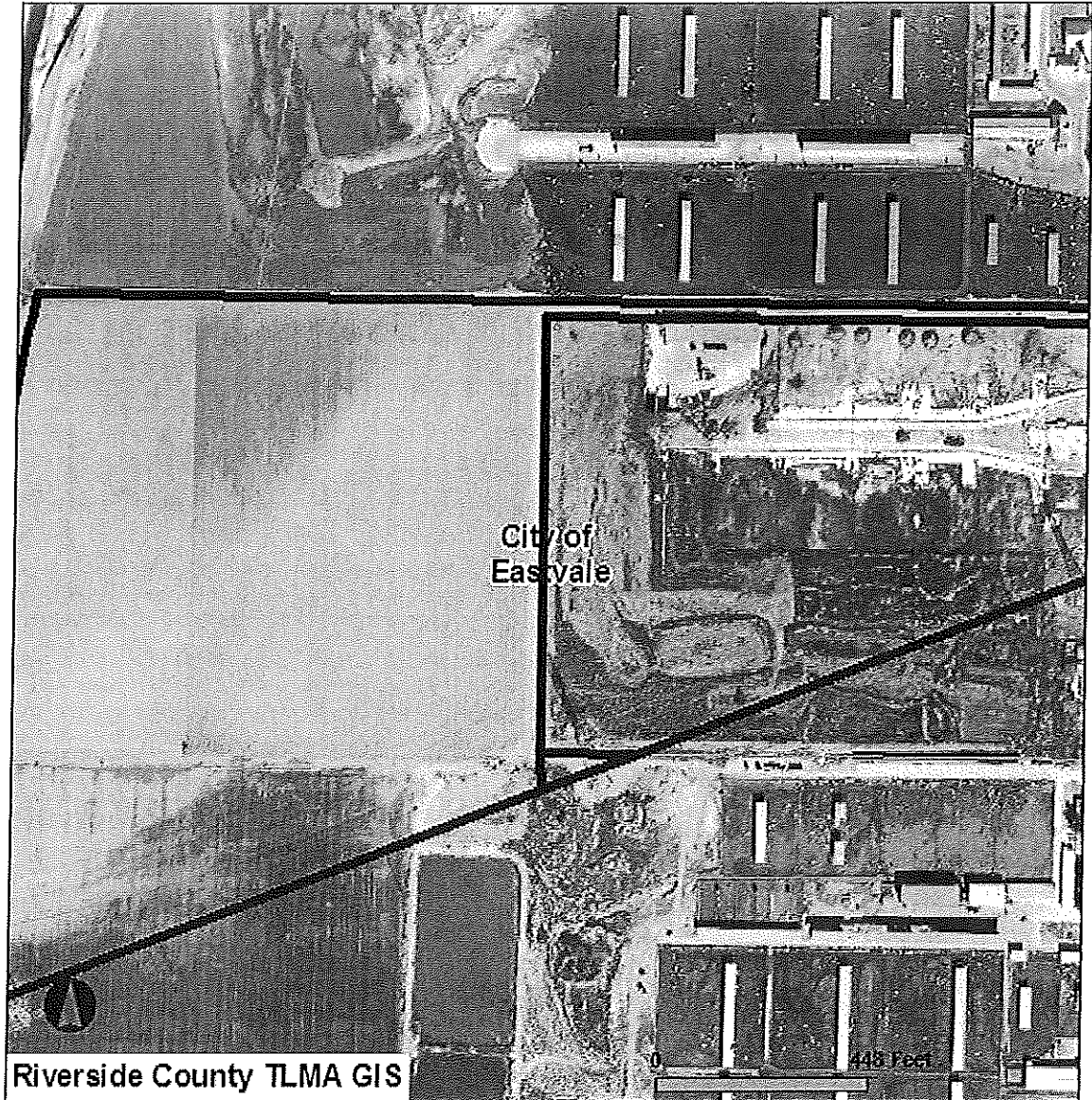
**\*IMPORTANT\***

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REPORT PRINTED ON...Wed Jun 26 12:52:24 2013

Version 130523

RIVERSIDE COUNTY GIS



**Selected parcel(s):**  
144-010-002 144-010-033 144-010-037 144-010-038

**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jun 27 11:38:33 2013

Version 130523

Max Single Acre Scenario w bldg partials and reduced people per sq ft for office and use reduction, no office in overlap, warehouse included														
Use	1 person per	Buildings												
		1A/1B	2	3	4	5	6	7	8	9	10	11	12	All
total 210x210 area in bldg(s)		42,500	42,900	26,600	19,000	36,700	38,850	39,300	39,200	39,200	39,450	39,400	42,900	
overlap area in 210x210		0	0	0	8,400	3,100	9,450	8,400	6,000	4,000	2,000	0	0	
210x210 in specific bldg		42,500	42,900	26,600	10,600	33,600	29,400	30,900	33,200	35,200	37,450	39,400	42,900	
Office	200	7,000	3,500	3,500	8,400	28,000	3,500	3,500	3,500	3,500	3,500	3,500	4,500	75,900
Manufacturing	200	17,000	17,170	5,775	0	0	17,925	17,175	15,425	13,725	13,000	11,320	20,200	148,715
Warehouse	500	18,500	22,230	17,325	0	0	17,425	18,625	20,275	21,975	22,950	24,580	18,200	202,085
Retail	115	0	0	0	10,600	3,100	0	0	0	0	0	0	0	13,700
Medical Office	100	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	300	0	0	0	0	0	0	0	0	0	0	0	0	0
Utility/Non-Occupant	0	0	0	0	0	5,600	0	0	0	0	0	0	0	5,600
Total sq ft	-	42,500	42,900	26,600	19,000	36,700	38,850	39,300	39,200	39,200	39,450	39,400	42,900	446,000
Total People		157	148	81	134	167	142	141	135	130	128	123	160	1,646
Total Average													53.34	31
Notes		restrict office to 7,000 sq ft and manufacturing to 17,000 sq ft for each side	excludes warehouse area not in 210x210 area, office and manufacturing per orig site plan	office and manufacturing per orig site plan	includes portion of bldg 5 office	restrict total office to 28,000 leaseable area and includes portion of bldg 4 retail	excludes warehouse area not in 210x210 area, but includes bldg 7 portion of manufacturing, office and manufacturing per orig site plan	excludes warehouse area not in 210x210 area, but includes bldg 6 portion of manufacturing, office and manufacturing per orig site plan	excludes warehouse area not in 210x210 area, but includes bldg 9 portion of manufacturing, office and manufacturing per orig site plan	excludes warehouse area not in 210x210 area, but includes bldg 8 portion of manufacturing, office and manufacturing per orig site plan	excludes warehouse area not in 210x210 area, but includes bldg 11 portion of manufacturing, office and manufacturing per orig site plan	excludes warehouse area not in 210x210 area, office and manufacturing per orig site plan		





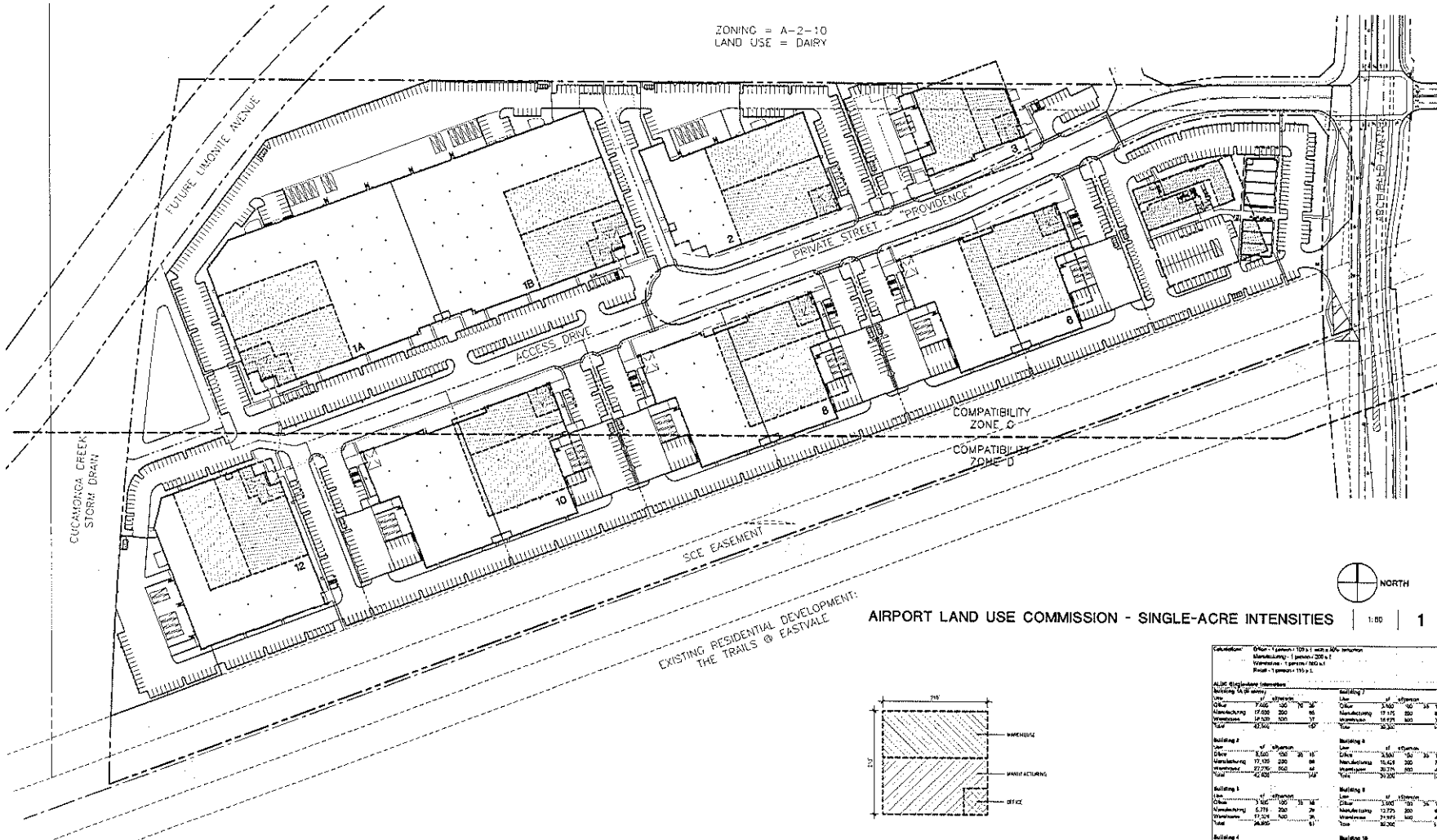




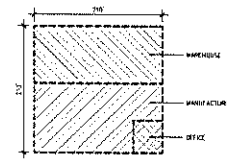
**PROVIDENCE BUSINESS PARK  
MASTER PLAN**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

ZONING = A-2-10  
LAND USE = DAIRY



**AIRPORT LAND USE COMMISSION - SINGLE-ACRE INTENSITIES** | 1:00 | 1



**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION NOTES**

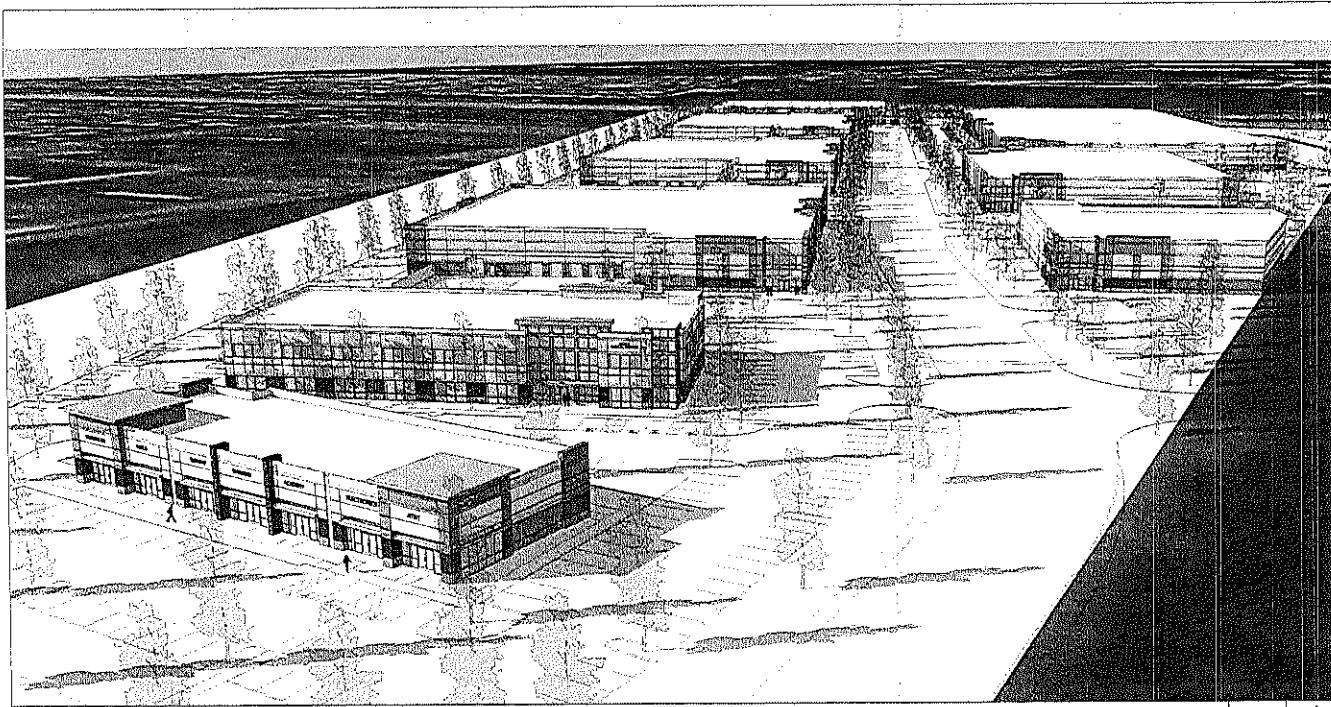
- NOTES:**
- \* SITE PLANS WITHIN AIRPORT LAND USE ZONES C & D
  - \* BUILDINGS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 MUST BE DESIGNED AND BUILT WITH 3 OUT OF THE FOLLOWING 7 FEATURES: 1. Heavy concrete walls. Limiting the number and size of windows; 2. Reinforced concrete slabs. Limiting the number and size of windows; 3. Reinforced concrete slabs. Limiting the number and size of windows; 4. Reinforced concrete slabs. Limiting the number and size of windows; 5. Reinforced concrete slabs. Limiting the number and size of windows; 6. Reinforced concrete slabs. Limiting the number and size of windows; 7. Reinforced concrete slabs. Limiting the number and size of windows.
  - \* CURRENT DESIGN FEATURES: BUILDING 1 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 2 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 3 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 4 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 5 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 6 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 7 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 8 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 9 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls. BUILDING 10 - Concrete walls, hollow columns, reinforced pre-cast concrete slabs, single story, increased walls.
  - \* SINGLE-ACRE INTENSITY FIGURES ARE SPECULATIVE ONLY ANY TENANT REPRESENTATIVE MUST RESEARCH INTENSITIES ABOVE LISTED MAXIMUMS FOR ANY SMALL ALLOC. REQUIRES ALLOC REVIEW AND APPROVAL.

Building	Use	Area	Intensity	Total
Building 1	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 2	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 3	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 4	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 5	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 6	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 7	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 8	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 9	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>
Building 10	Office	12,000	200	2,400,000
	Manufacturing	17,000	200	3,400,000
	Warehouse	18,000	100	1,800,000
	<b>Total</b>	<b>47,000</b>		<b>7,600,000</b>

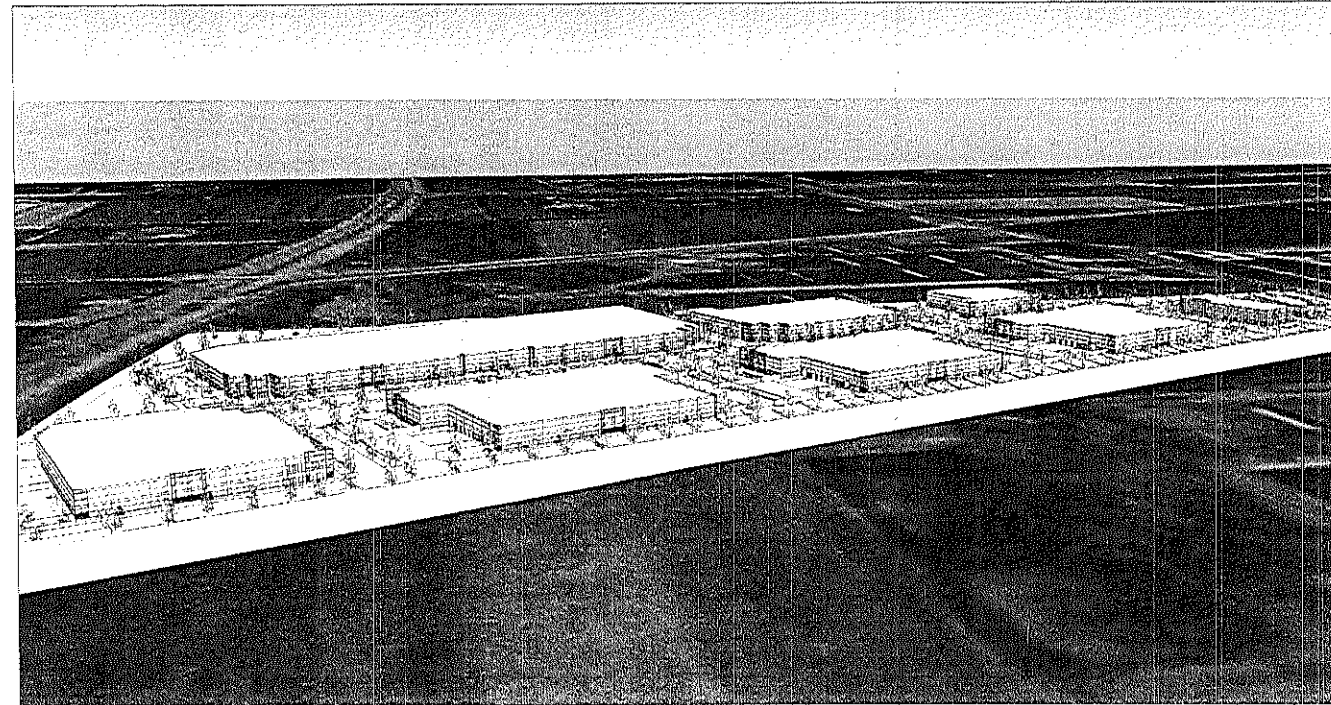
NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-17
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-18
3	DEVELOPMENT REVIEW SUBMITTAL	100

**AIRPORT LAND USE COMMISSION SINGLE-ACRE INTENSITIES**

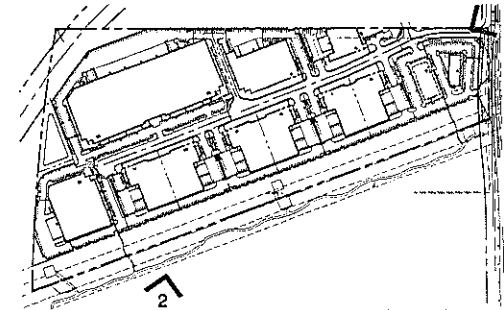




PROJECT AERIAL | N.T.S. | 1



PROJECT AERIAL | N.T.S. | 2



SITE REFERENCE | N.T.S. | 3

# G|A|A ARCHITECTS

8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

## PROVIDENCE BUSINESS PARK MASTER PLAN

ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED BY:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW SUBMITTAL	12-11-12
△	DEVELOPMENT REVIEW SUBMITTAL	6-13

### AERIAL RENDERINGS

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JOB NO. PC008-01  
DATE: 12/07/12  
DRAWN BY: GAA  
FILE NAME: PC008-12

SHEET NO.  
**T2**

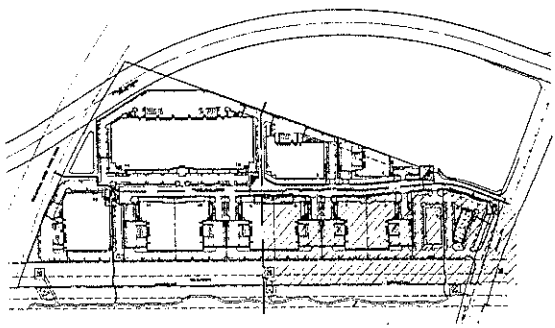
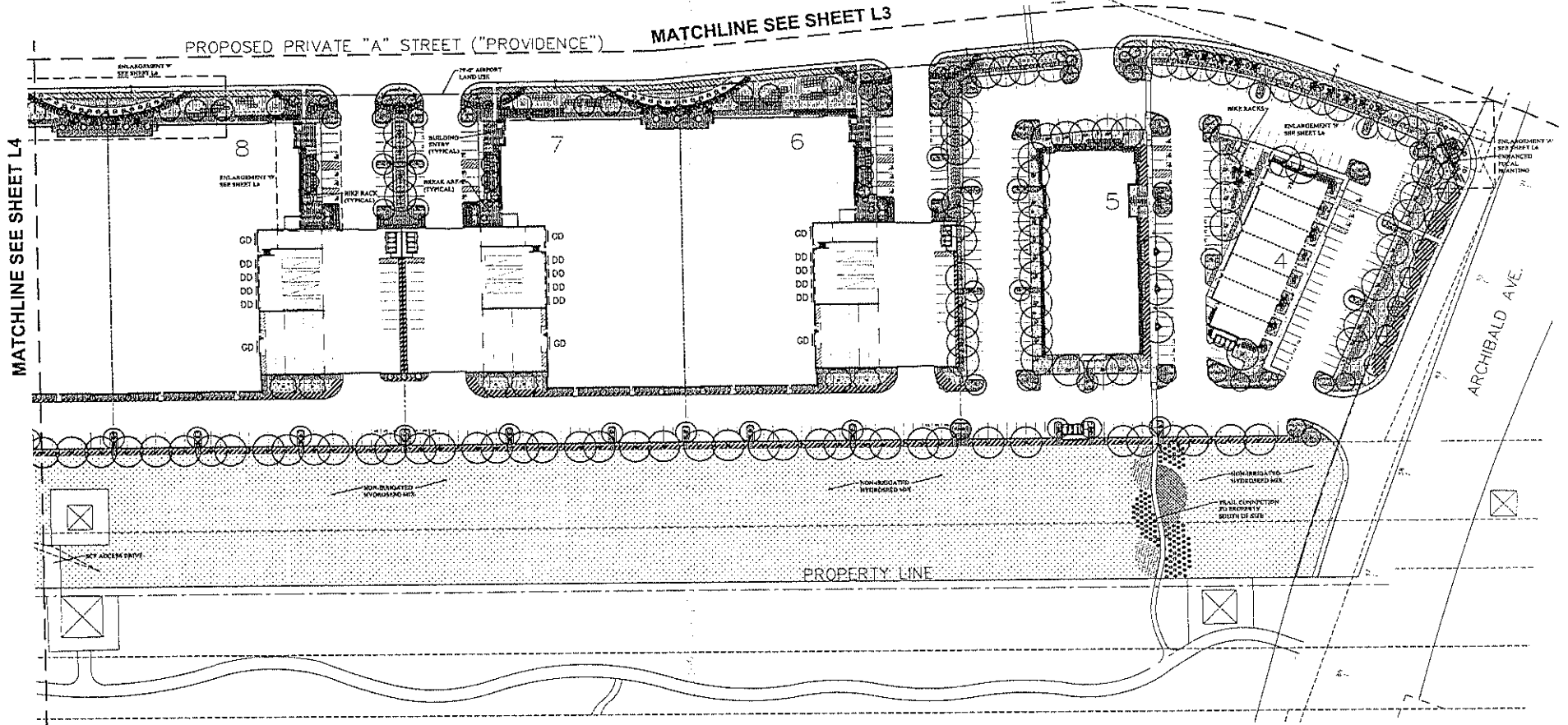












REFERENCE MAP SCALE: 1" = 300'-0"

**PLANT LEGEND** WUCOLS REGION 4 Plant Types: HIGH-3, MEDIUM-1, LOW-3

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
⊙	CERATIUM FLOERIDUM	BLUE PALM VIBRANT MULTI TRUNK	4" BOX	78	LOW
⊙	CITRUS WASHINGTONI	NAVAL SEAMORSE	34" BOX	31	LOW
⊙	CITRUS TASHIROENSIS	NCH	34" BOX	49	LOW
⊙	LATHRISTROPHIA	WINKOODIE MULTI TRUNK	14" BOX	20	HRD
⊙	SIAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	34" BOX	7	HRD
⊙	PICALYPTUS POLYANTHEMUS	SILVER DOLLAR GUM	34" BOX	36	LOW
⊙	KOELARUTERIA PANICULATA	INKLEBERRY TREE	34" BOX	14	HRD
⊙	COTINUS COCORONIA	SMOKY TREE	34" BOX	54	LOW
⊙	SCHNUS MULLER	CALIFORNIA PEPPER	34" BOX	15	LOW
⊙	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	34" BOX	57	LOW
⊙	OLEA PREGONAZA	YRAN HILL MULTI TRUNK	14" BOX	6	LOW
⊙	WASHINGTONIA ROSSII	MEXICAN FAN PALM	1" STB	25	LTH
⊙	QUERCUS VIBORNIANA	SOUTHERN LIVE OAK	34" BOX	347	LOW

**PLANT LEGEND** WUCOLS REGION 4 Plant Types: HIGH-3, MEDIUM-1, LOW-3

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
⊙	ADONIS AMERICANA	CENTURY PLANT	5 GAL	14	LOW
⊙	ADONIS BLEU GLOU	BLUE GLOU	5 GAL	49	LOW
⊙	ADONIS VILMORINIANA	DICTION'S ADONIS	5 GAL	28	LOW
⊙	ADONIS LINDRO	DIKARF STRAWBERRY WIGGITS	5 GAL	11	LOW
⊙	CALLISTEMON LITTLE JOHN	DIKARF BOTTLE BRUSH	5 GAL	1,937	LOW
⊙	CISTUS PURPLEUS	ORCIDI ROSEWOOD	5 GAL	349	LOW
⊙	COTONASTER LACTYFUS	COTONASTER	5 GAL	40	LOW
⊙	DARYLION WHISLERI	DEBIST MOON	5 GAL	411	LOW
⊙	FLAEGELUS PUNDOUS	SILVERBERRY	5 GAL	411	LOW
⊙	ESCHINOCACTUS GRUNDENS	GOLDEN BARREL CACTUS	5 GAL	44	LOW
⊙	MESPERALUS PARVIFLORA	RED YUCCA	5 GAL	1,157	LOW
⊙	JUNPERUS V. KEYHOLE	KEYHOLE JUNPER	15 GAL	11	LOW
⊙	ULUCORPELUM PAUTSCORNI	IRRAWADDI	5 GAL	748	LOW
⊙	WIBLENBERGIA CAPILLARIS	REGAL WIST	5 GAL	346	LOW
⊙	YARPOGATED FOUNTAIN	YARPOGATED FOUNTAIN	5 GAL	1,273	LOW
⊙	SOXA PILGOSA	JAPANESE BUMP	5 GAL	240	LOW
⊙	DIETICUS RUCCINARIA	BLOOD RED BRAGPPE VINE	5 GAL	4	HRD

**PLANT LEGEND** WUCOLS REGION 4 Plant Types: HIGH-3, MEDIUM-1, LOW-3

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
⊙	ACACIA REDOLENS	PROSTRATE REDOUCHE	1 GAL	6,497	LOW
⊙	CONYLIUS SABATIS	GROUND MORNING GLORY	1 GAL	6,747	LOW
⊙	COTONASTER DAMMIRI	PROSTRATE COTONASTER	1 GAL	6,747	LOW
⊙	COTONASTER	COTONASTER	1 GAL	6,747	LOW
⊙	GAETOPHYLLUM	WINDY ALICE	1 GAL	6,747	LOW
⊙	LANTANA NEW GOLD	YELLOW LANTANA	1 GAL	6,747	LOW
⊙	NASSELLA TENNISISSA	MEXICAN FEATHER GRASS	1 GAL	6,747	LOW
⊙	MYOPORDUM PARVIFOLIUM	PROSTRATE MYOPORDUM	PLANT	6,747	LOW
⊙	ROSMARINUS	HUNTINGTON CARPET	1 GAL	6,747	LOW
⊙	SEMPICO MERRINI	RED CHALK STICKS	1 GAL	6,747	LOW

SEE SHEET L3 FOR LANDSCAPE LEGEND AND L1 FOR LANDSCAPE NOTES

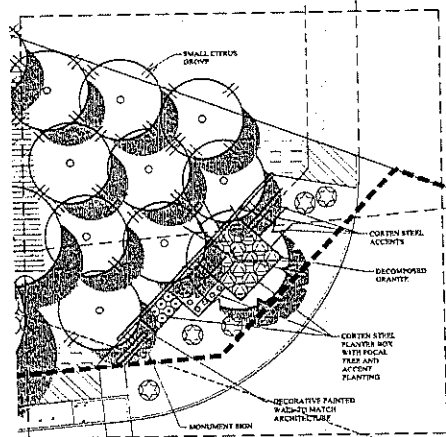
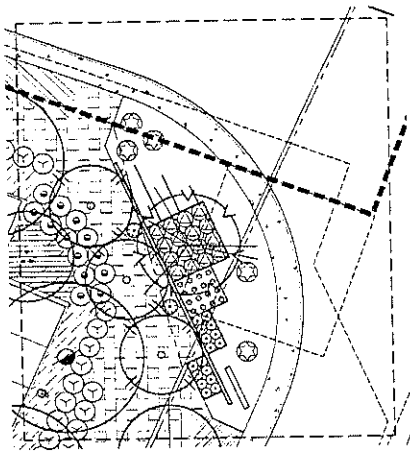
Prepared by:  
**EMERALD**  
 305 N. Harbor Blvd, Suite 222  
 Fullerton, California 92632  
 phone: (714) 680-0417  
 email: charles@emeraldslandscape.com  
 web: www.emeraldslandscape.com

**GIAA**  
 ARCHITECTS  
 8911 Research Drive,  
 Suite 200,  
 Irvine, CA 92618  
 T: 949-474-1778  
 F: 949-552-1123

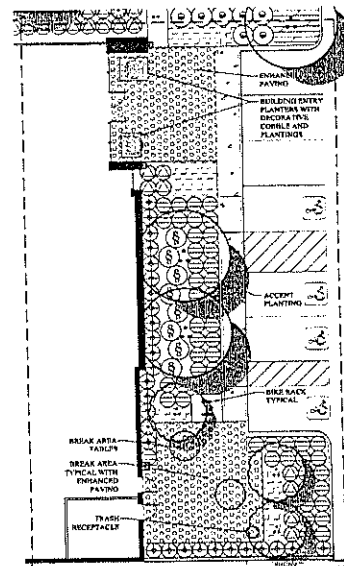
DEVELOPED FOR:  
 PROVIDENCE ARCHIBALD, LLC  
 3181 AIRWAY AVENUE, UNIT #22  
 COSTA MESA, CA 92626  
 (714) 918-0515

**EASTVALE BUSINESS PARK**  
 ARCHIBALD AVENUE  
 EASTVALE, CA 92880  
**L5**

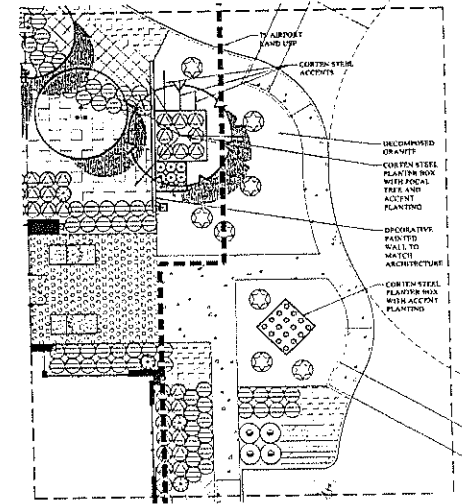
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**Landscape Conceptual Plan**  
 APRIL 25, 2011



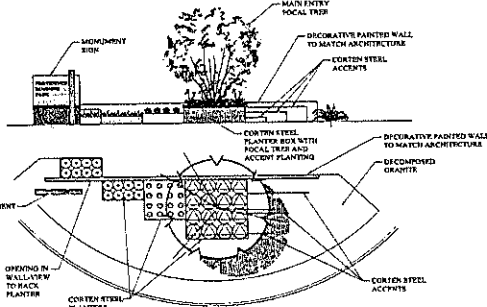
ENLARGEMENT 'C' CITRUS GROVE AND FOCAL ELEMENT  
SCALE 1" = 10'-0"



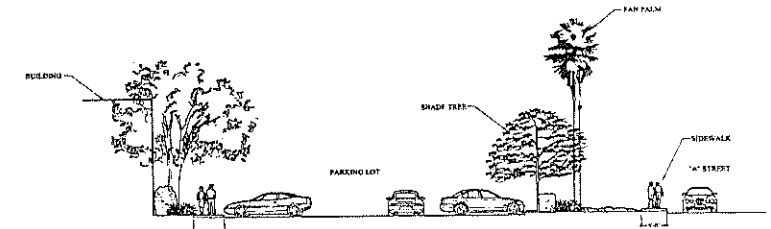
ENLARGEMENT 'D' BUILDING ENTRY AND BREAK AREAS  
SCALE 1" = 10'-0"



ENLARGEMENT 'F' BUILDING ENTRY AND FOCAL ELEMENT  
SCALE 1" = 10'-0"

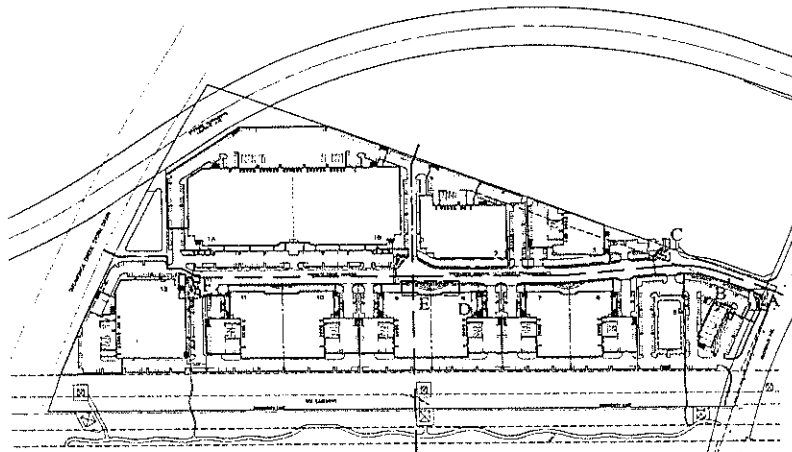


ENLARGEMENT 'A' MAIN ENTRY PLANTING & FOCAL ELEMENT  
SCALE 1" = 10'-0"



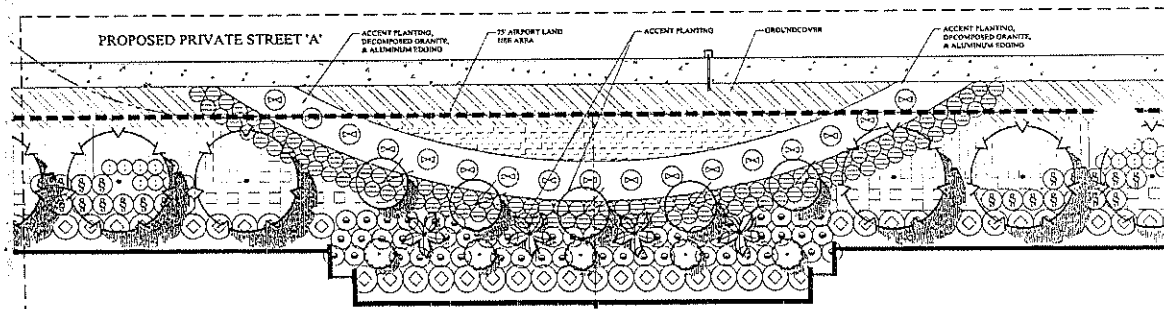
ENLARGEMENT 'B' STREET SECTION 'A'

SCALE 1" = 10'-0"



REFERENCE MAP

SCALE: 1" = 100'-0"



ENLARGEMENT 'E' SAMPLE PLANTING AT BUILDING

SCALE 1" = 10'-0"

Prepared by:  
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DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC  
3151 AIRWAY AVENUE, UNIT #2  
COSTA MESA, CA 92626  
(714) 918-0515

**EASTVALE BUSINESS PARK**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

**L6**

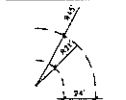
0 10' 20' 30' 40'

**Landscape Conceptual Plan**  
APRIL 25, 2013



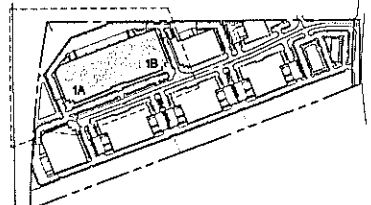


INVERTS FOR TURNING RADIUS

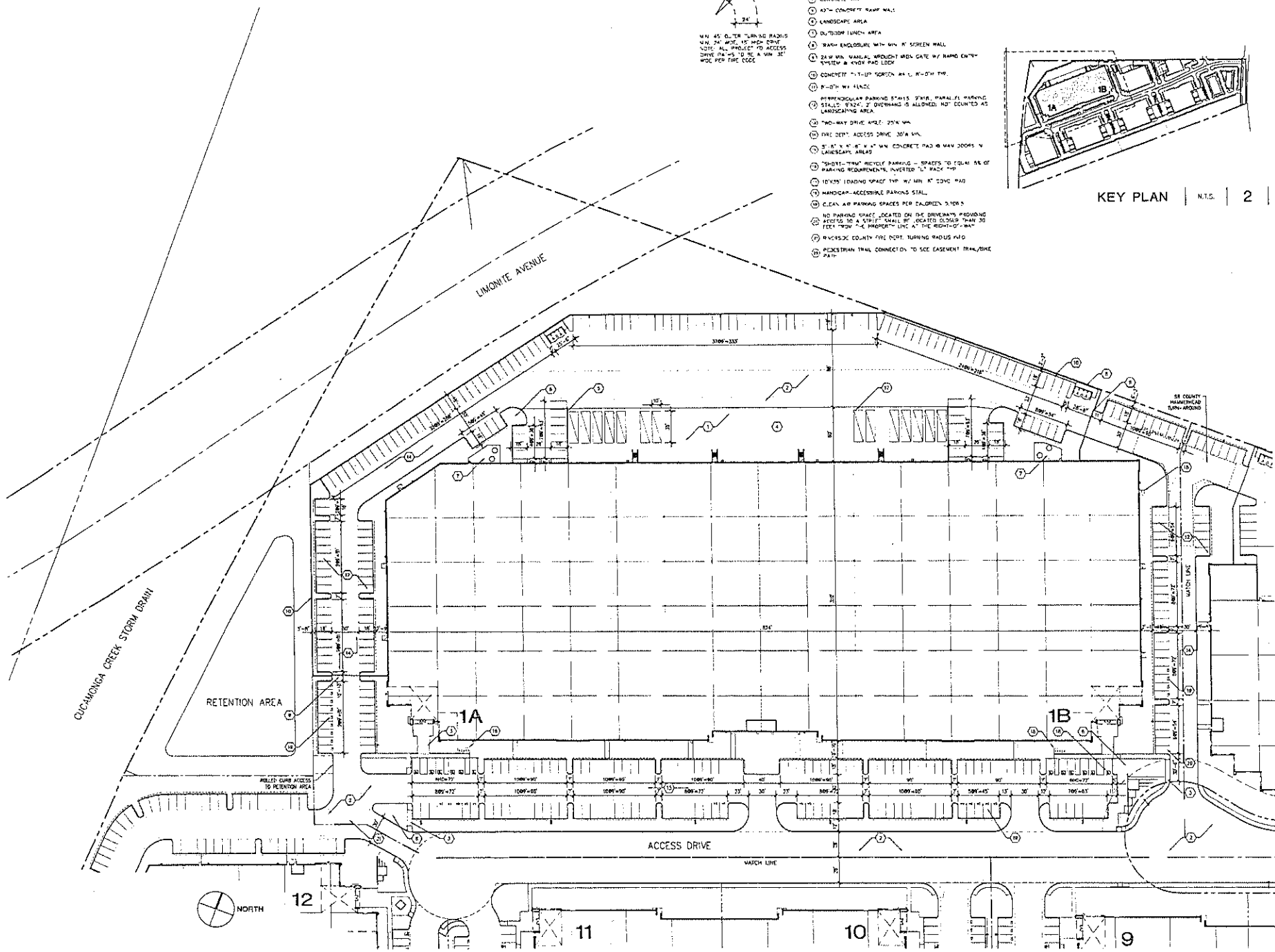


KEYNOTES - SITE PLAN

- ① 4" THICK MIN. REINFORCED CONCRETE TRUCK APPROX.
- ② ASPHALT
- ③ CONCRETE WALKWAY
- ④ CONCRETE RAMP
- ⑤ 45° CONCRETE RAMP WALL
- ⑥ LANDSCAPE AREA
- ⑦ OUTSIDE LUNCH AREA
- ⑧ RAMP ENCLOSURE WITH MIN. 4' SCREEN WALL
- ⑨ 24" MIN. MANUAL WEIGHT HDLN. GATE W/ RAMP ENTRY SYSTEM & OVER PASS LOCK
- ⑩ CONCRETE 7.5" THICK SECTION W/ 4" MIN. O.C. TRP.
- ⑪ 8'-0" W/ FENCE
- ⑫ RECTANGULAR PARKING STALLS 21' MIN. PARALLEL PARKING STALLS 9'x24'. 2' OVERHANG IS ALLOWED. NOT COUNTED AS LANDSCAPING AREA.
- ⑬ 100-WAY DRIVE W/ 20' W/ MIN.
- ⑭ FIRE DEPT. ACCESS DRIVE 30' W/ MIN.
- ⑮ 8'x12' x 8'x12' x 4" MIN. CONCRETE PAD @ MAIN DOORS W/ LANDSCAPING AREAS
- ⑯ "SHORT-TURN" VEHICLE PARKING - SPACES TO COLAN AS OF PARKING REQUIREMENTS. INVERTED "L" PAD @ TD
- ⑰ 10'x15' LEADING SPACE 10' W/ MIN. 4" CONC. PAD
- ⑱ HANDICAP-ACCESSIBLE PARKING STALL
- ⑲ CLEAN AIR PARKING SPACES PER CALIFORNIA 5108.2
- ⑳ NO PARKING SPACE LOCATED ON THE DRIVEWAY PROVIDING ACCESS TO A 100'x12' DRIVEWAY (LOCATED TO BE 30' FROM THE RIGHT-OF-WAY)
- ㉑ REVERSE COUNTY FIRE DEPT. TURNING RADIUS PDG
- ㉒ PEDESTRIAN TRAIL CONNECTION TO SEE EASEMENT FROM/TOE PAD



KEY PLAN | N.T.S. | 2

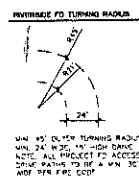
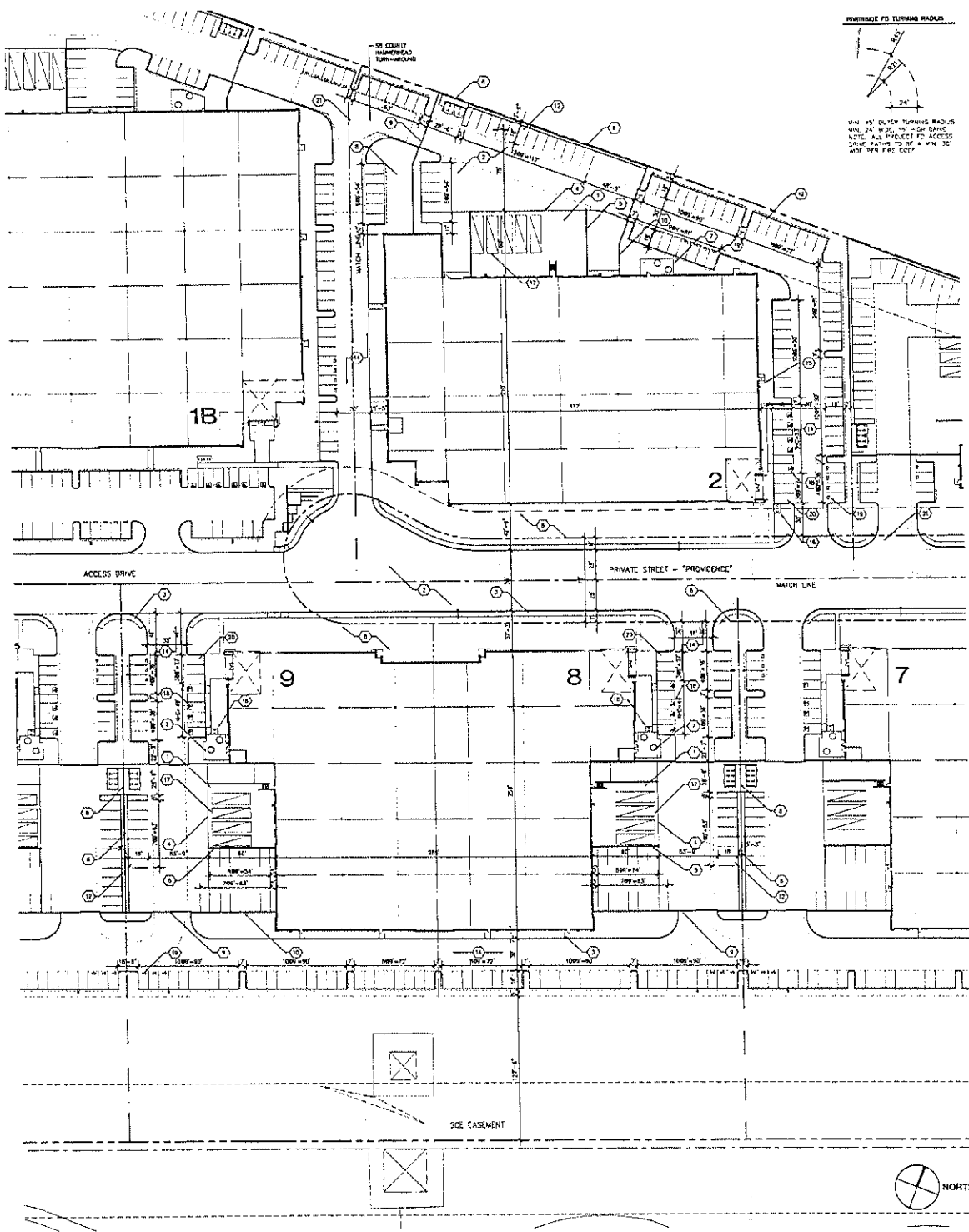


NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW	7-13-17
△	DEVELOPMENT REVIEW 3RD	7-18-17

NORTHWEST QUADRANT  
ENLARGED SITE

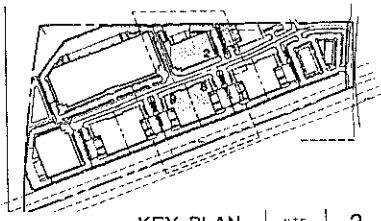
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JOB NO.	PICCS 01	SHEET NO.
DATE	12/27/17	A.1.2
DRAWN BY	CAA	
FILE NAME	PICCS_1.2	



**KEYNOTES - SITE PLAN**

- ① AT THICK VIN REINFORCED CONCRETE TRUCK ARRON
- ② ASPHALT
- ③ CONCRETE WALKWAY
- ④ CONCRETE PAWP
- ⑤ 12" CONCRETE PAWP WALL
- ⑥ LANDSCAPE AREA
- ⑦ OUTDOOR LUNCH AREA
- ⑧ TRASH ENCLOSURE WITH VIN 8' SCREEN WALL
- ⑨ 24" VIN MANHOLE BROUGHT IRON GATE W/ RAMP ENTRY SYSTEM W PAWP PAD 1000'
- ⑩ CONCRETE TILT-UP SCREEN WALL, 8'-0" THK
- ⑪ 4'-0" W/ FENCE
- ⑫ REINFORCED CONCRETE STAIRS: PARALLEL PARKING STALLS: 8'-0" W/ OVERHANG IS ALLOWED, NOT COUNTED AS LANDSCAPING AREA
- ⑬ TWO-WAY DRIVE A/S/E 25' W VIN
- ⑭ FIRE DEPT ACCESS DRIVE, 30' W VIN
- ⑮ 5'-8" X 8'-0" X 4" VIN CONCRETE PAD @ MAX DOORS IN LANDSCAPE AREAS
- ⑯ "SHOULDER" BICYCLE PARKING - SPACES TO EQUAL 50% OF PARKING REQUIREMENTS, INVERTED W/ BRACKETS
- ⑰ 'DRIVE' LOADING SPACE THP W/ MAX 4' CONC PAD
- ⑱ HANDICAP-ACCESSIBLE PARKING STALL
- ⑲ CLEAN AIR PARKING SPACES PER CALIFORNIA S 104.2
- ⑳ NO PARKING SPACE LOCATED ON THE DRIVEWAYS PROVIDING ACCESS TO A "STREET" SHALL BE LOCATED CLOSER THAN 30 FEET FROM THE PROPERTY LINE AT THE "ROOF-OF-WAY"
- ㉑ RIVERVIEW COUNTY FIRE DEPT TURNING RADIUS (W/O)
- ㉒ PEDESTRIAN BRAL CONNECTION TO SEE EASEMENT TRAIL/DIPE PAGE



KEY PLAN | N.T.S. | 2 |

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PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED BY:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
△	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

MIDDLE QUADRANT  
ENLARGED SITE

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JOB NO.	PROVIDENCE	SHEET NO.
DATE:	12/07/12	A13
DRAWN:	GAA	
FILE NAME:	PROVIDENCE	





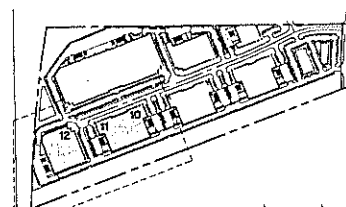
RIVERSIDE RD TURNING PAD



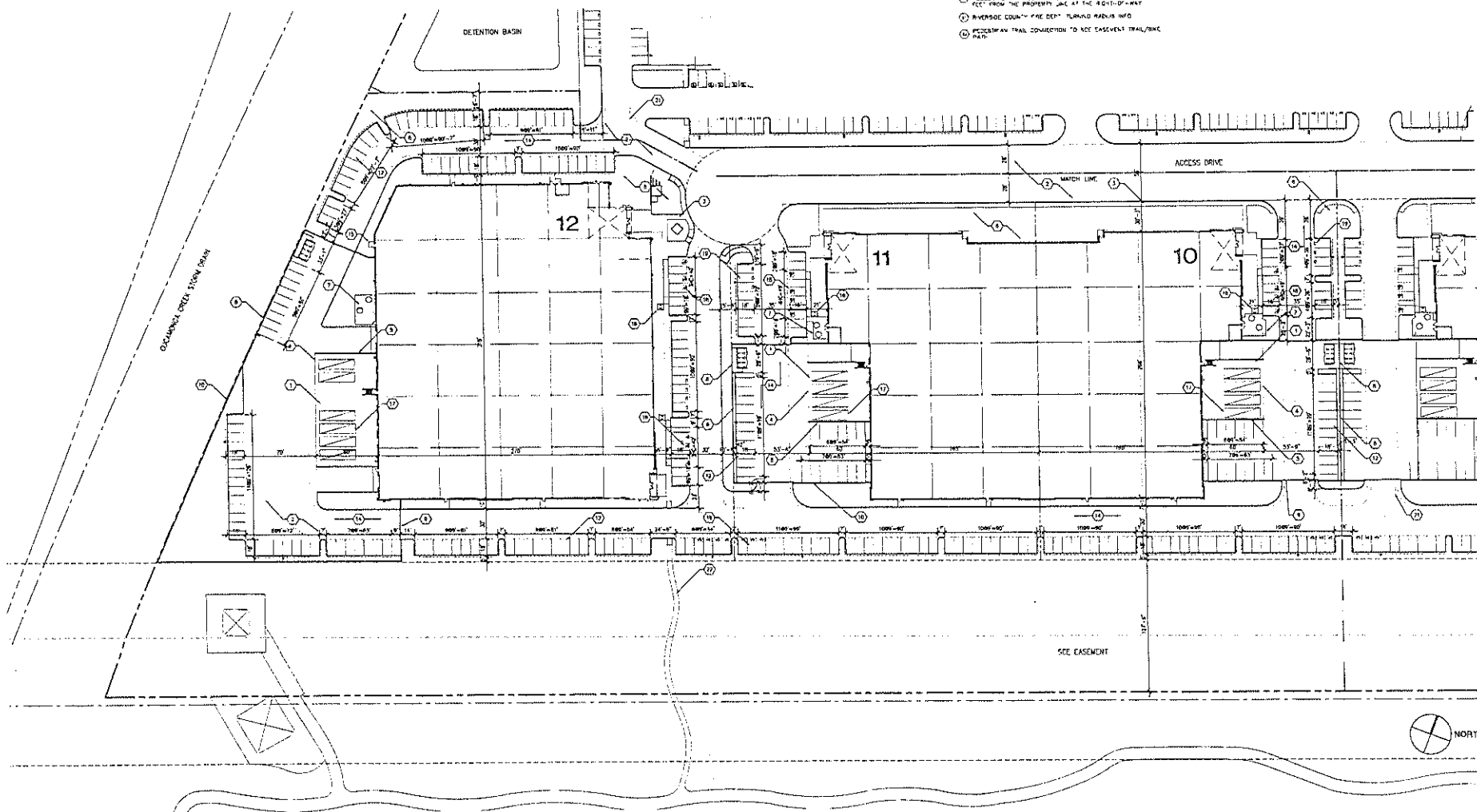
MIN. 4" DIA. TURNING PAD  
 MIN. 24" WIDE, 12" RAMP DRIVE  
 NOTE: ALL "PROJECT" TO ACCESS  
 DRIVE PARKING TO BE 4' MIN. 30"  
 WIDE PER A.P.C. CODE.

KEYNOTES - SITE PLAN

- 1 4" THICK MIN. REINFORCED CONCRETE TRUCK APPROX
- 2 ASPHALT
- 3 CONCRETE WALKWAY
- 4 CONCRETE RAMP
- 5 42" CONCRETE RAMP WALL
- 6 LANDSCAPE AREA
- 7 OUTDOOR LUNCH AREA
- 8 TRASH CHUTE/REUSE WITH WA. AT SCREEN WALL
- 9 24" MIN. MANUAL WINDUP 100' GATE W/ YARD ENTRY SYSTEM & PARKING LOT
- 10 CONCRETE 12'-0" HIGH SCREEN WALL, 8'-0" HIGH
- 11 6'-0" HIGH FENCE
- 12 PLANTING/PAVING PARKING STALLS 0.9' MIN. PARKING STALLS 0.9' MIN. 2' OVERHANG & ALDRICH NOT COUNTED AS LANDSCAPE AREA.
- 13 TWO-WAY DRIVE ASBL. 20' MIN
- 14 FIRE DEPT. ACCESS DRIVE 30' MIN
- 15 6'-0" x 8'-0" 2" MIN. CONCRETE PAD @ SAN DOORS IN LANDSCAPE AREAS
- 16 "SHORT" END BICYCLE PARKING - SPACES @ EQUAL OR EX. OR PARKING REQUIREMENTS, MARKED "L" MARK TWO
- 17 "LONG" END BICYCLE PARKING - SPACES @ EQUAL OR EX. OR PARKING REQUIREMENTS, MARKED "L" MARK TWO
- 18 HANDICAP-ACCESSIBLE PARKING STALL
- 19 CLEAN AIR PARKING SPACES PER CALIFORNIA 3.10.5
- 20 NO PARKING ZONES LOCALIZED ON "H" DRIVE WITH PROVIDING ACCESS TO A DRIVEWAY SHALL BE LOCATED CLOSER THAN 10 FEET FROM THE PROPERTY LINE AT THE 40'-0" DRIVEWAY
- 21 REVERSE COUNTDOWN FIRE DEPT. TURNAROUND INFO
- 22 PEDESTRIAN TRAIL CONNECTION TO KEY CASSEY TRAIL/BIKE PATH



KEY PLAN | N.T.S. | 2



NO.	DESCRIPTION	DATE
1	PRELIMINARY REVIEW SIGNATURE	12-15-12
2	DEVELOPMENT REVIEW SIGNATURE	5-8-13

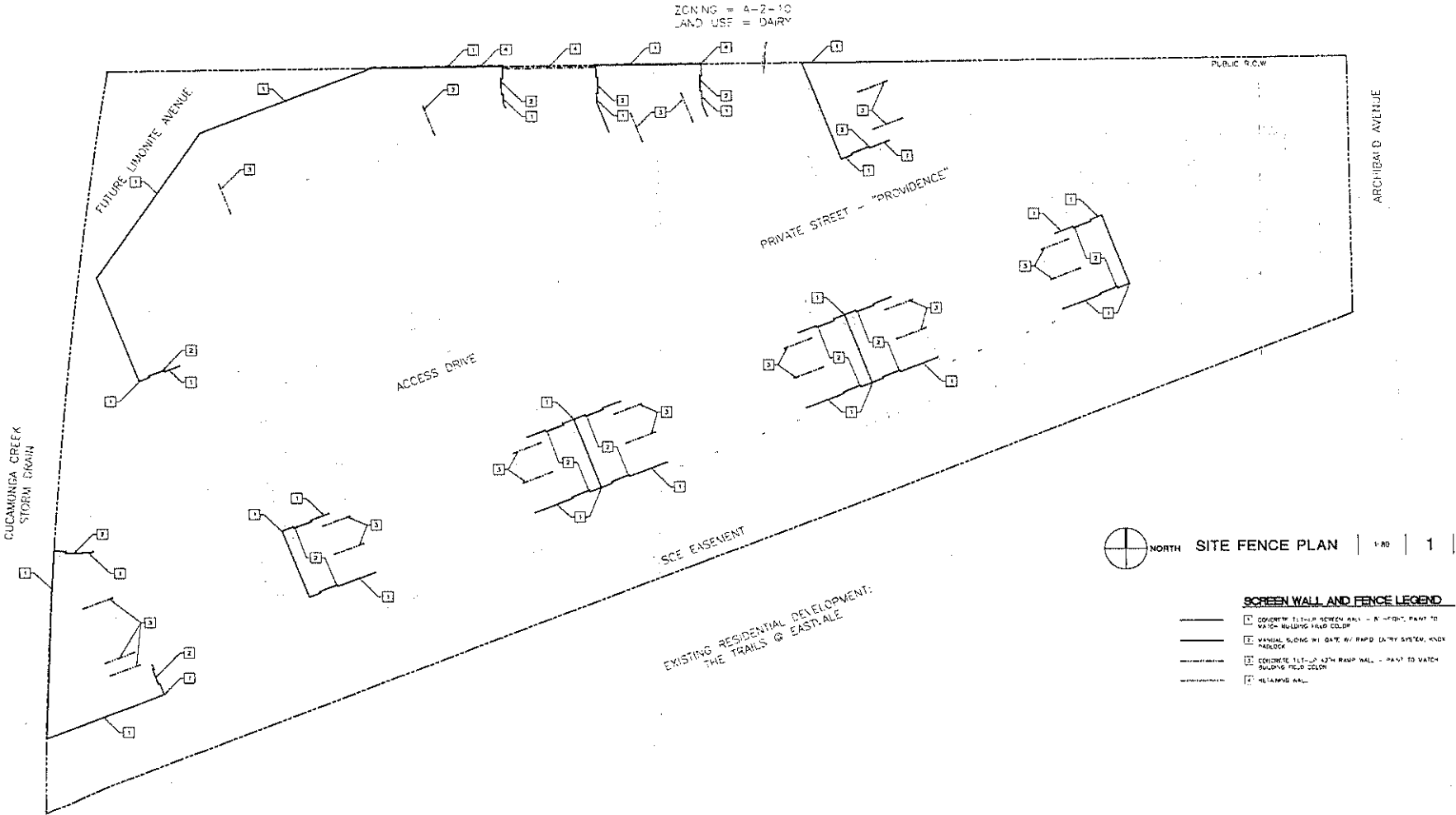
SOUTHWEST QUADRANT ENLARGED SITE

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JOB NO.	PROVIDENCE	SHEET NO.
DATE	12/07/12	A1.5
DRAWING	CAA	
FILE NAME	PROVIDENCE	

**PROVIDENCE BUSINESS PARK  
MASTER PLAN**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED BY  
PROVIDENCE ARCHIBALD, LLC



**SCREEN WALL AND FENCE LEGEND**

- 1 CONCRETE 5 FT HIGH SCREEN WALL - 4" x 8" PIPES, PAINT TO MATCH BUILDING FIELD COLOR
- 2 VERTICAL SLIDING W/ GATE W/ RAPID ENTRY SYSTEM, 4" X 8" PIPE
- 3 CONCRETE 5 FT HIGH 42" RAMP WALL - PAINT TO MATCH BUILDING FIELD COLOR
- 4 RELAYING WALL

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

SITE WALL & FENCE PLAN

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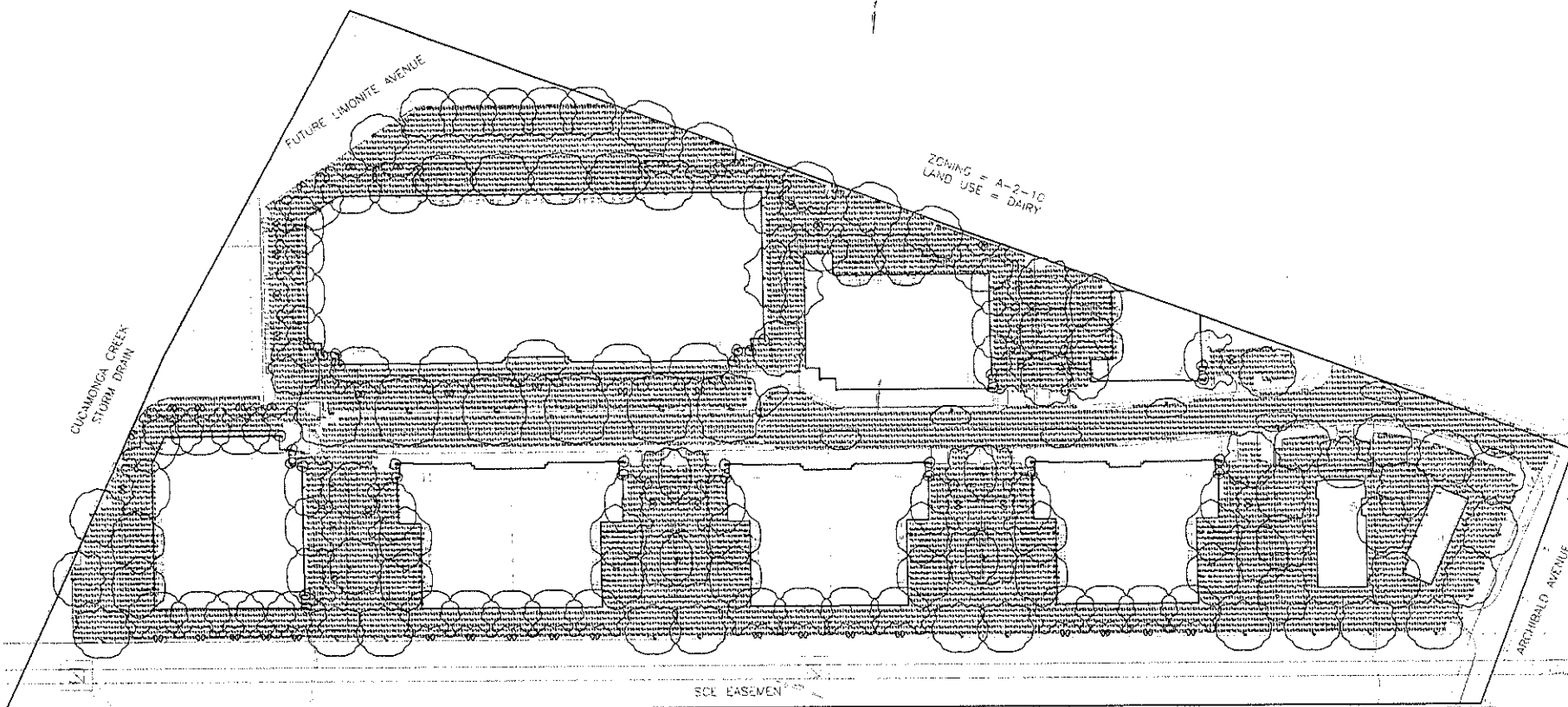


## PROVIDENCE BUSINESS PARK

### MASTER PLAN

ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED BY  
PROVIDENCE ARCHIBALD, LLC

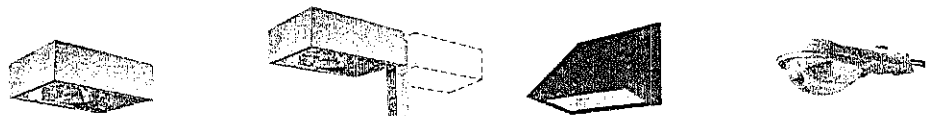
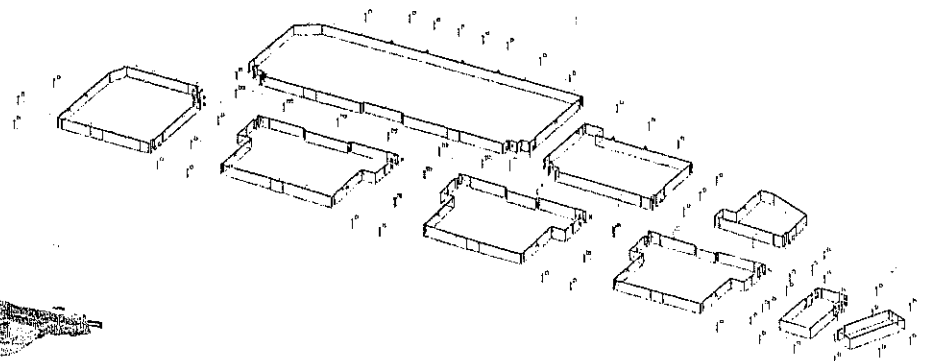


SITE PHOTOMETRICS | 1:80 | 1

LAMP/POLE	TYPE	HEIGHT	SPACING	WATTAGE	BEAM ANGLE	FOOT CANDLE	UNIFORMITY
1	...	...	...	...	...	...	...
2	...	...	...	...	...	...	...
3	...	...	...	...	...	...	...
4	...	...	...	...	...	...	...
5	...	...	...	...	...	...	...

NOTES  
 1. ...  
 2. ...  
 3. ...

STATISTICS	NUMBER	WATT	FOOT CANDLE	UNIFORMITY
PROPOSED	...	...	...	...
EXISTING	...	...	...	...
TOTAL	...	...	...	...



VIEW A-C  
LUMINAIR VIEW

JOB 3 A-C  
LUMINAIR VIEW

JOB 3  
POLE VIEW

JOB 3  
POLE VIEW

AXONOMETRIC LIGHTING PLAN | 1:15 | 2

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-17
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-18

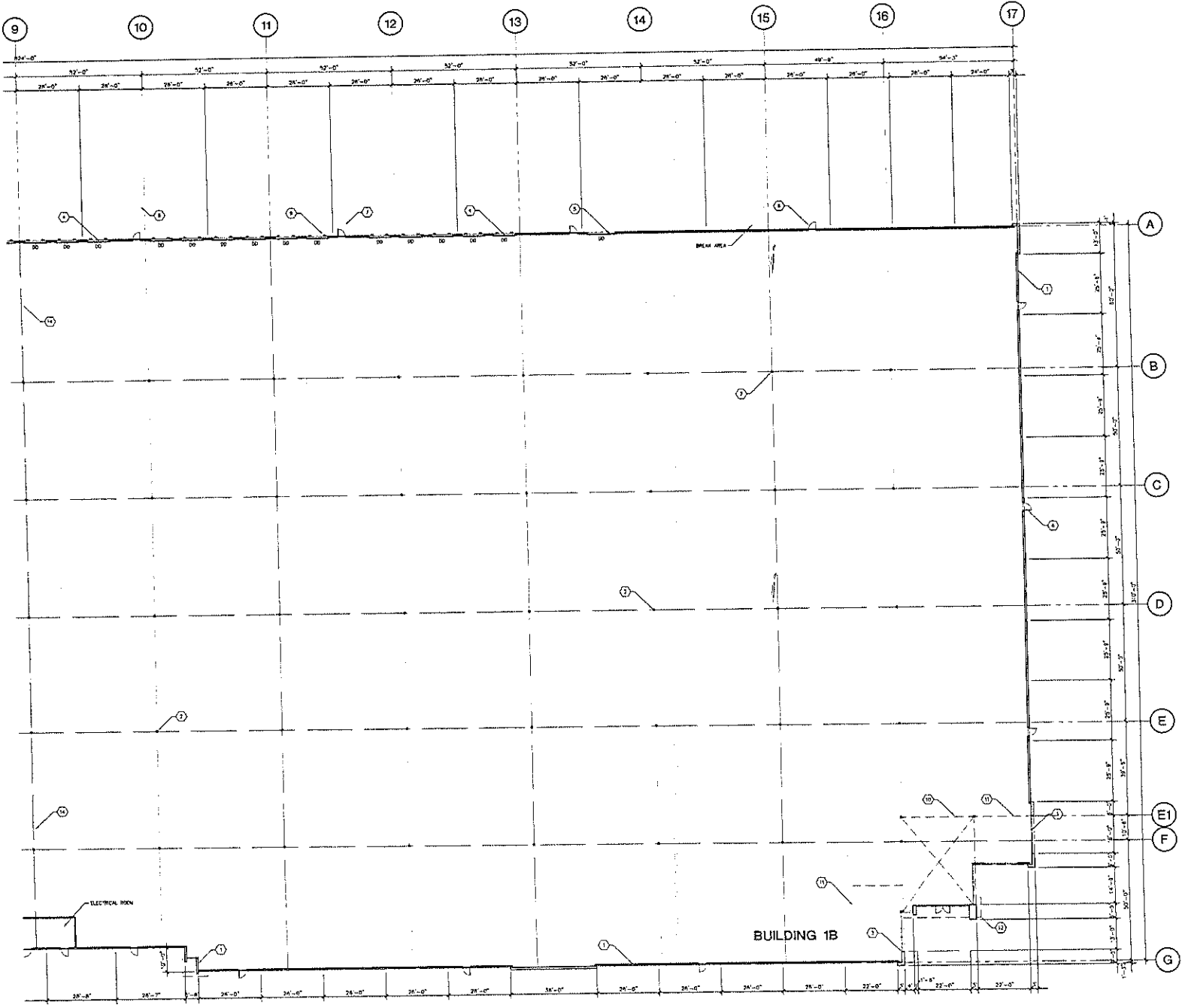
SITE PHOTOMETRIC LIGHTING PLAN

JOB NO.	17259-03	SHEET NO.	A1.9
DATE	12/07/17		
DRAWN	GAA		
FILE NAME	17259-03		

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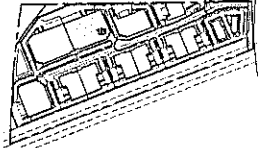


- KEYNOTES - FLOOR PLAN**
- 1 CONCRETE TIE-UP PLATE
  - 2 STRUCTURAL STEEL COLUMN
  - 3 TYPICAL SHEARWALL SYSTEM W/ SLABING
  - 4 2" x 4" JOCKING- SCORING/ALUMINUM-CLIP DEEP
  - 5 1/2" x 1/4" METAL UNFINED GRADE JOCK
  - 6 2' x 7' HOLLOW METAL DOOR - MAN DOOR
  - 7 CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GLASSPANEL SAFETY YELLOW
  - 8 1/4" EDGEWALL-THICK SLAB JOCK AT GRA. LND. PANEL SAFETY YELLOW
  - 9 DOOR BUMPER - LENGTH 1/4" MIN. RECOMMENDATION
  - 10 PROPOSED WELDING
  - 11 PROPOSED GROUND FLOOR CHED
  - 12 ALUMINUM CASE/DOOR
  - 13 CONCRETE 1/4" WALL CONTINUED ON PROPOSED 1ST FLOOR CEILING 10" MIN. ROOF JAIL
  - 14 BEARING WALL TO EXISTENCE OF 1/4" OF 1000

- GENERAL NOTES - FLOOR PLAN**
- 1. THIS BUILDING IS DESIGNED FOR 40-PSF FLOOR FINISH ACCESS WITH DOORS W/ 1100 S.C. W/ A 30-MINUTE RATING WILL BE REQUIRED FOR ANY WALK-UP/ELEVATOR SYSTEMS
  - 2. THE FLOOR LOCATIONS SHALL BE APPROVED FOR FIRE DEPARTMENT
  - 3. THE BUILDING FLOOR SLAB IS FLAT. SEE "01" DRAWINGS FOR FINISH SURFACE ELEVATIONS
  - 4. FLOOR SLAB SHALL BE REINFORCED WITH "WYFERED FORMALS" FLOOR REINFORCE IN APPROVED EQUAL
  - 5. BRACED REINFORCING COLUMN IS SHALL TO BE FINISHED WITH COLUMN TO REINFORCING STUD ONLY ALL 1/4" DIA WALLS TO RECEIVE A COAT OF WHITE TO EXPOSE
  - 6. FLOOR FINISH SHALL BE 1/2" x 1/2" L x L WHICH AT ALL PERSONAL FLOOR FINISH SHALL BE FINISHED WITH STRIP LEANING
  - 7. ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL UNLESS OTHERWISE NOTED

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW	2-13-12
2	DEVELOPMENT REVIEW SET	2-8-12

**BUILDING 1B  
 FLOOR PLAN**



JOB NO.	PROVIDENCE	SHEET NO.
DATE	12/07/12	A2.1B
DRAWN	GAA	
FILE NAME	PROVIDENCE_01B	



**KEYNOTES - FLOOR PLAN**

- ⊙ CONCRETE TILT-UP PANEL
- ⊙ STRUCTURAL STEEL COLUMN
- ⊙ MECA. EQUIPMENT SYSTEM W/ GLAZING
- ⊙ 6" x 6" 180# DECK - HIGH SECTORIAL VERTICAL LIFT DOOR
- ⊙ 12" x 7" HALL METAL OVER-HEAD GRADE DOOR
- ⊙ 3' x 7' HOLLOW METAL DOOR - MAIN DOOR
- ⊙ CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GUARDRAIL
- ⊙ 42" CONCRETE-HOLLOW SQUARE POST - 18" DIA. x 10' MAX. PANEL TYP.
- ⊙ DOOR ROLLER - 1/2" DIA. PER MFR RECOMMENDATION
- ⊙ FINISHED WALL/FLOOR
- ⊙ PROPOSED BREAKING FLOOR OFFICE
- ⊙ ALUMINUM CANOPY
- ⊙ CONCRETE FIRE WALL, CENTERED ON PROPERTY LINE EXTENDING 20" ABOVE ROOF LEVEL
- ⊙ DEVIATING WALL TO UNDERPINE BY 600# 3" REBAR

**GENERAL NOTES - FLOOR PLAN**

- 1 THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE BY FIRE RESISTANT MAN GROUND 2' 100' D.C. MAX. A SPRINKLER ALARM WILL BE REQUIRED FOR ANY RACK/MEZzanINE SYSTEMS.
- 2 THE HOSE LOCATION SHALL BE APPROVED PER THE DEPARTMENT.
- 3 THE BUILDING FLOOR SLAB IS FLAT, SEE 20' DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- 4 FLOOR SLAB SHALL BE SEALED WITH "ASHFORD FORMULA" FLOOR HARDENER OR APPROVED EQUAL.
- 5 WAREHOUSE MEZzanINE CONCRETE WALLS TO BE PAINTED WITH COLLARNS TO RECEIVE FRAMES ONLY. ALL DIM. TO WALLS TO INCLUDE 1/2" DIA. OF WALLS TO ONLY.
- 6 SLOPE DOWN 1/8" PER 1' TO 2" INCHES AT ALL PERSONAL ENTRY POINTS TO BE OBSERVED PER MFR LOCATION.
- 7 ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL UNLESS NOTED ON FACE OF FRAMEWORK WALL UNIT.



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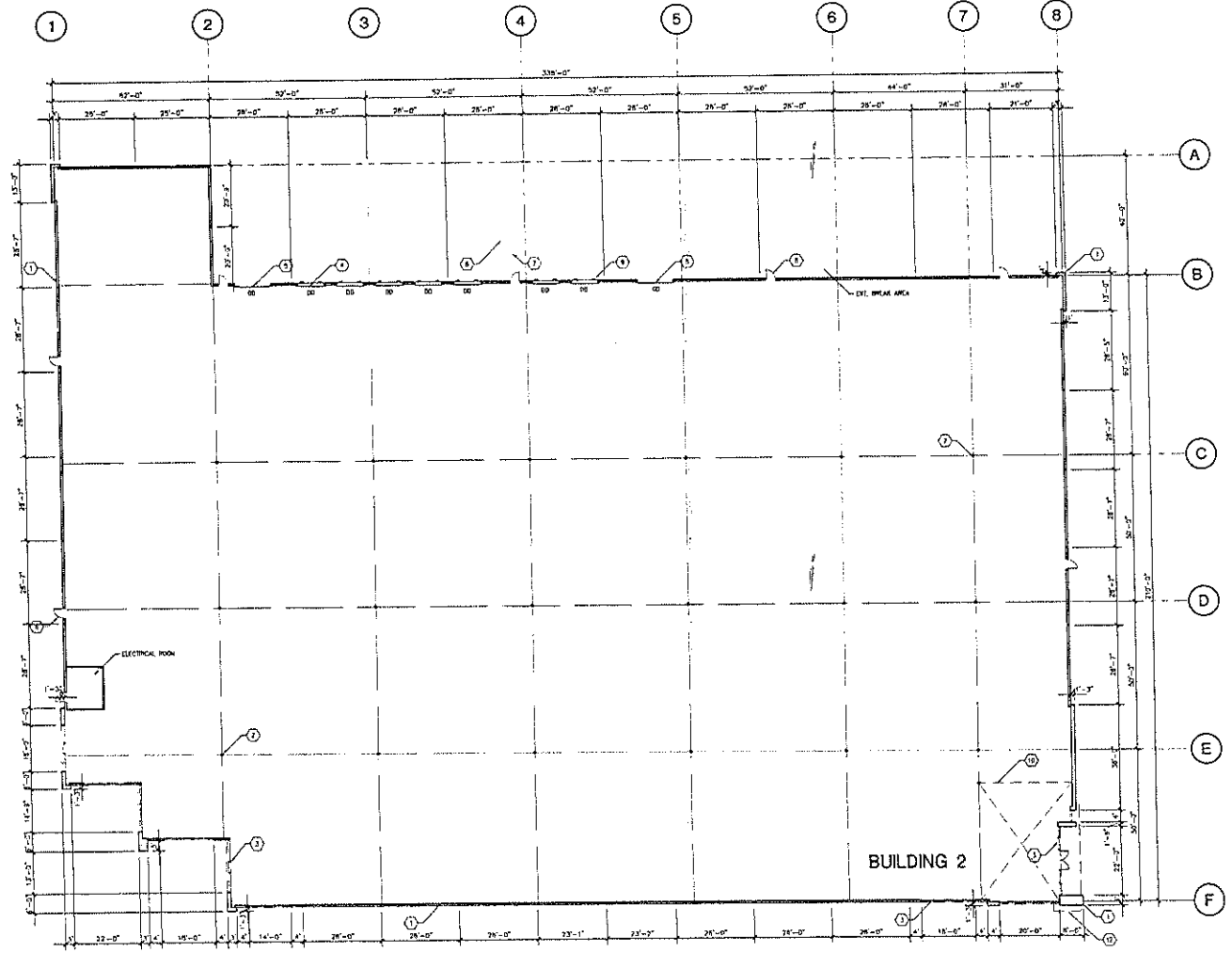
**PROVIDENCE BUSINESS PARK**  
**MASTER PLAN**  
**ARCHIBALD AVENUE**  
**EASTVALE, CA 92680**  
 DEVELOPED FOR:  
 PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW	12-15-12
2	DEVELOPMENT REVIEW'S	1-8-13

**BUILDING 2**  
**FLOOR PLAN**

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JOB NO.:	PROVIDENCE	SHEET NO.:	A2.2
DATE:	12/07/12	DATE:	
DESIGNER:	GAA	DATE:	
FILE NAME:	PROVIDENCE	DATE:	

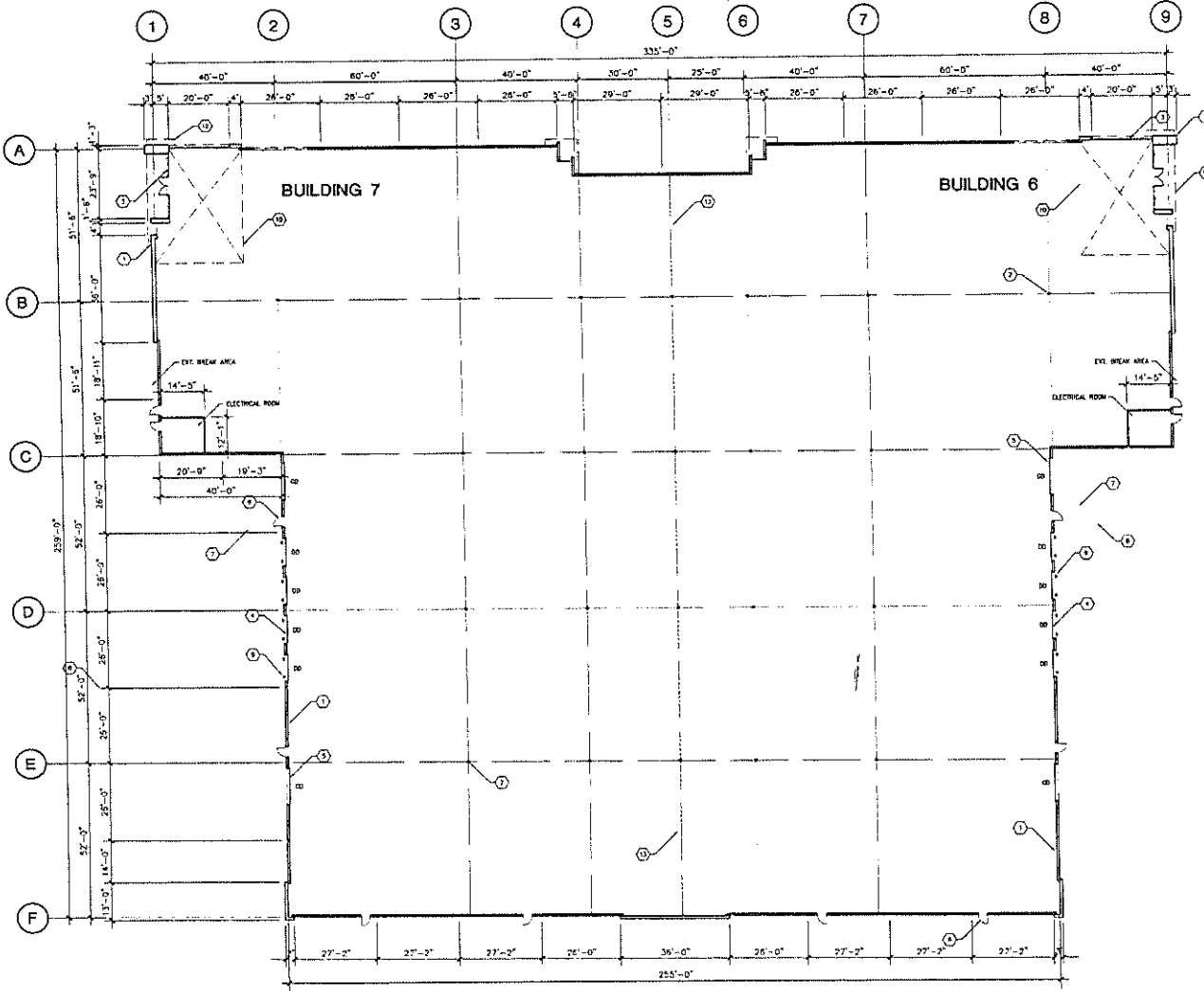












**KEYNOTES - FLOOR PLAN**

- ① CONCRETE TILT-UP PANEL
- ② STRUCTURAL STEEL COLUMN
- ③ TRUSS ROOF SYSTEM W/ GLAZING
- ④ 8" x 16" 200# HIGH SECTIONAL VERTICAL 1/2" DEEP
- ⑤ 12" x 14" METAL OVERHEAD SHADE DOOR
- ⑥ 3" x 1" HOLLOW METAL DOOR - MAX DOOR
- ⑦ CONCRETE STAR W/ MANHOLE AND 40" HIGH GUARDRAIL
- ⑧ 42% CONCRETE-FILLED GUANO PDS, 8" DIA. x 1.0 MAX. SLOTTED TUBING
- ⑨ DOCK BULLER - JACKS PER MFR RECOMMENDATION
- ⑩ PROMISED WALKWAYS
- ⑪ PROMISED BRIDGE FLOOR OFFICE
- ⑫ ALUMINUM CANOPY
- ⑬ CONCRETE FIRE WALL COVERED ON PREPARED JAC EXTENDING 30" ABOVE ROOF LEVEL
- ⑭ SERVING WALL TO UNDERSIDE OF SIDE OF ROOF

**GENERAL NOTES - FLOOR PLAN**

- 1. THIS BUILDING IS DESIGNED FOR MEMPHIS STORAGE W/ FIRE ACCESS VAN DOORS @ 100' O.C. MAY A SEPARATE PERMIT WILL BE REQUIRED FOR ANY WASH-WATER-RECOVERY SYSTEMS. FIRE HOSE LOCATIONS SHALL BE APPROVED PER THE DEPARTMENT.
- 2. SEE BUILDING FLOOR SLAB IS FLAT. SEE 10' DRAWINGS FOR FLOOR SURFACE ELEVATIONS.
- 3. FLOOR FINISH SHALL BE SPIDER WITH "ASHFORD FORMULA" APPROVED UNDER CONCRETE WALLS TO BE PAINTED WHITE. SQUARE TO HOLLOW BRICKS ONLY. ALL DWG. WALLS TO ALLOW 1/4" EQUAL TO CORNER.
- 4. SLOPE FLOOR 1/2" TO EXTERIOR AT ALL PERIMETER PANELS. SEE 10' DRAWINGS FOR HOUR-SUN-LOCATION.
- 5. ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, DOOR, OR FACE OF FINISHED WALL, UNLESS NOTED.

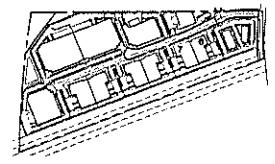


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**PROVIDENCE BUSINESS PARK**  
**MASTER PLAN**  
 ARCHIBALD AVENUE  
 EASTVALE, CA 97880  
 DEVELOPED FOR:  
 PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW	12-13-13
△	DEVELOPMENT REVIEW #1	5-8-15

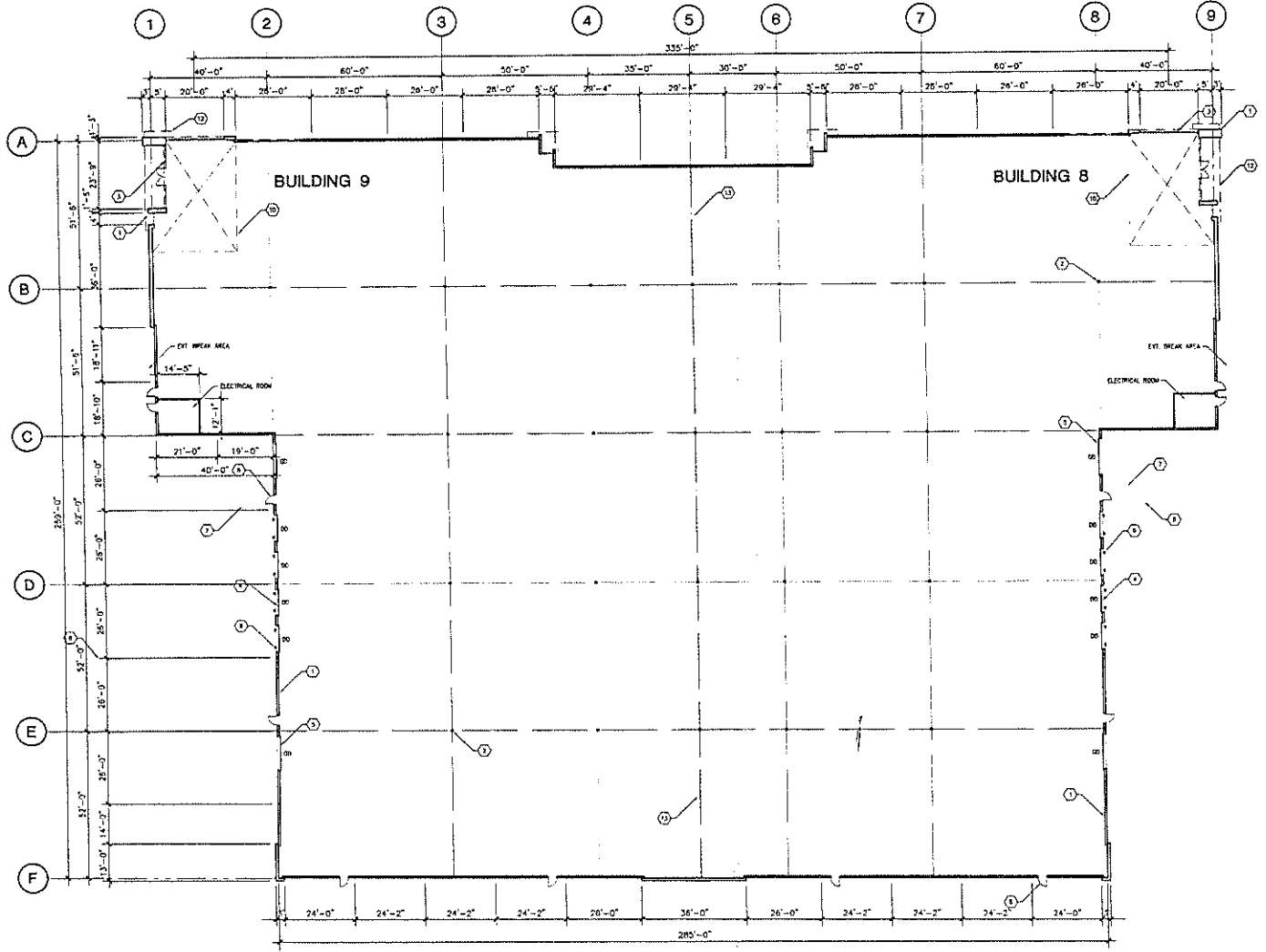
**BUILDINGS 6 & 7 FLOOR PLAN**



ALL DRAWINGS AND NOTES IN THESE ARCHITECTS DRAWINGS SHALL BE CONTROLLED BY ORIGINAL AND UNREVISED COPY OF THE ARCHITECT'S SEAL AND THE SEAL AND NOT BE REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

JOB NO.	PROJ. NO.	SHEET NO.
DATE:	12/07/12	A2.6
DRAWN:	GAA	
FILE NAME:	PROVIDENCE_B.P.P.	





**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TYPICAL PANEL
- 2 STRUCTURAL STEEL COLUMN
- 3 1/2" x 2" SPOOFFRONT SYSTEM W/ GLAZING
- 4 8" W x 10" DOOR - HIGH SECTIONAL VERTICAL LIFT DOOR
- 5 12" W x 14" METAL OVER-CAD GLAZE DOOR
- 6 3' x 4' HOLLOW METAL DOOR - MAIN DOOR
- 7 CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GUARDRAIL
- 8 42" x 42" CONCRETE-TILED GUARD HERE AT THE L.O.D. PANEL PANEL TO TYPICAL
- 9 DOOR BLINDER - LENGTH PER MFR RECOMMENDATION
- 10 FINISHED MULDING
- 11 FINISHED DRIVING FLOOR OFFICE
- 12 ALUMINUM CASING
- 13 CONCRETE FIN. WALL - CENTERED ON PROPERTY LINE EXTENDING 30" ABOVE ROOF LEVEL
- 14 DIVISION WALL TO UNDERSIDE OF ROOF

**GENERAL NOTES - FLOOR PLAN**

- 1 THIS BUILDING IS DESIGNED FOR HIGH-FLOOR STORAGE BY THE ACCESS VAN DOORS OR 100' C.C. MAX. A SUPPLY'S PERMIT WILL BE REQUIRED FOR ANY RAINWATER COLLECTION SYSTEMS. FIRE HOSE LOCATIONS SHALL BE APPROVED PER THE DEPARTMENT.
- 2 THE BUILDING FLOOR SLAB IS REIN. SEE "C" DRAWINGS FOR FLOOR FINISHES ELEVATIONS
- 3 FLOOR SLAB SHALL BE SEALED WITH "ASHFORD FORMULA" FLOOR HARDENER FOR IMPROVED DURABILITY
- 4 WAINSCOTING, MIRROR CONCRETE WALLS TO BE PAINTED WHITE TO MATCH EX. CORAL OR WHITE TO COORP
- 5 SCUM BLINDS SHALL BE PROVIDED AT ALL PERSONAL WALLS 4" x 12" DRAWINGS FOR SCUM BLIND LOCATION
- 6 ALL EXTERIORS ARE TO FACE OF CONCRETE PANEL WALL INCLUDING ON FACE OF FINISHED WALL L.F.P.



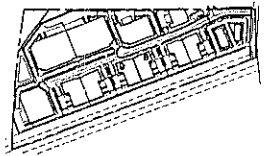
8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW	7-13-12
2	DEVELOPMENT REVIEW #1	7-26-12

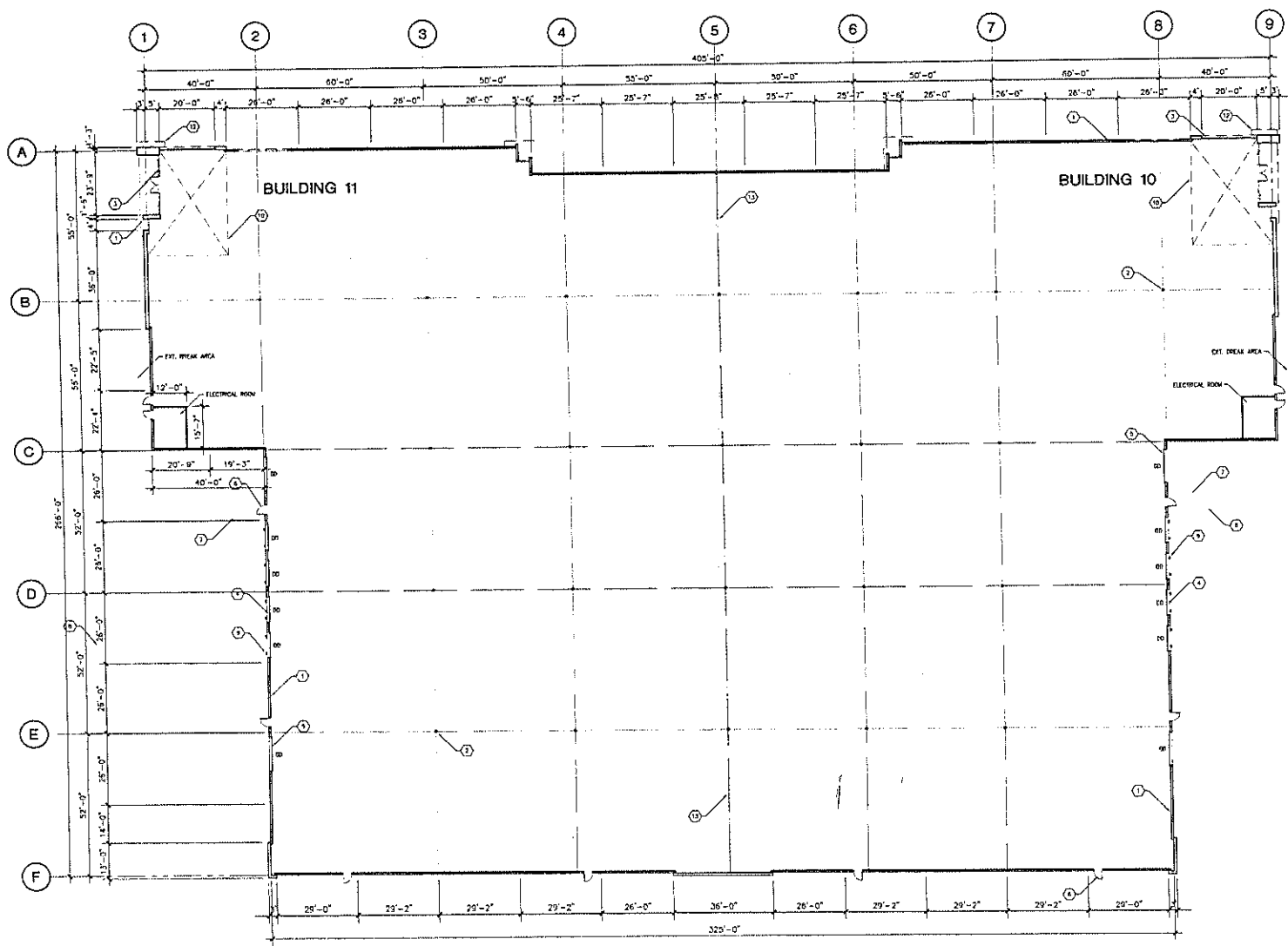
BUILDINGS 8 & 9  
FLOOR PLAN



ALL DIMENSIONS AND OTHER NOTATIONS APPLYING HEREIN CONTROL. NO ORIGINAL AND UNREVISED SETS OF THIS PROJECT AND THE TOOL AND USE OF UNAPPROVED USES OF DIMENSIONS SHALL BE PERMITTED WITHOUT THE ARCHITECT'S CONSENT. SEE ARCHITECT'S ALL RIGHTS RESERVED.

JOB NO.	PC008.01	SHEET NO.	A2.8
DATE:	12/07/12	DRAWN BY:	GAA
DRAWN BY:	GAA	FILE NAME:	PC008_2.0.1





**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TIE-UP PANEL
- 2 STRUCTURAL STEEL COLUMN
- 3 TYPICAL EXTERIOR DOOR W/ GLAZING
- 4 8' W X 10' DOOR - 20' RECTANGULAR VERTICAL RT DOOR
- 5 12' W X 14' METAL OVER-EAR DOOR
- 6 2' X 7' HOLLOW METAL DOOR - VAN DOOR
- 7 CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GUARDRAIL
- 8 4" CONCRETE-FILLED GUARD POST AT DIA 4.0 MAX - 14' ON CENTER
- 9 DOOR PLUMBER - CHECK PER AEP RECOMMENDATION
- 10 PROPOSED MEZZANINE
- 11 PROPOSED GROUND FLOOR OFFICE
- 12 PLASTER CANOPY
- 13 CONCRETE FIRE WALL, CENTERED ON PROPERTY AND EXTENDING 20' ABOVE ROOF LEVEL
- 14 DIVIDING WALL TO UNDERSIDE OF SLAB OF ROOF

**GENERAL NOTES - FLOOR PLAN**

- A THIS BUILDING IS DESIGNED FOR HIGH-PILE FOUNDATION BY THE ACCESS VAN DOORS & 100' D.E. MAX. A SUPPLEMENTAL DESIGN WILL BE REQUIRED FOR ALL FOUNDATION SYSTEMS. THE HOSE LOCATIONS SHALL BE APPROVED PER THE DEPARTMENT.
- B THE BUILDING FLOOR SLAB IS FLAT. SEE "D" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- C FLOOR SLAB SHALL BE CASTED WITH "ASHFORD FORMULA" SANDWICHING WIRELESS CONCRETE. WALLS TO BE PAINTED WHITE. EXTERIOR TO RECEIVE FINISH ONLY. ALL GYM FLOOR WALLS TO RECEIVE 1" COAT OF MORTAR IS CONCRETE.
- D SCOTCH BOLD 1000 1/2" TO COVERED AT ALL PERSONAL CONTACT SURFACES UNLESS OTHERWISE INDICATED.
- E ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL UNLESS OTHERWISE NOTED.

**G|A|A**  
ARCHITECTS

8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

**PROVIDENCE BUSINESS PARK**  
**MASTER PLAN**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW	12-13-12
2	RECONSTRUCTION REVIEW SHEET	3-8-13

**BUILDINGS 10 & 11**  
**FLOOR PLAN**

ALL DIMENSIONS AND NOTED MATERIALS APPLY UNLESS OTHERWISE NOTED. GENERAL AND SPECIFIC NOTES OF THE ARCHITECT AND THE OWNER ARE TO BE CONSIDERED. USE OF THIS DRAWING SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFIC TO THE ARCHITECT'S AND OWNER'S AGREEMENT.

DATE: 12/27/12  
DRAWN: GAA  
FILE NAME: PROVD\_B\_10\_11

SHEET NO.: **A2.10**



























# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, July 4 (Independence Day).

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: July 11, 2013

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1018CH13 – Providence Archibald, LLC (Representative: Albert A. Webb Associates, Sandy Chandler) – City of Eastvale Case Nos. 12-0750 (Development Plan Review) and revised PM35865 (Parcel Map). PP12-0750 is a proposal to develop a total of 738,970 square feet of industrial/office space within 12 shell buildings on 39.32 net acres located westerly of Archibald Avenue, southerly of Limonite Avenue, and northerly of 65<sup>th</sup> Street, in the City of Eastvale. Revised PM35865 is a proposal to subdivide the 39.32 net acres into 11 parcels [one for each of the proposed buildings, with buildings 4 and 5 sharing a parcel]. (Zones C and D of Chino Airport Influence Area.)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Kanika Kith of the City of Eastvale Planning Department at (951) 361-0900 or (951)703-4460.

# APPLICATION FOR MAJOR LAND USE ACTION REVIEW

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAPI018CHI3

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application	<u>5/16/13</u>	
Property Owner	<u>Providence Archibald, LLC</u>	Phone Number <u>(909) 597-0201</u>
Mailing Address	<u>14728 Pipeline Avenue, Suite B</u>	
	<u>Chino Hills, CA 91709</u>	
	<u>C/O Boatman Development, 3151 Airway Ave. U-2, Costa Mesa, CA 92626 (714)206-1571</u>	
Agent (if any)	<u>Albert A. Webb Associates</u>	Phone Number <u>(951) 686-1070</u>
Mailing Address	<u>3788 McCray Street</u>	
	<u>Riverside, CA 92506</u>	
	<u>Attn: Sandy Chandler</u>	

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address	<u>Northerly of 65th Street, southerly of the San Bernardino/Riverside County line, east of and adjacent to the Cucamonga Creek Flood Control Channel, and west of and adjacent to Archibald Avenue</u>		
Assessor's Parcel No.	<u>144-010-002, 144-010-033, 144-010-037, 144-010-038</u>	Parcel Size	<u>39.32 net acres</u>
Subdivision Name		Zoning Classification	<u>Existing: A-2-10</u>
Lot Number			<u>Proposed: IP</u>

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe)	<u>Vacant</u>		
Proposed Land Use (describe)	<u>Propose to construct 738,970 square feet of mixed use facility consisting of 12 buildings: 694,770 Light Ind., 33,600 s.f. Office and 10,600 s.f. Retail, originally approved by Riverside County PP23219. Proposed Project also includes revised TPM 35685, as well as a change of zone for consistency with the City General Plan and approved CZ07611, adopted by Riverside County.</u>		

For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	<u>N/A</u>
For Other Land Uses	Hours of Use	<u>Hours of operation will vary. Spec Building.</u>
(See Appendix C)	Number of People on Site	<u>Unknown - Spec Building</u>
	Method of Calculation	

Height Data	Height above Ground or Tallest Object (including antennas and trees)	<u>120</u>	ft.
	Highest Elevation (above sea level) of Any Object or Terrain on Site	<u>751</u>	ft.

Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	If yes, describe	

**REFERRING AGENCY** (TO BE COMPLETED BY AGENCY STAFF)

Date Received 5-16-13  
 Agency Name City of Eastvale  
 Staff Contact Karika Kith  
 Phone Number \_\_\_\_\_  
 Agency's Project No. PP 23219, Pm 35865  
Amended

- Type of Project
- General Plan Amendment
  - Zoning Amendment or Variance
  - Subdivision Approval
  - Use Permit
  - Public Facility
  - Other \_\_\_\_\_

**ALUC REVIEW** (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt Date Received \_\_\_\_\_ By \_\_\_\_\_  
 Is Application Complete?  Yes  No  
 If No, cite reasons \_\_\_\_\_

Airport(s) Nearby \_\_\_\_\_

Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					

Special Conditions Describe: \_\_\_\_\_  
 \_\_\_\_\_

Supplemental Criteria Review

Noise \_\_\_\_\_

Safety \_\_\_\_\_

Airspace Protection \_\_\_\_\_

Overflight \_\_\_\_\_

**ACTIONS TAKEN** (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action  Approve \_\_\_\_\_ Date \_\_\_\_\_  
 Refer to ALUC \_\_\_\_\_

ALUC Action  Consistent \_\_\_\_\_ Date \_\_\_\_\_  
 Consistent with Conditions (list conditions/attach additional pages if needed)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Inconsistent (list reasons/attach additional pages if needed)  
 \_\_\_\_\_  
 \_\_\_\_\_

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.2 ~~2.6~~

**HEARING DATE:** August 15, 2013 (continued from July 11, 2013 for re-advertisement of site-specific zone changes)

**CASE NUMBER:** ZAP1028HR13 - City of Hemet

**APPROVING JURISDICTION:** City of Hemet

**JURISDICTION CASE NO:** ~~ZOA 13-001 (Ordinance Amendment), ZOA 13-006 (Ordinance Amendment), ZC 13-001 (Zone Change)~~

**MAJOR ISSUES:**

This proposal *initially included* includes two ordinance amendments and a zone change. The one-eighth page newspaper advertisement, which *was* is sufficient public notice for the Citywide ordinance amendments, *was* is correct, but the notification to property owners within 300 feet of the proposed site-specific zone changes in the Airport Influence Area *had* incorrectly identified the hearing date as "June 11," rather than "July 11." Therefore, *it was* will be necessary to re-advertise and continue ZC 13-001 to the Commission's *August 15* next hearing. *The ordinance amendments were found consistent on July 11, 2013.*

~~ZOA 13-001 would permit employee housing consisting of up to 36 beds in a group quarters or up to 12 dwelling units or spaces to be deemed as an agricultural use permitted "by right" in agricultural zones. Agriculturally zoned land is located within Areas I and II of the Hemet-Ryan Airport Influence Area, where residential densities are restricted. However, agriculture is listed as a permitted use in Areas I and II, and the State law appears to prohibit the treatment of employee housing differently than any other agricultural use. Additionally, the probability that the owner of the property in Areas I and II would utilize this provision is considered remote at this time.~~

One of the sites proposed for R-4 zoning through ZC 13-001 is located in the vicinity of a straight-line extension of the runway centerline, but high densities at that location are not prohibited pursuant to the existing HRACALUP. Discretionary review would be required.

**RECOMMENDATIONS:**

Staff recommends that the proposed ~~ordinance amendments (ZOA 13-001 and ZOA 13-006)~~ *site-specific zone changes included in City of Hemet Case No. ZC 13-001* be found **CONSISTENT** with the 1992 Hemet-Ryan Airport Comprehensive Airport Land Use Plan (HRACALUP).

Staff recommends that the site-specific zone changes (~~ZC 13-001~~) be re-advertised and continued to August 15, 2013.

## PROJECT DESCRIPTION:

City of Hemet Case Nos. ~~ZOA 13-001, ZOA 13-006,~~ and No. ZC 13-001 is a **proposal are proposals** to bring the City's zoning ordinance and zoning map into consistency with the City's new Housing Element.

~~ZOA 13-001: (1) establishes emergency shelters as a special housing classification, permits existing emergency shelters "by right" in the C-1 zone, and allows new emergency shelters with conditional use approval in the C-M zone; (2) permits farm worker housing of up to 36 beds or 12 family units "by right" in the A, A-1-C, and A-2-C (agricultural) zones; (3) amends the provisions of the Small Lot Residential zone so as not to be limited to application only to senior housing; and (4) changes the "Senior Housing Overlay Zone" to a "Senior Housing Designation" that may be applied on the Zoning Map to qualifying senior housing developments with recorded covenants, conditions, and restrictions.~~

~~ZOA 13-006 amends the Multiple-Family Zones section of the City's zoning ordinance by establishing the R-4 zone classification allowing up to 45 dwelling units per acre, limiting densities in the R-2 zone to a maximum of 8 dwelling units per acre, establishing a list of permitted uses in the R-4 zone and modifying this list in the R-2 and R-3 zones; establishing development standards in the R-4 zone, and modifying development standards in the R-2 and R-3 zones.~~

ZC 13-001 establishes R-4 zoning on **18 24** parcels in the City of Hemet, including parcels within the boundaries of the Hemet-Ryan Airport Influence Area.

## PROJECT LOCATION:

~~Case No. ZOA 13-001 is applicable to all land within the City of Hemet in the affected zones. Case No. ZOA 13-006 is applicable to properties zoned R-2 and R-3 in the City of Hemet, plus the properties that are the subject of Case No. ZC 13-001. Finally,~~

Case No. ZC 13-001 applies to specific properties proposed for the application of R-4 zoning. Within the portion of the City in the Hemet-Ryan Airport Influence Area, the affected properties included in this zone change are located: (1) on the east side of Myers Street, southerly of Devonshire Avenue and northerly of Florida Avenue; (2) on the south side of Stetson Avenue, both easterly and westerly of Elk Street, easterly of Lyon Avenue and westerly of Palm Avenue; and (3) on the south side of Latham Avenue, easterly of Lyon Avenue and westerly of Elk Street and Palm Avenue. **Each of these three sites is located in Area III of the Hemet-Ryan Airport Influence Area, the only portion of the Airport Influence Area where housing densities greater than 20 dwelling units per acre could potentially be determined to be consistent pursuant to the existing HRACALUP.**

Except for objects 200 feet or greater in height, the jurisdiction of the Airport Land Use Commission is confined to the portions of the City and its Sphere of Influence and Planning Area within the Airport Influence Area of Hemet-Ryan Airport.

## BACKGROUND:

The applicable Airport Land Use Compatibility Plan for the Hemet-Ryan Airport Influence Area is the 1992 Hemet-Ryan Airport Comprehensive Airport Land Use Plan (HRACALUP), as amended in

2009. The HRACALUP delineates four zones with differing levels of constraints on land uses, based upon a concept of relative risk. The completion of a new Hemet-Ryan ALUCP in accordance with the California Department of Transportation Division of Aeronautics' Airport Land Use Planning Handbook is a primary objective of ALUC over the course of the next 12 months, but the City is working towards certification of its Housing Element by the State of California Department of Housing and Community Development and is required to bring its zoning ordinance and maps into consistency with the Housing Element.

~~Area I, the Area of Extreme Risk, is comprised of the "imaginary approach surface defined by Federal Aviation Regulations (Federal Aviation Regulations (FAR), Volume XI, Part 77, Objects Affecting Navigable Airspace), as the approach surfaces for the size and types of runways at the airport." The Policies in Section A of Chapter V of the HRACALUP state that "Area I shall be kept free of all high risk land uses." High risk land uses are further defined as including hazardous material facilities, critical facilities, institutional uses, places of assembly, any residential use within one mile of the runway threshold, and residential uses at densities greater than one dwelling unit per 2½ acres beyond that one mile distance. These limitations are based on the following analysis found on page 15 of the HRACALUP:~~

~~"This area was designated... as the highest relative risk area due to the convergence of flight paths and the resultant high volume of aircraft. Aircraft are descending or ascending, changing power settings, and performing critical turns; thus, the possibility of an aircraft related incident occurring is higher in these areas. The noise level is also higher due to the lower altitude of aircraft."~~

~~Area I is mapped as extending out from the runway ends forming cone-shaped or "megaphone" zones.~~

~~Institutional uses are listed as including schools, churches and similar uses, hospitals, nursing homes, convalescent facilities, care homes, day care, clinics, health facilities, and motels.~~

~~A place of assembly is defined (pursuant to the 2009 amendment) as "Any structure, public or private, or premise, or portion thereof exceeding 1,500 square feet in area, where the Building Code would provide for occupancy levels of an intensity exceeding one person per 30 square feet, which is designed or used for entertainment, amusement, instruction, education, worship, deliberation, display, meeting, awaiting transportation or for the consumption of food and drink." Examples include auditoriums, theatres, restaurants, churches, clubhouses, bowling alleys, arenas, circuses, and stadiums.~~

~~Commercial and industrial uses, except those qualifying as hazardous material facilities, critical facilities, institutional uses, and places of assembly, and residential uses at densities less than one dwelling unit per 2½ acres located at least one mile from the runway threshold are discretionary uses within Area I, requiring hearings before ALUC. Agriculture and open space are permitted uses.~~

~~The boundaries of Area II, the Area of High Risk, as delineated in 1982 by the multi-jurisdictional subcommittee that developed the HRACALUP, "were established to coincide as much as possible to areas where aircraft would be in the landing — take off generalized pattern and would be turning and applying or reducing power." Aircraft would be ascending, descending, turning, and changing power settings in the course of landing at, or taking off from, the airport. The subcommittee understood that this would present a higher risk of something happening and, therefore, considered this to be an area of greatest safety concerns (among areas outside the approach surfaces), except at its outer margins.~~

~~Hazardous material facilities, institutional uses (including public and private schools), and places of assembly are prohibited in Area II, and residential development is limited to densities not exceeding one dwelling unit per 2½ acres. Commercial uses are discretionary uses, requiring hearings before ALUC. Industrial uses, agricultural uses, and residential uses with lot sizes larger than 2½ acres per dwelling unit are permitted uses in Area II.~~

The outer boundary of Area III, the Area of Moderate Risk, “is based upon the outer radius of the imaginary horizontal surface of the airport as defined in Federal Aviation Regulations (FAR), Part 77,” adjusted to follow roads or section lines for planning purposes. It is defined as the Area of Moderate Risk, since flight paths and aircraft noise extend beyond the boundaries of Area II. There are no specifically prohibited uses within Area III, but hazardous material facilities, institutional uses (including public and private schools), places of assembly, structures over 35 feet in height, and structures exceeding two stories in height are discretionary uses requiring hearings before ALUC. Institutional uses are listed as including schools, churches and similar uses, hospitals, nursing homes, convalescent facilities, care homes, day care, clinics, health facilities, and motels.

A place of assembly is defined (pursuant to the 2009 amendment) as “Any structure, public or private, or premise, or portion thereof exceeding 1,500 square feet in area, where the Building Code would provide for occupancy levels of an intensity exceeding one person per 30 square feet, which is designed or used for entertainment, amusement, instruction, education, worship, deliberation, display, meeting, awaiting transportation or for the consumption of food and drink.” Examples include auditoriums, theatres, restaurants, churches, clubhouses, bowling alleys, arenas, circuses, and stadiums.

~~Given the abrupt distinction between Areas II and III in terms of allowable densities and intensities of use that would be permitted, the subcommittee established a Transition Area consisting of the outer portion of Area II and the inner portion of Area III. These areas would have land use policies that were not as severe as those for the remainder of Area II, but more limiting than the policies for Area III. The Transition Area consists of the outer 330 feet of Area II and the inner 660 feet of Area III, excluding any portion that would fall in Area I. If 50% or more of a project site is in the Transition Area, the project shall be considered part of the Transition Area. Residential uses at densities exceeding 20 dwelling units per acre are prohibited, as are structures exceeding 35 feet or two stories in height. Residential uses at densities not exceeding 20 dwelling units per acre are discretionary uses, as are hazardous material facilities, institutional uses (including public and private schools), and places of assembly. Commercial, industrial, manufacturing, and agriculture uses not exceeding 35 feet or two stories in height are permitted uses in the Transition Area.~~

#### **ANALYSIS:**

~~Zoning Ordinance Amendment No. 13-001 establishes emergency shelters as a special housing classification, permits existing emergency shelters “by right” in the C-1 zone, and allows new emergency shelters with conditional use approval in the C-M zone. The allowance for “by right” emergency shelters has presented concerns for ALUC as various jurisdictions have updated their Housing Elements. The City of Hemet has taken a different approach, by identifying an existing emergency shelter in the C-1 zone as “by right” and requiring conditional use permits for subsequent shelter proposals, limiting them to the C-M zone. While the City has identified thirty-six parcels zoned C-M within the Airport Influence Area, including six parcels in Area II, the proposed ordinance specifically states (Section 90-303(d)) that “Emergency shelters established within the boundaries of the Hemet-Ryan Airport Land Use Compatibility Zones may be subject to review by the Riverside County Airport Land Use Commission in accordance with the adopted Airport Land Use Plan.” This provision, together with the requirement for conditional use permits for new shelters, satisfies our consistency concerns, as ALUC would have the opportunity to render a determination as to consistency of the project prior to the City’s issuance of a conditional use permit. Pursuant to the existing HRACALUP, as an institutional use, emergency shelters would be prohibited in Area II and subject to discretionary review in the Transition Area and Area III.~~

~~Zoning Ordinance Amendment No. 13-001 also permits farm worker housing of up to 36 beds or 12 the zoning ordinance amendment is a direct result of a provision of State law (Health and Safety Code Section 17021.6(b)), which states that such employee housing “shall be deemed an agricultural land use,” family units (or spaces) “by right” in the A, A-1-C,~~

and A-2-C (agricultural) zones. The inclusion of this provision in and “shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use,” and further states that no “conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone.”

From a safety standpoint, this provision is troubling in that employee housing, like any other housing units, should be located in areas that are not subject to extreme or high risk of aircraft accidents. Agriculturally zoned land is located within Areas I and II of the Hemet Ryan Airport Influence Area. Residential uses are prohibited within the portions of Area I within one mile of the runway threshold, and the maximum allowable residential density in Area II (and those portions of Area I beyond one mile from the runway threshold) is one dwelling unit per 2½ acres. However, “agriculture” is listed as a permitted use in all HRACALUP zones – not surprising in that agricultural activities generally involve a very low number of persons per acre and low structural lot coverage. Therefore, pursuant to the wording of the State law, it is possible that a strongly motivated applicant or attorney could argue that employee housing is permissible in Areas I and II, where other types of housing at similar densities would be prohibited.

Fortunately, the agricultural land in Areas I and II is primarily included in one very large lot (136 acres), such that the lot’s density would not exceed one dwelling unit per 2½ acres even if 36 units were placed thereon. Neither the City nor ALUC staff members have any reason to believe that the landowner has any plans for development of employee housing at the scale allowed by the State. In the event that such a proposal were to be made, the City and ALUC staff could work with the property owner to try to site the units in a portion of the property where the hazards would be at their lowest level.

Zoning Ordinance Amendment No. 13-001 also amends the provisions of the Small Lot Residential zone so as not to be limited to application only to senior housing and changes the “Senior Housing Overlay Zone” to a “Senior Housing Designation” that may be applied on the Zoning Map to qualifying senior housing developments with recorded covenants, conditions, and restrictions. These provisions have no effect on airport land use compatibility. If these two provisions had been the only portions of Zoning Ordinance Amendment No. 13-001, the amendment would have been eligible for a consistency determination by the ALUC Director.

Zoning Ordinance Amendment No. 13-006 amends the Multiple-Family Zones section of the City’s zoning ordinance by establishing the R-4 zone classification allowing up to 45 dwelling units per acre, with a list of permitted uses and applicable development standards. This is the primary purpose of the amendment, which was initiated in order to bring the City’s zoning ordinance into consistency with the Housing Element, and specifically with the requirements of the California Department of Housing and Community Development mandating that jurisdictions provide for zones that allow at least 30 dwelling units per acre. The height limit in the R-4 zone would be 55 feet, although taller structures may be erected if the feature exceeding the height limit does not add to the structure’s usable floor space (other than for maintenance purposes). As the ordinance amends the Multiple-Family Zones section of the City’s zoning ordinance, the Planning Commission increased the scope of the ordinance by making changes to the existing R-2 and R-3 zone categories, most notably by limiting densities in the R-2 zone to a maximum of 8 dwelling units per acre, so as to be consistent with the Low-Medium Density Residential designation of the General Plan. The R-3 zone, with its 25 dwelling unit per acre maximum, would be consistent with the Medium-Density Residential and High-Density Residential designations, while the R-4 zone would be consistent with the Very-High Density Residential designation. The list of permitted uses and the development standards of the R-2 and R-3 zones are also proposed for amendment.

## ANALYSIS:

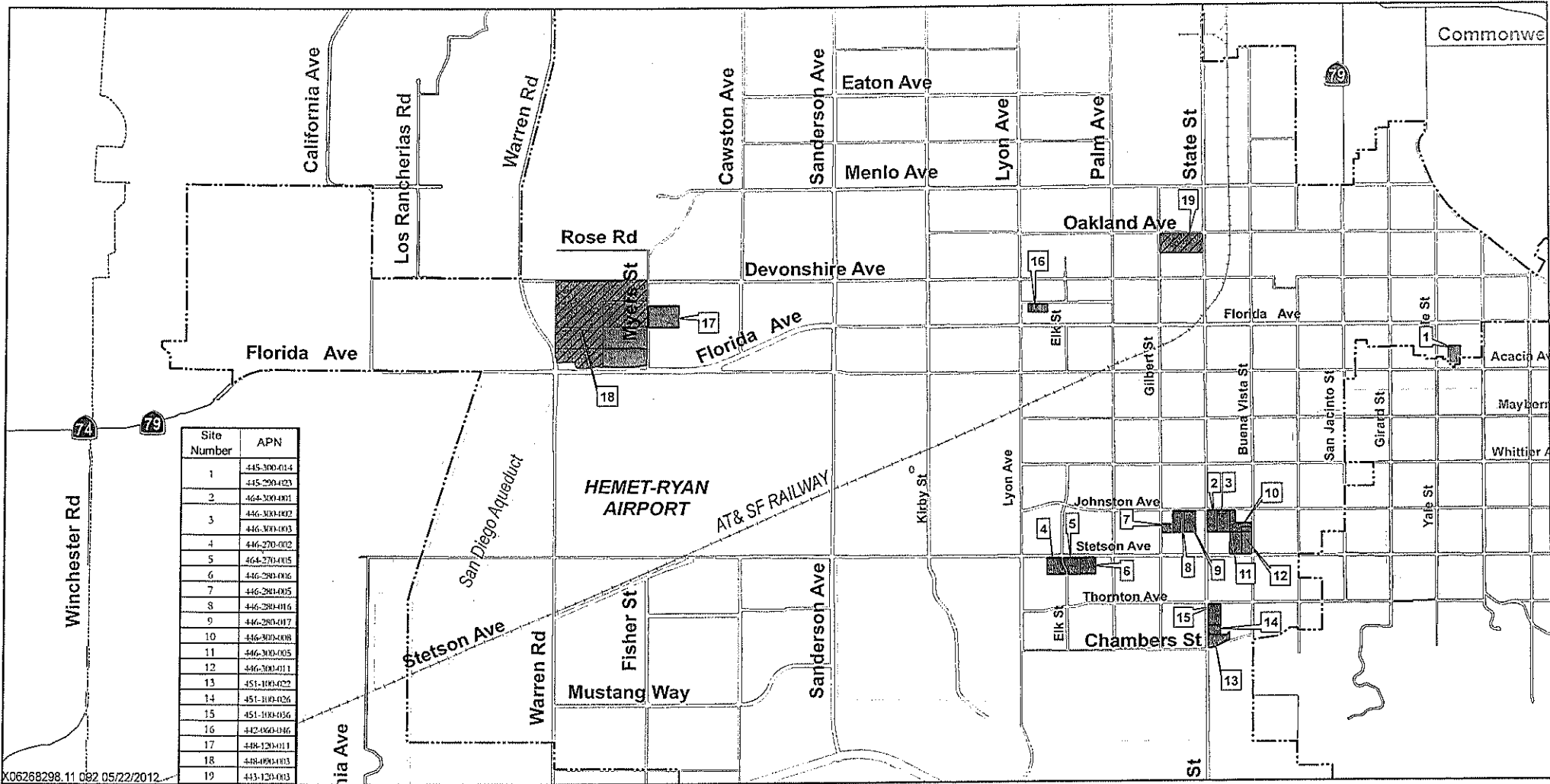
The establishment of the R-4 zone does not in and of itself present a conflict with the HRACALUP; however, this zoning would not be suitable for sites in Area I, Area II, or the Transition Area. ALUC would review proposals for establishment of R-4 zoning on a case-by-case basis as applicants submit requests for such zoning.



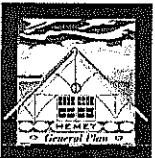
In order to provide for a land inventory that demonstrates that the City has zoned sufficient land for high density housing that could be affordable to low and moderate income households, in accordance with the requirements of State law, the City has taken the initiative to rezone a number of vacant properties to the new R-4 zone through Case No. ZC 13-001. Within the portion of the City in the Hemet-Ryan Airport Influence Area, the affected properties included in this zone change are located: (1) on the east side of Myers Street, southerly of Devonshire Avenue; (2) on the south side of Stetson Avenue, both easterly and westerly of Elk Street, easterly of Lyon Avenue and westerly of Palm Avenue; and (3) on the south side of Latham Avenue, easterly of Lyon Avenue and westerly of Elk Street and Palm Avenue. Each of these sites is located in Area III of the Hemet-Ryan Airport Influence Area, beyond the boundaries of the Transition Area. As noted previously, residential density in the Transition Area is limited to a maximum of 20 dwelling units per acre, and structures cannot exceed a height of 35 feet or two stories, whichever is less. Beyond the Transition Area boundary, structures over 35 feet or two stories in height would still require ALUC discretionary review, pursuant to the HRACALUP.

While there is as yet no new map available for a Draft Hemet-Ryan ALUCP that would replace the HRACALUP, perusal of Exhibit 6.1, "Airport Safety Zones," (included in the Hemet General Plan as a possible interpretation of Airport Land Use Planning Handbook safety zones as they may affect the City) reveals that the sites on the south side of Stetson Avenue probably would experience the lowest level of safety hazards from aircraft activity. The site on the east side of Myers Street would be near the edge of the Traffic Pattern Zone, where high density residential development is generally considered acceptable. The sites on the south side of Latham Street could be more problematic, as they are the closest of these sites to the extended runway centerline, although at a distance. Exhibit 6.1 shows this area as being just beyond or at the outer margin of the Outer Approach/Departure Zone.

On July 1, 2013, staff was advised that the property owners' notifications erroneously indicated the date of public hearing as June 11, rather than July 11, 2013. The property owners' notifications were required due to the site-specific zone changes, while the newspaper advertisement **satisfied** satisfies the legal requirements for the Citywide ordinance amendments. Therefore, ALUC's hearing on the zone change ~~was will need to be re-advertised for consideration at the Commission's~~ **Staff is recommending that an August 15 meeting, be added to the Commission schedule.**



X06268298.11 092 05/22/2012



Sources:  
Census Tiger Line Data 2005  
ESRI 2010

**LEGEND**

- Vacant Multi-Family Sites
- Mixed Use Sites
- Hemet City Boundary
- Planning Area
- Street
- Railroad
- Creek/Canal
- River/Lake

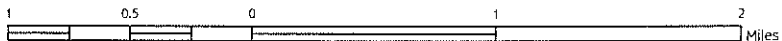
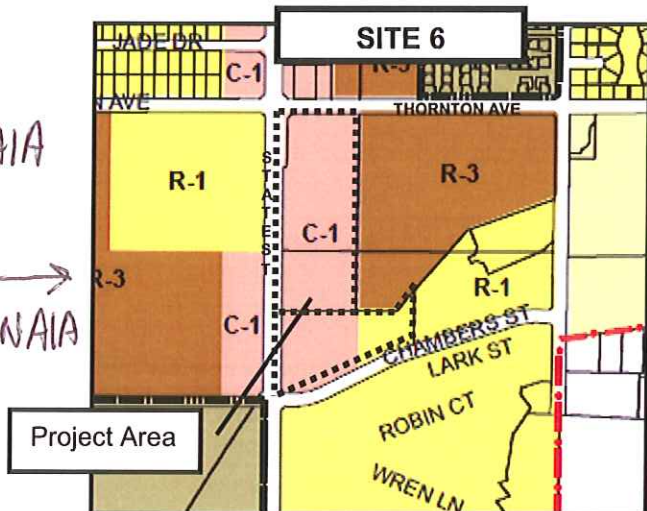
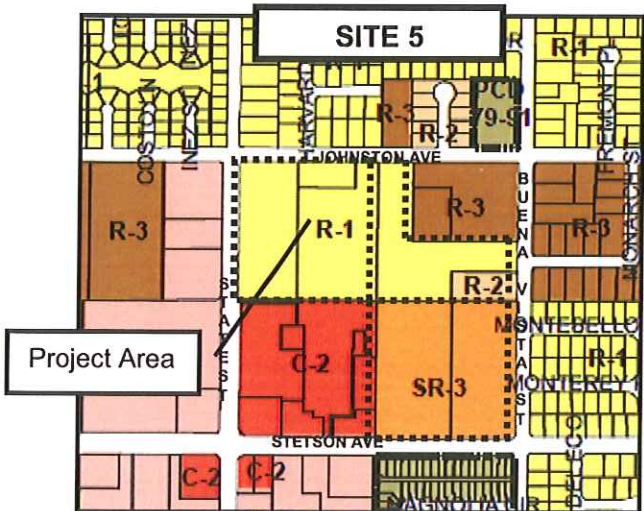
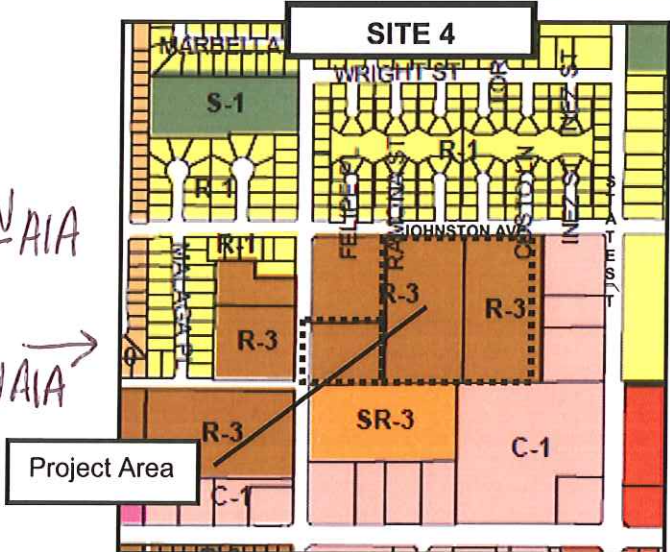
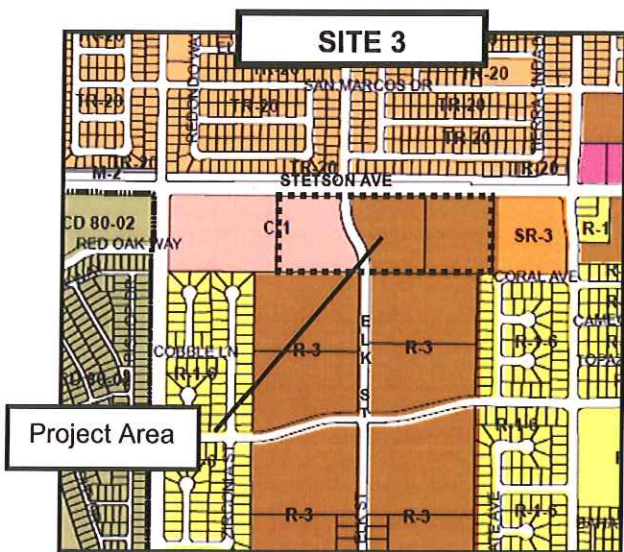
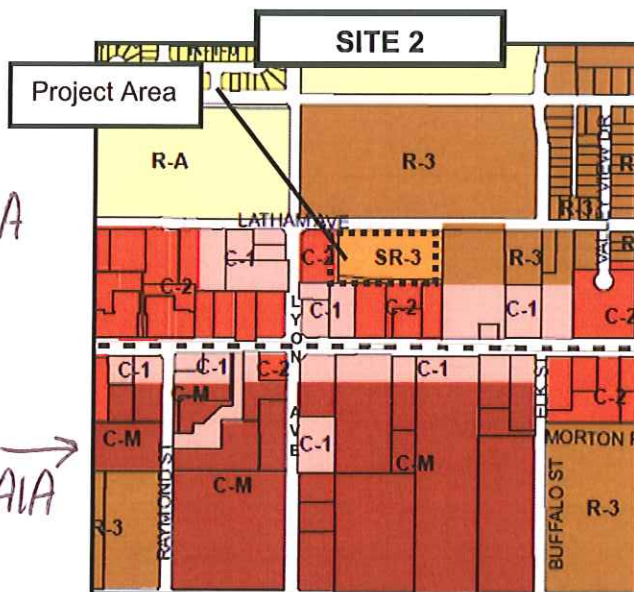
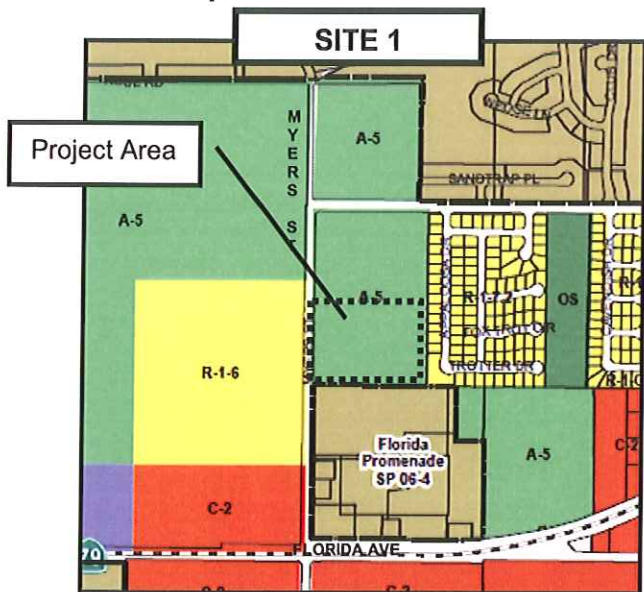
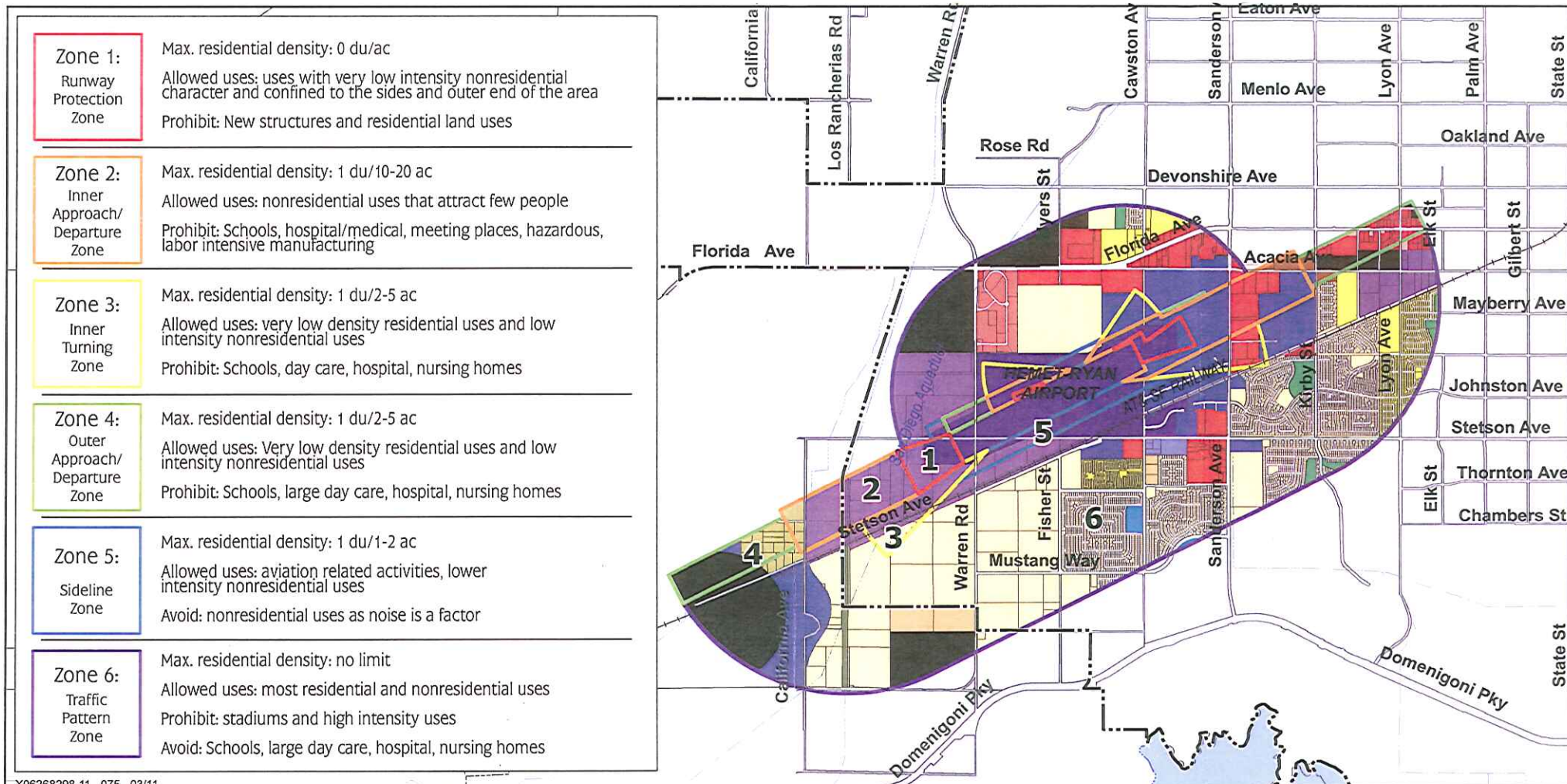


Figure 11.1  
**VACANT MULTI-FAMILY SITES**  
Hemet General Plan

The properties that are being considered for a zone change to R-4 are outlined below in each map:



For further information, please contact Carole L. Kendrick at (951) 765-2375.



- Zone 1:**  
 Runway Protection Zone  
 Max. residential density: 0 du/ac  
 Allowed uses: uses with very low intensity nonresidential character and confined to the sides and outer end of the area  
 Prohibit: New structures and residential land uses
- Zone 2:**  
 Inner Approach/Departure Zone  
 Max. residential density: 1 du/10-20 ac  
 Allowed uses: nonresidential uses that attract few people  
 Prohibit: Schools, hospital/medical, meeting places, hazardous, labor intensive manufacturing
- Zone 3:**  
 Inner Turning Zone  
 Max. residential density: 1 du/2-5 ac  
 Allowed uses: very low density residential uses and low intensity nonresidential uses  
 Prohibit: Schools, day care, hospital, nursing homes
- Zone 4:**  
 Outer Approach/Departure Zone  
 Max. residential density: 1 du/2-5 ac  
 Allowed uses: Very low density residential uses and low intensity nonresidential uses  
 Prohibit: Schools, large day care, hospital, nursing homes
- Zone 5:**  
 Sideline Zone  
 Max. residential density: 1 du/1-2 ac  
 Allowed uses: aviation related activities, lower intensity nonresidential uses  
 Avoid: nonresidential uses as noise is a factor
- Zone 6:**  
 Traffic Pattern Zone  
 Max. residential density: no limit  
 Allowed uses: most residential and nonresidential uses  
 Prohibit: stadiums and high intensity uses  
 Avoid: Schools, large day care, hospital, nursing homes

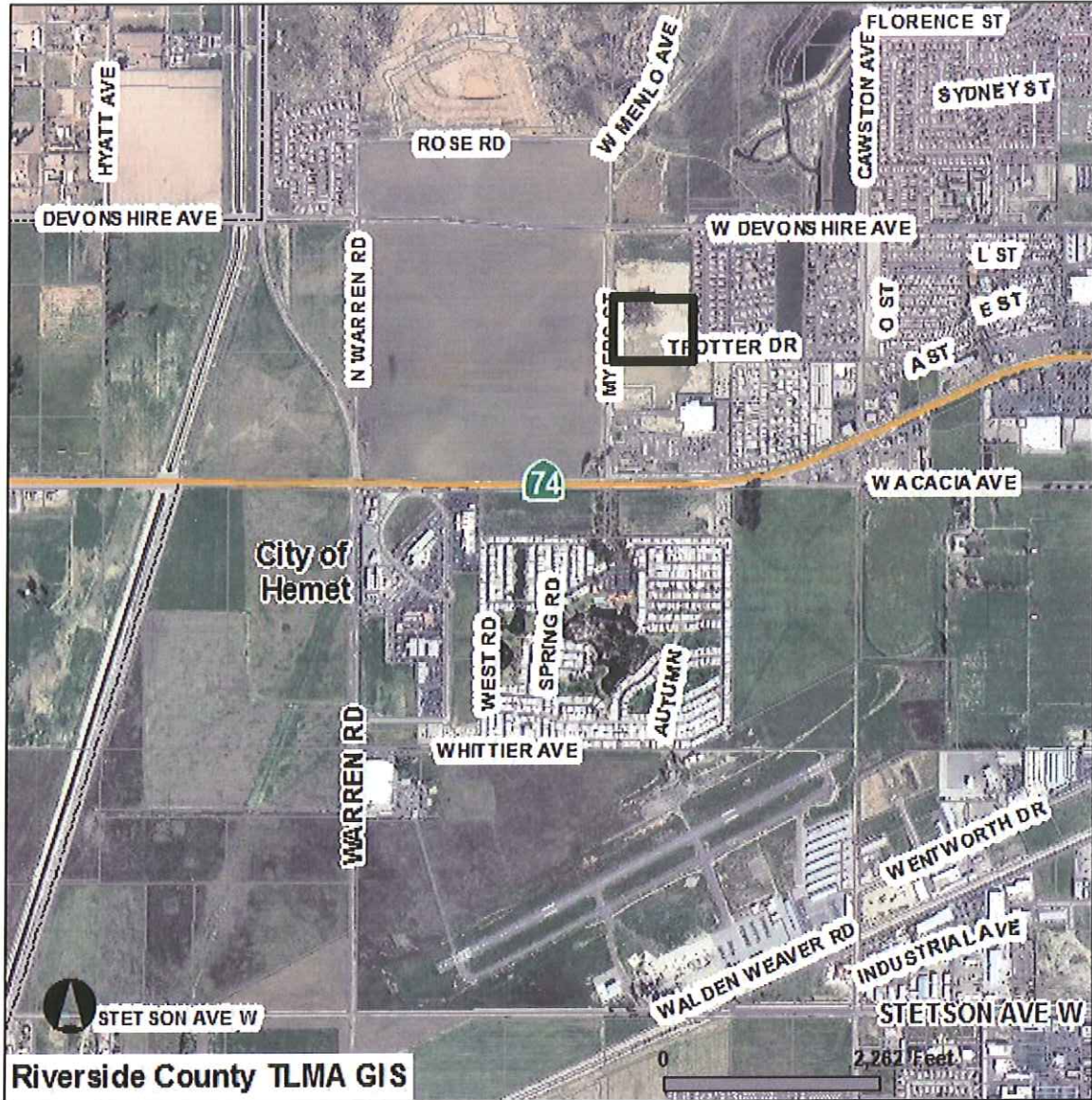
X06268298.11 075 03/11

Sources:  
 Census Tiger Line Data 2005  
 DMJM 2011  
 ESRI 2010

**LEGEND**

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RIVERSIDE COUNTY GIS



Selected parcel(s):  
448-120-010

**\*IMPORTANT\***

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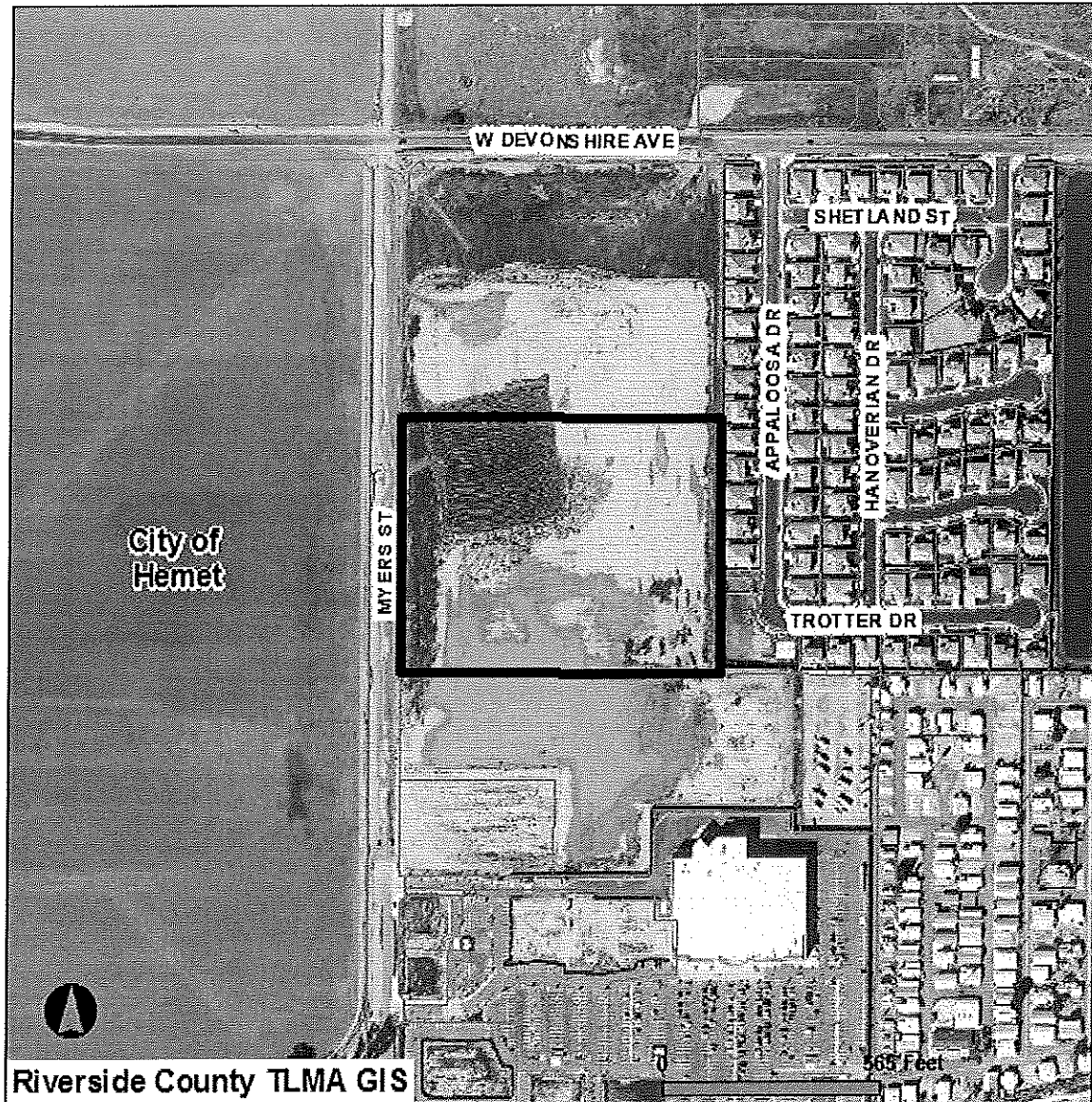
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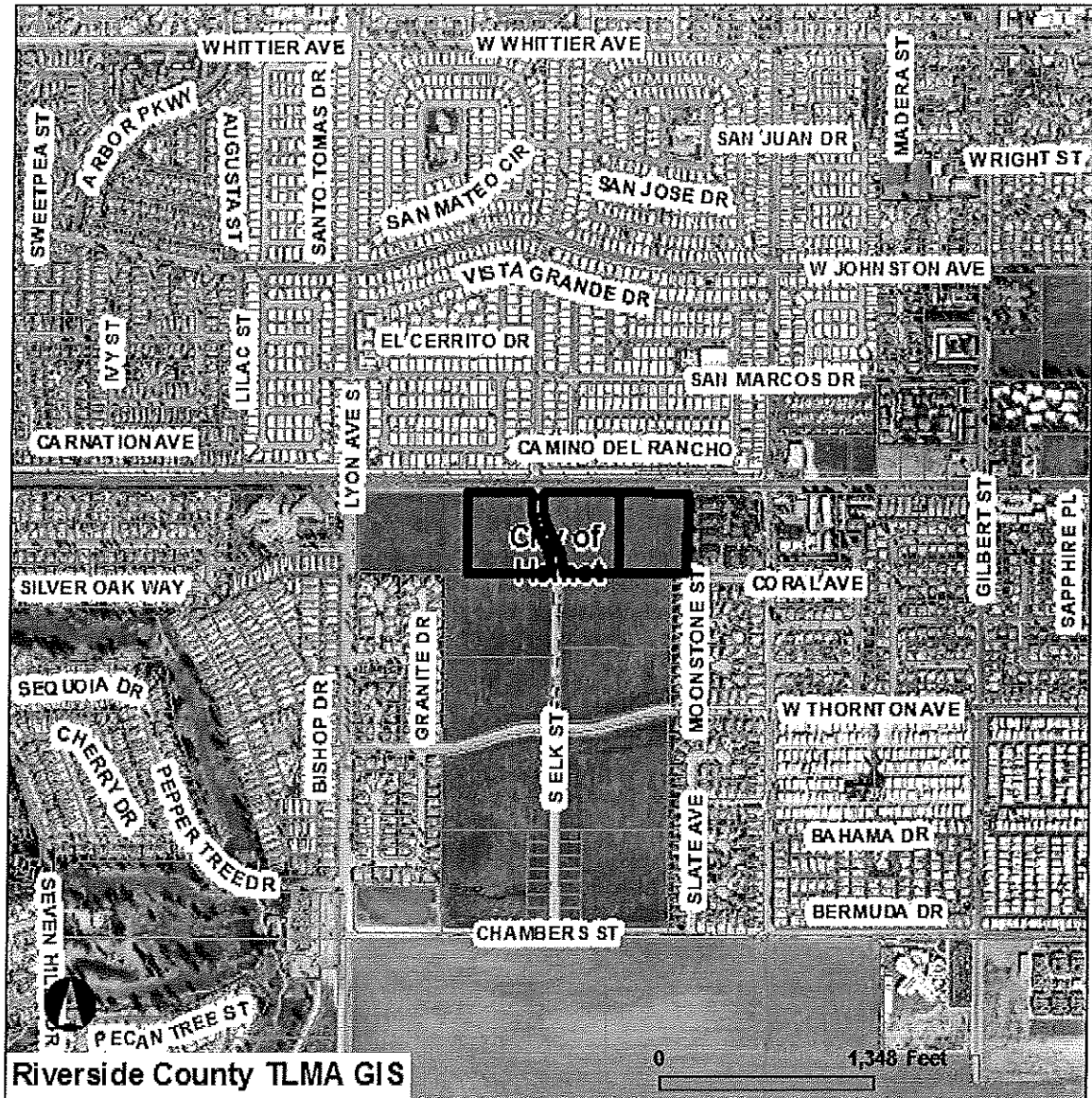
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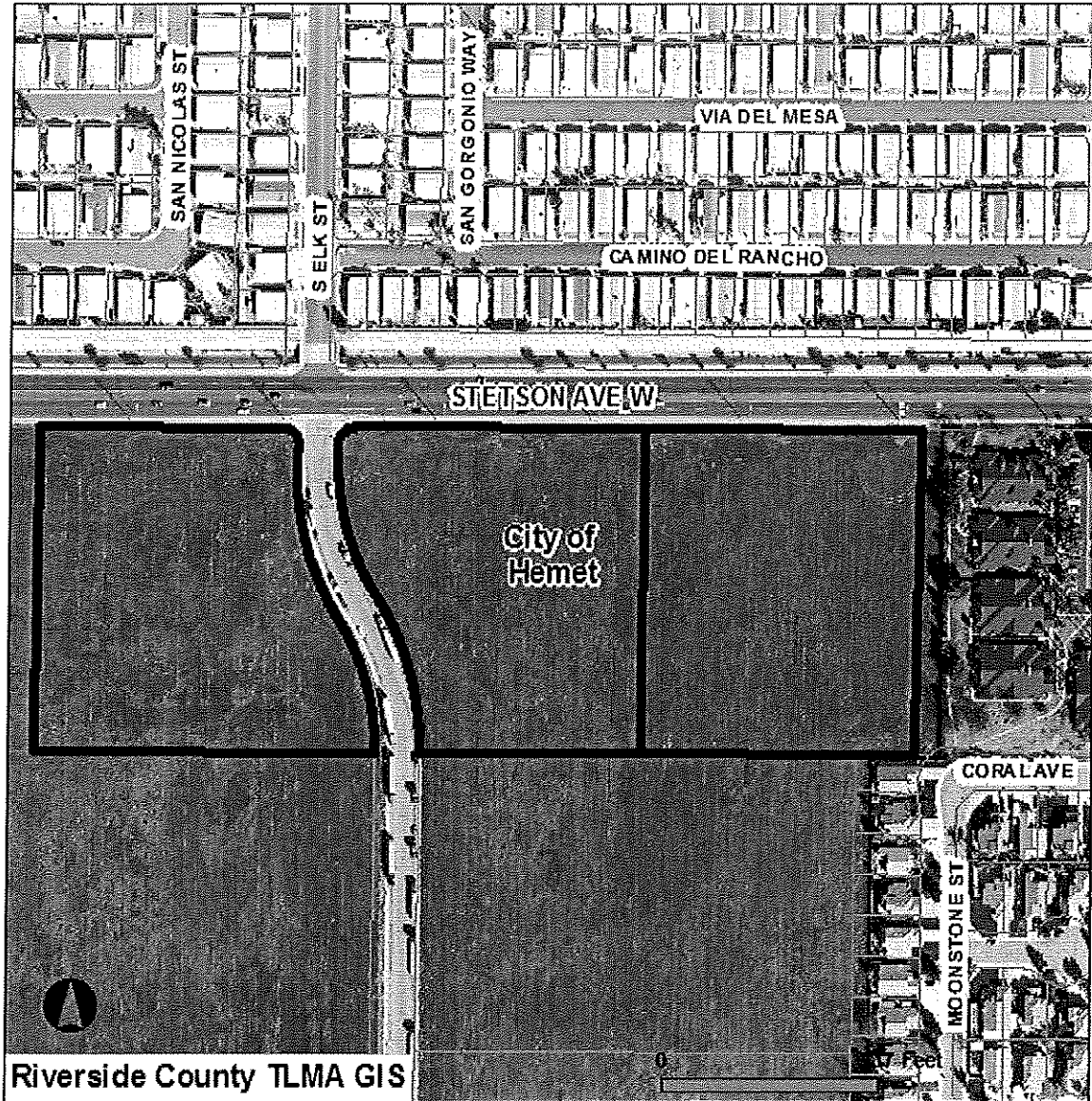
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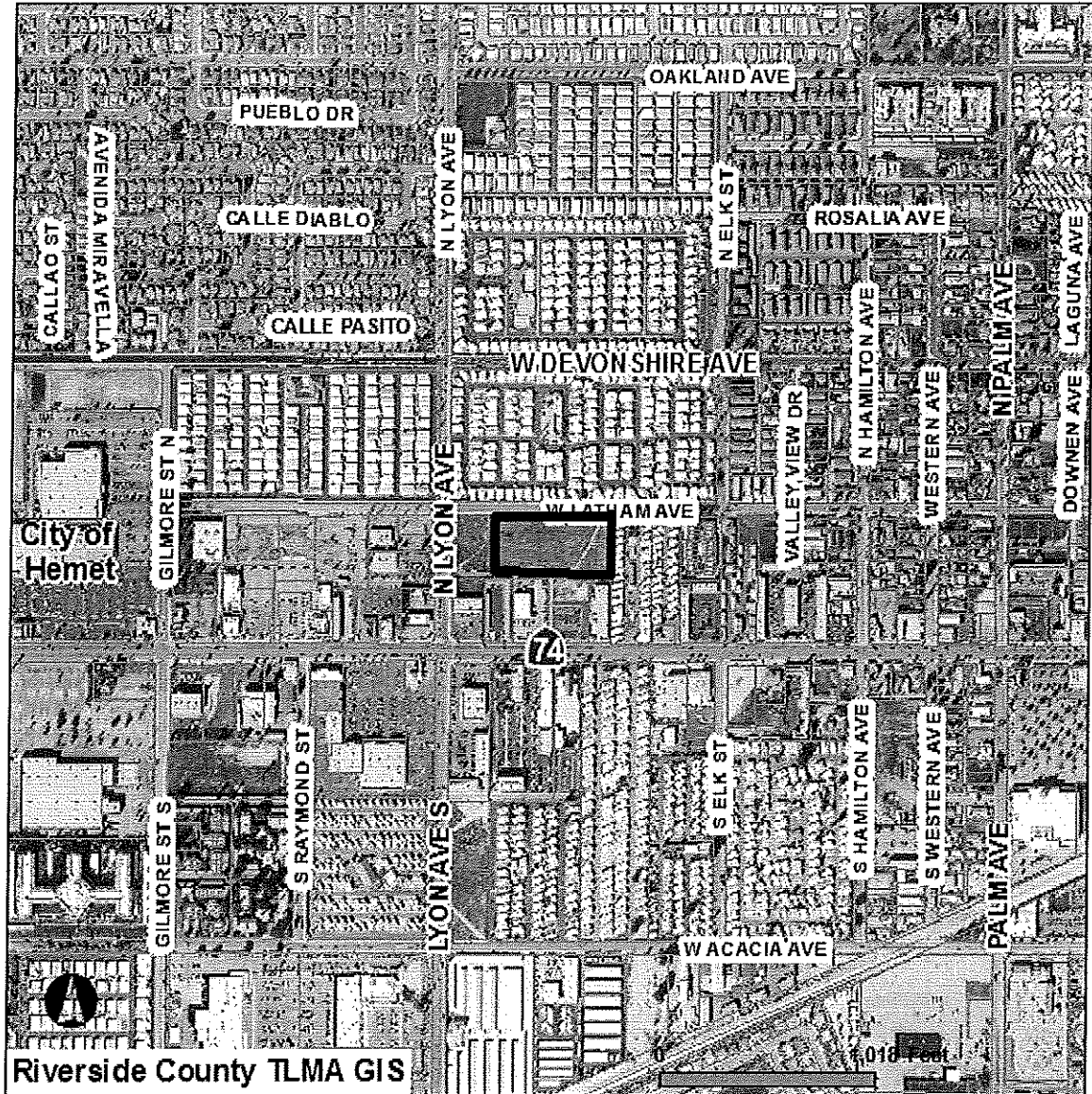
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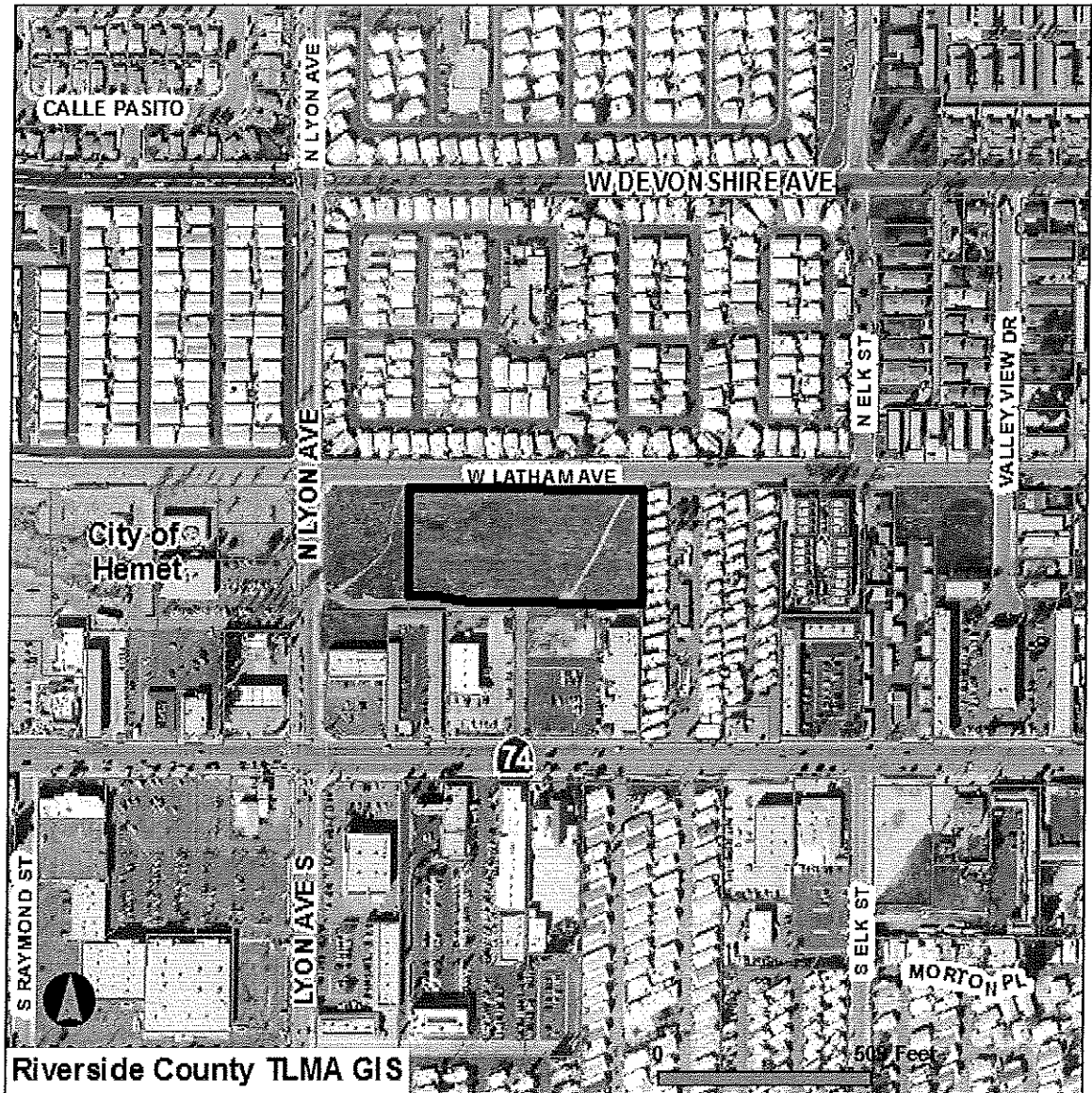
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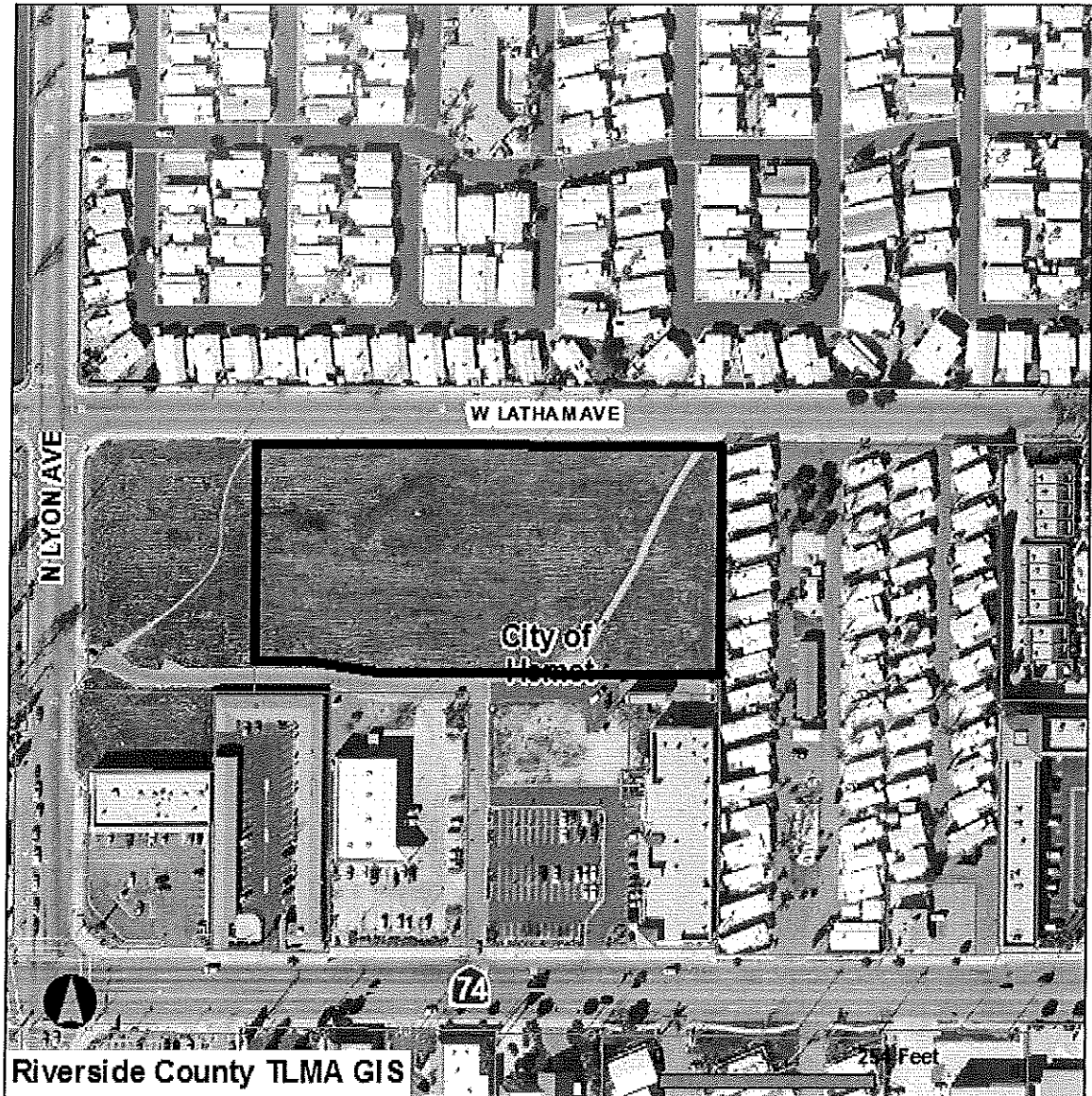
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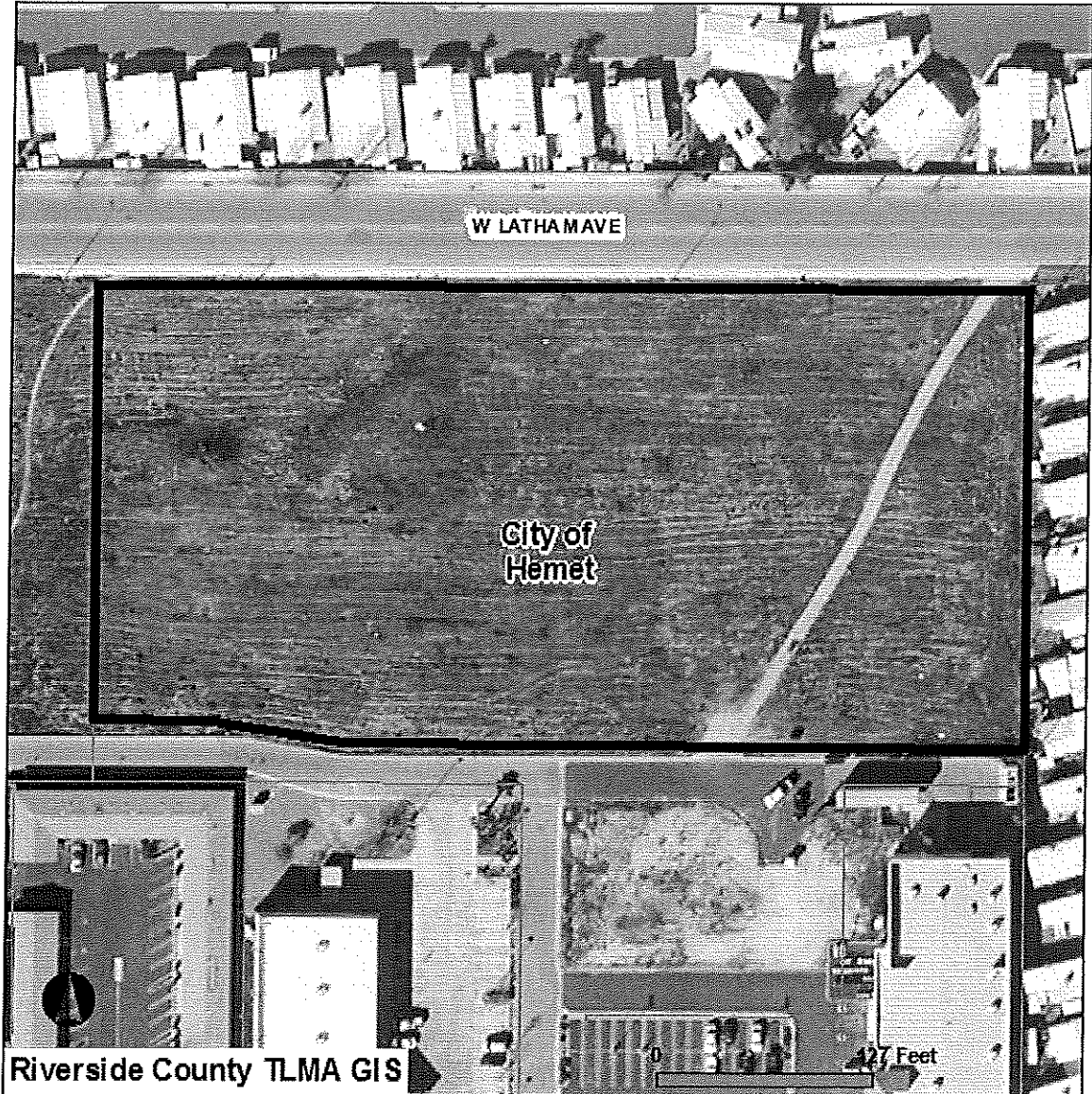
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HEMET-RYAN AIRPORT  
COMPREHENSIVE AIRPORT LAND USE PLAN

1992

SECOND EDITION

INCORPORATES AMENDMENT ADOPTED APRIL 16, 2009

EXCERPTS

## I. RELATIVE RISK CONCEPT

### Relative Risk Principle:

The purpose of this document is to identify potential risks and noise associated with aircraft and airport operations as that risk and noise relates to existing and future land uses within the horizontal surface or area of influence of the airport. This assessment of noise and risk will be used by Riverside County, the City of Hemet, and the Riverside County Airport Land Use Commission in making land use decisions. Three areas are defined herein; Area I, Area of Extreme Risk; Area II, Area of High Risk; and Area III, Area of Moderate Risk. The concept is that each successive area is influenced by less relative risk and less noise than the preceding area. The areas were defined by use of characteristic flight paths of various aircraft using the airport, and existing and projected noise contours. Details of the selection criteria which defines each area is listed in the section defining the relative risk areas.

## II. DEFINITIONS

### A. Critical Facilities:

Examples (including but not limited to):

1. Telephone Exchanges
2. Electrical Transformer Relays
3. Radio HV Studies

### B. Discretionary Review:

Land Uses

There exists a wide variety of land uses categories. To deal with the review of such land uses in a practical manner, a discretionary review procedure is employed.

The discretionary review procedure is located in Section VIII, Discretionary Review Procedures, page 36.

### C. Hazardous Materials:

Examples (including, but not limited to):

1. Flammable Liquids
2. Flammable Materials
3. Combustible Materials
4. Explosive Materials
5. Pesticides
6. Cleaning Agents
7. Compressed Gas
8. Feed and Flour Mills
9. Plastics Manufacturing/Storage
10. Breweries

D. Institutional:

Examples (including but not limited to):

1. School
2. Church and Similar Uses
3. Motel
4. Hospital
5. Nursing Home
6. Health Facilities
7. Clinic
8. Care Homes
9. Convalescent Facilities
10. Day Care

E. Places of Assembly

Any structure, public or private, or premise, or portion thereof exceeding 1,500 square feet in area, where the Building Code would provide for occupancy levels of an intensity exceeding one person per 30 square feet, which is designed or used for entertainment, amusement, instruction, education, worship, deliberation, display, meeting, awaiting transportation or for the consumption of food and drink.

Examples include, but are not limited to:

1. Auditorium
2. Theatre
3. Restaurant
4. Church
5. Clubhouse

6. Arena
7. Stadium
8. Circus
9. Bowling Alleys

C. TRANSITION AREA:

The subcommittee determined that the distinction from Area II to Area III is very abrupt. In Area II, residential dwelling units are on large acreage (2-1/2 acres per dwelling unit). In Area III, a wide range of land uses are permitted. The subcommittee reviewed several issues to create a smoother transition. The issues included density, height, institutional uses, place of assembly, and hazardous materials.



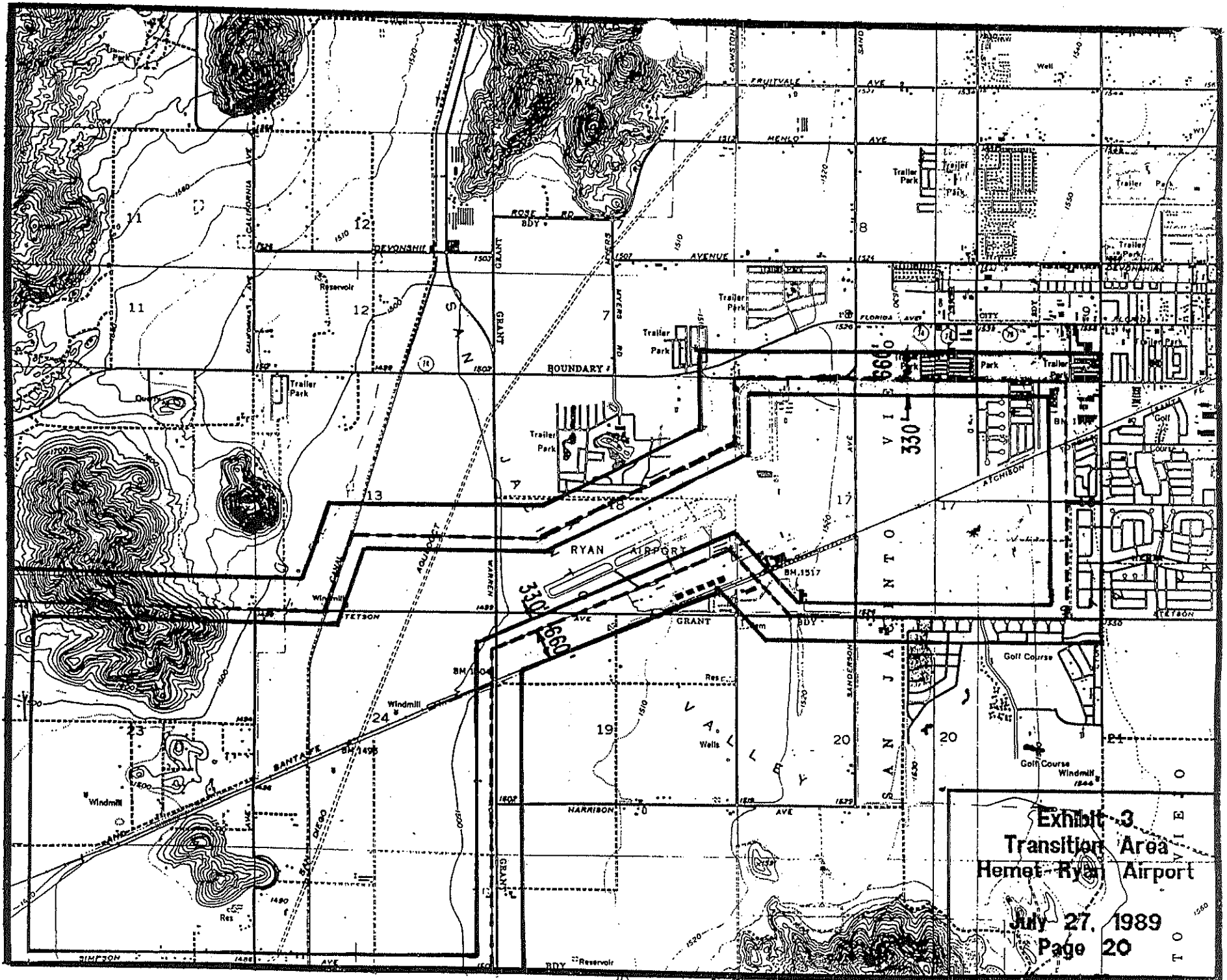


Exhibit 3  
 Transition Area  
 Hemet-Ryan Airport

July 27, 1989  
 Page 20

TO VIEW

D. AREA III: Area of Moderate Risk

The outer boundary of the Area of Moderate Risk is based upon the outer radius of the imaginary horizontal surface of the airport as defined in Federal Aviation Regulations (FAR), Part 77. This area is normally used to determine whether obstructions exist within the area where aircraft are most likely to be maneuvering. It was designated by the Airport Subcommittee as the Area of Moderate Risk due to the flight paths and aircraft noise which are present in the entire area. The boundaries of Area III for planning purposes have been adjusted to follow roads or section lines for easy identification. It is bounded by Eaton Avenue on the north, Palm Avenue on the east, Simpson Avenue on the south, and the section line dividing Sections 2 and 3, 10 and 11, 14 and 15, 22 and 23, and N 1/2 of Sections 26 and 27, T5S, R2W, SBB & M on the west.

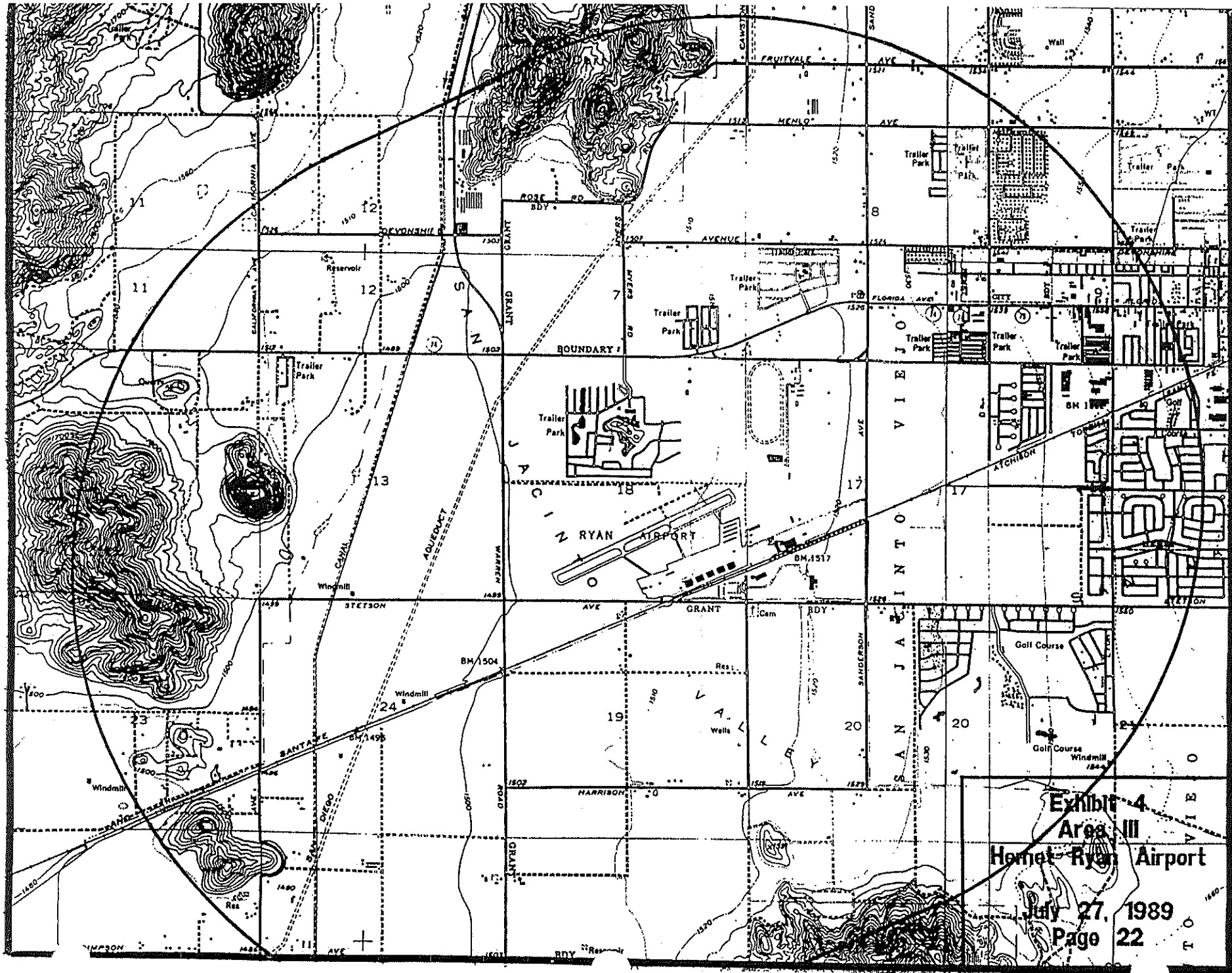


Exhibit 4  
Area III  
Home Ryan Airport

July 27, 1989  
Page 22

B. AREA II: Area of High Risk

Policies

1. Area II shall have a minimum residential lot size of 2-1/2 acres or greater
2. Public and Private schools shall not be permitted in Area II.
3. Institutional uses, places of assembly and hazardous material facilities shall not be permitted in Area II.

Permitted Uses

1. Industrial
2. Agricultural
3. Minimum Residential lot sizes larger than 2-1/2 acres per dwelling unit.

Discretionary Uses

1. Commercial

C. TRANSITION AREA

Policies

1. The Transition Area is located between Area II and Area III. It is 330 feet inside the Area II boundary and 660 feet outside the Area II boundary.

2. If 50% or more of the project site is in the Transition Area, it shall be considered part of the Transition Area.
3. The Transition Area shall not extend beyond the outer boundary of Area III or extend into Area I.
4. Residential density in the Transition Area is limited to not more than 20 dwelling units per acre and maybe less pending a discretionary review. All multiple family dwelling units shall be subject to a discretionary review.
5. All structures shall be limited to 35' in height or two stories, whichever is less.
6. Any Institutional Uses, Places of Assembly, and Public and Private Schools shall require a discretionary review as to its location and relative risk area.
7. Commercial, Industrial, Manufacturing, and Agriculture uses which are two stories in height or less shall be permitted in this area subject to relevant standards.
8. Activities involving hazardous materials shall be subject to a discretionary review.

Permitted Uses

1. Commercial
2. Industrial
3. Manufacturing
4. Agricultural

Discretionary Uses

1. Residential dwelling units
2. Institutional
3. Places of Assembly
4. Public and Private Schools
5. Hazardous Material Facilities

D. AREA III: Area of Moderate Risk

Policies

1. Permitted Uses
  - a. Wide range of uses are permitted
  
2. Discretionary Uses
  - a. Structures over 35' or 2 stories, whichever is greater.
  - b. Institutional
  - c. Places of Assembly
  - d. Hazardous Materials
  - e. Public & Private Schools

E. NOISE AND SOUNDPROOFING REQUIREMENTS

1. Avigation Easements shall be required for all land uses in Areas I, II, and III.
  
2. Any habitable structures to be constructed in the 2005 average annual day 60 CNEL noise contour (as defined in the Noise Contour Study dated January, 1989, prepared by

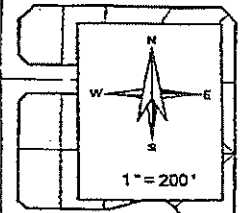
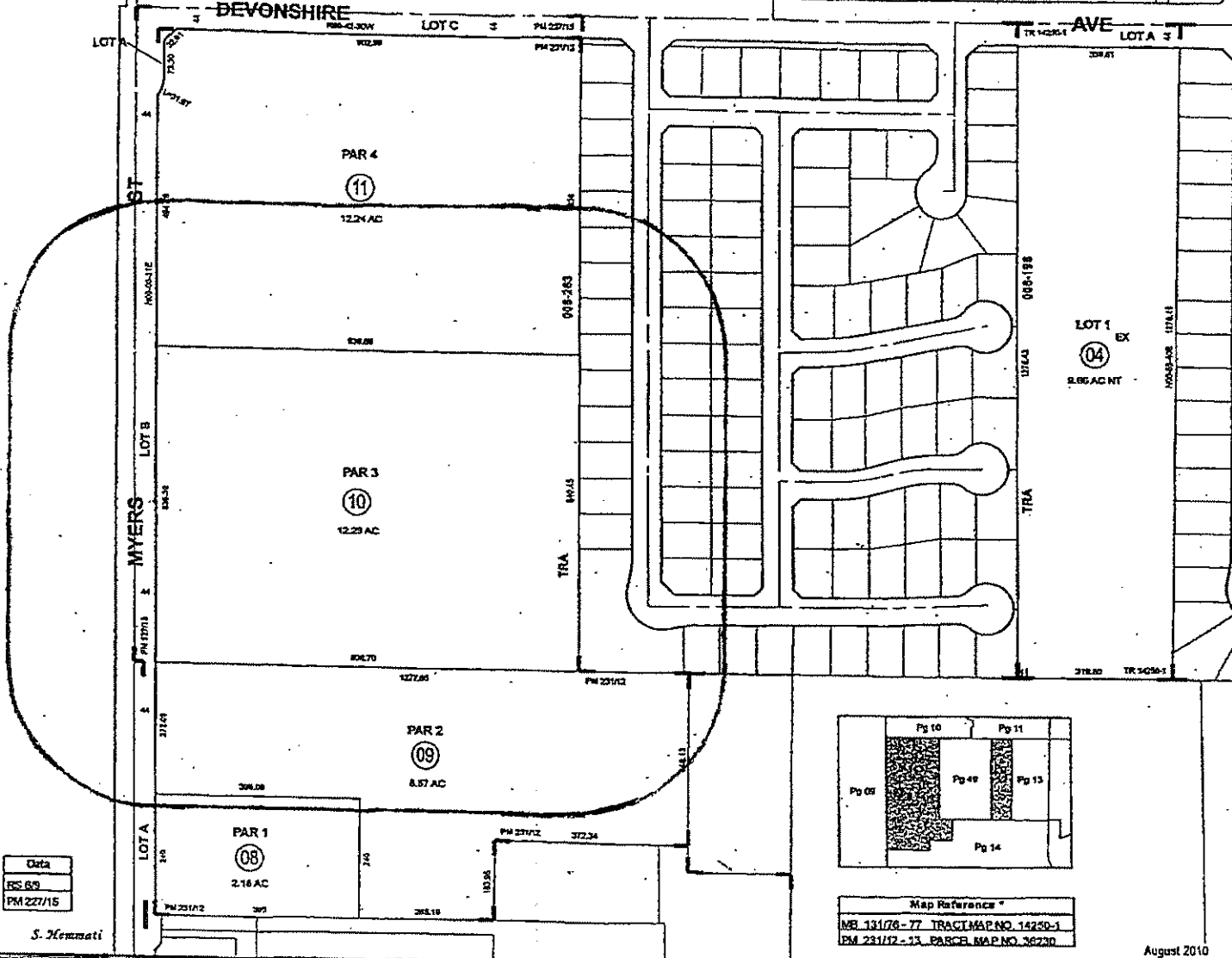
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

POR. SEC. 7, T. 5S., R. 1W.  
CITY OF HEMET

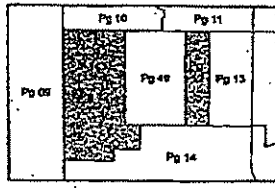
TRA 006-198  
006-263

448-12  
441-47

AUG 26 2010



- Legend**
- Lot Lines
  - Right-Of-Way
  - Old Lot Lines
  - Subdivision P.O.W.
  - Other Easements
  - Lanes Area
  - Subdivision Tie Mark



**Map Reference \***  
MB 13176-77 TRACIMAP NO. 14250-1  
PM 231172-13 PARCEL MAP NO. 36230

Date	Old Number	Row Number
3/5/2001	23	3
9/2/2001	5	10, 49
12/18/2008	1	8
6/27/10	6, 142, 14, 27	7
8/26/10	7	12, 31



ASSESSOR'S MAP BK448 PG.12  
Riverside County, Calif.

Date  
RIS BS  
PM 227/15

S. Memmati

August 2010

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

FEB 18 2009

POR. SE 9 T.5S, R.1W  
CITY OF HEMET

TRA 006-001  
006-165

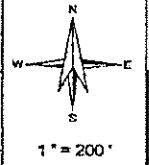
442-06  
13-30-2

9 W. DEVONSHIRE AVENUE

AVENUE

POR LOT 183  
01  
17.28 AC

N. ELK ST



TRA 006-001

W. LATHAM AVENUE

1  
27  
1.26 AC

POR 2  
46  
3.31 AC ML

POR LOT 183  
25  
4.17 AC

061  
1-23  
LOT 1  
23  
1.33 AC NT

07  
1.00 AC

29  
1.00 AC

47  
1.00 AC ML

40  
1.00 AC

41  
1.00 AC

PAR 1  
11  
1.28 AC NT

W. FLORIDA AVENUE



ASSESSOR'S MAP BK442 PG 06  
Riverside County, Calif.

Morgan

DATA  
PM 1/67, PM 1-P 1/1  
LLA 02-7

BK 448 Pg 41	Pg 04	Pg 05
BK 448 Pg 43		Pg 07
BK 448 Pg 44		
BK 448 Pg 46	Pg 11	Pg 10

MB	8 /	357 -	0	SD SAN JACINTO LAND ASSN.
PM	58 /	75 -	76	PARCEL MAP NO 16314
MB	265 /	31 -	33	TRACT MAP NO 28363
MB	120 /	1 -	2	TRACT MAP NO. 17195
CM	44 /	73 -	77	LOT 1 #0225167 10-25-83

January 2009

Date	Old Number	New Number
07/01/81	3	13-32
07/01/87	18	13-36
07/01/88	1	14-34
07/01/89	14-35	17
07/01/94	17	18-38
10/01/98	18-38	21
10/01/98	21	22-34
11/01/97	3	24-31
07/01/97	22-33	28
07/01/97	24	27-28
07/01/97	28	29-33
12/02/03	28	24-33
12/02/03	31	26-37
12/02/03	32	28-39
12/02/03	36,34	40
12/02/03	33,37,38	41
07/01/04	000-12	001-1-33
10/02/08	38	42,43
10/02/08	34	44,45
10/02/08	42,44	46
12/02/09	34,43,45	47

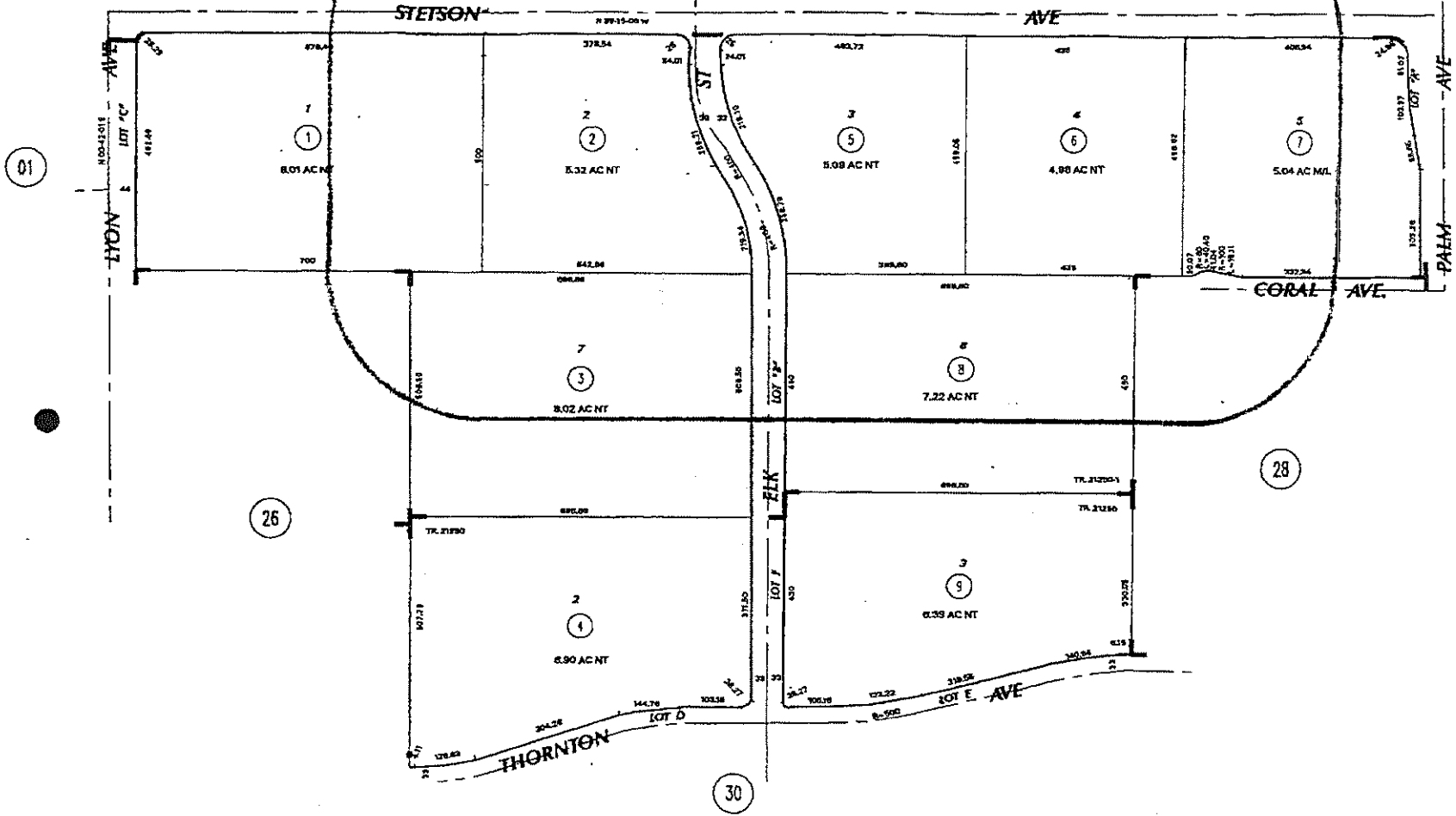


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POR. SEC 21 T.5S., R.1W  
CITY OF HEMET

T.R.A. 006-035

464-27  
453-53



ASSESSOR'S MAP BK464 PG.27  
Riverside County, Calif.

ESCN

MB 171/63-64 TRACT 21250-1  
MB 177/70-71 TRACT 21250

AUG 04 2000

May 2000

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1028HR13

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application May 29, 2013  
 Applicant City of Hemet Phone Number 951-765-2375  
 Property Owner  
 Mailing Address Deanna Elliano, Community Development Director  
445 E. Florida Avenue  
Hemet, CA 92543

Agent (if any) \_\_\_\_\_ Phone Number \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT) Refer to Attachments**

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address \_\_\_\_\_  
 Assessor's Parcel No. \_\_\_\_\_ Parcel Size \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT) Refer to Attachments**

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Proposed Land Use (describe) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site \_\_\_\_\_ Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_  
 \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) \_\_\_\_\_ ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site \_\_\_\_\_ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)**

Date Received	<u>NA</u>	Type of Project	<input type="checkbox"/> General Plan Amendment
Agency Name	<u>City of Hemet</u>	<input checked="" type="checkbox"/> Zoning Amendment or Variance	
	<u>Planning Division</u>	<input type="checkbox"/> Subdivision Approval	
Staff Contact	<u>Nancy Gutierrez</u>	<input type="checkbox"/> Use Permit	
Phone Number	<u>951-765-2382</u>	<input type="checkbox"/> Public Facility	
Agency's Project No.	<u>ZOA 13-001</u>	<input type="checkbox"/> Other	
	<u>ZOA 13-006; ZC 13-001</u>		

**ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____							
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> HI.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				

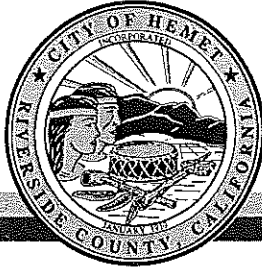
Special Conditions	Describe: _____
	_____

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

**ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	_____	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	
	_____	
	_____	



# City of Hemet

May 29, 2013

Riverside County Airport Land Use Commission (ALUC)  
Riverside County Administrative Center  
4080 Lemon Street, 14th Floor  
Riverside, CA 92501

Subject: City of Hemet Zoning Ordinance and Map Amendments

Dear Airport Land Use Commissioners:

In January 2012, subsequent to a finding of consistency by the ALUC, the Hemet City Council adopted a comprehensive update to the Hemet General Plan. One of chapters (Chapter 11) in the General Plan is the City's Housing Element. Unlike other elements in the General Plan, the Housing Element must be certified by the California Department of Housing and Community Development (HCD) and updated on a scheduled "cycle" established by geographic region. As a condition of its certification, the City is required to make certain amendments to its zoning ordinance and zoning map to achieve compliance with the adopted Housing Element of the General Plan.

There are two zoning ordinance amendments (ZOA13-001 and ZOA13-006) and one zoning map amendment (ZC13-001) being submitted to the ALUC as part of this state required housing element consistency zoning. These amendments bring the City's zoning ordinance and zoning map into compliance with the General Plan document and map with which the ALUC issued a finding of consistency in January 2012. Each amendment is discussed below.

## **ZOA13-001 Housing Element Compliance**

### **A. Emergency Shelters (Attachment 3, Exhibits A1 and A2)**

California Government Code Section 65583 (4)(A) requires that emergency shelters be permitted by-right in at least one zone; additional zones may be identified where emergency shelters may be permitted with a conditional use permit. The existing Valley Restart Shelter is located at 200 E. Menlo Avenue, outside of the Hemet-Ryan Airport Comprehensive Airport Land Use Plan (ALUP) in the C-1 zone. The Valley Restart Shelter meets the City's homeless needs and is expected to remain as the only emergency shelter in the City. However, although highly unlikely, ZOA13-001 allows additional emergency shelters to be conditionally permitted in the C-M (Commercial Manufacturing Zone) subject to new development and management standards. Any new shelter would probably establish itself in an existing commercial or industrial structure. Only C-M zoned vacant land would be affected by the provisions of

the ALUP; however, to emphasize its importance, Section 90-303(d) was included in the ordinance (Attachment 3, Exhibit A1) acknowledging that emergency shelters established within the boundaries of the Hemet-Ryan Airport Land Use Compatibility Zones may be subject to review by the ALUC in accordance with the adopted ALUP.

Table 1 lists the C-M zoned parcels located within an ALUP Land Use Compatibility Zone and Attachment 1 includes maps of the zoning and an aerial view of the referenced parcels. Note there are only six vacant C-M zoned parcels within an ALUP zone.

<b>APN</b>	<b>Current Use</b>	<b>ALUP Zone</b>
442-110-027	Vacant	Area III (Moderate Risk)
442-110-028	Vacant	Area III (Moderate Risk)
442-110-031	Vacant	Area III (Moderate Risk)
442-120-003	Vacant	Area III (Moderate Risk)
456-030-020 (portion of site)	Vacant	Area II (High Risk)
456-030-005	Vacant	Area II (High Risk)
442-120-002	Industrial	Area III (Moderate Risk)
442-120-010	Industrial	Area III (Moderate Risk)
442-120-014	Industrial	Area III (Moderate Risk)
442-120-015	Industrial	Area III (Moderate Risk)
442-120-016	Industrial	Area III (Moderate Risk)
442-120-020	Industrial	Area III (Moderate Risk)
442-110-007	Mobile Home Park	Area III (Moderate Risk)
442-110-008	Mobile Home Park	Area III (Moderate Risk)
442-110-014	Mobile Home Park	Area III (Moderate Risk)
442-110-009	Commercial	Area III (Moderate Risk)
442-110-010	Commercial	Area III (Moderate Risk)
442-110-011	Commercial	Area III (Moderate Risk)
442-110-021	Commercial	Area III (Moderate Risk)
442-110-023	Commercial	Area III (Moderate Risk)
442-110-024	Commercial	Area III (Moderate Risk)
442-110-025	Commercial	Area III (Moderate Risk)
442-110032	Commercial	Area III (Moderate Risk)
448-460-009	Mobile Home Park	Transition Area
448-460-008	Commercial	Area III (Moderate Risk)
448-460-007	Commercial	Area III (Moderate Risk)
448-460-006	Commercial	Area III (Moderate Risk)
468-460-003	Commercial	Area III (Moderate Risk)
468-460-002	Commercial	Area III (Moderate Risk)
448-450-015	Commercial	Area III (Moderate Risk)
448-450-014	Commercial	Area III (Moderate Risk)
448-450-013	Commercial	Area III (Moderate Risk)
456-030-004	Commercial	Area II (High Risk)
456-040-033	Commercial	Area II (High Risk)
456-040-034	Commercial	Area II (High Risk)
456-040-039	Commercial	Area II (High Risk)

**B. Farmworker Housing (Attachment 3, Exhibit A3)**

California Health and Safety Code Section 17021.6 requires that farmworker housing of up to 36 beds or 12 family units be included in the definition of agricultural use and not be restricted by conditional use permit requirements or zoning clearance. To meet this state law requirement, ZOA13-001 amends the permitted uses table of the Agricultural Zones to permit farmworker housing as a component of an agricultural use in the A (Agricultural), A-1-C (Light Agricultural), and A-2-C (Heavy Agricultural) zones. The City does not have active agricultural land that would warrant the provision of housing for farmworkers. This is nominal change that will have very little, if any, impact on land use patterns. Table 2 lists the A zoned parcels located within an ALUP Compatibility Zone and Attachment 2 includes maps of the zoning and an aerial view of the referenced parcels.

<b>APN</b>	<b>Zone</b>	<b>Current Use</b>	<b>ALUP Zone</b>
456-030-002	A-2-C-10	Vacant	Area I (Extreme Risk) Area II (High Risk)
448-140-003	A-5	Mobile Home Park	Transition Area Area III (Moderate Risk)
448-140-002	A-5	Mobile Home Park	Area III (Moderate Risk)
448-120-010	A-5	Vacant	Area III (Moderate Risk)
448-120-011	A-5	Vacant	Area III (Moderate Risk)
448-100-015	A-5	Vacant	Area III (Moderate Risk)
448-090-003	A-5	Vacant	Area III (Moderate Risk)
444-100-008	A-10	Vacant	Area III (Moderate Risk)
444-100-016	A-10	Vacant	Area III (Moderate Risk)
455-130-021	A-10	Vacant	Area III (Moderate Risk)
455-130-022	A-10	Vacant	Area III (Moderate Risk)
455-130-023	A-10	Vacant	Area III (Moderate Risk)
455-130-024	A-10	Vacant	Area III (Moderate Risk)
455-130-033	A-10	Vacant	Area III (Moderate Risk)
455-110-012	A-10	Vacant	Area III (Moderate Risk)
455-110-013	A-10	Vacant	Area III (Moderate Risk)
455-120-014	A-10	Vacant	Area III (Moderate Risk)

ZOA13-001 also proposes text changes to remove the age restrictions in the Small Lot Residential (SLR) Zone to comply with state law and to identify senior housing communities in the City. Although these amendments do not affect land uses and do not appear to warrant review by the ALUC, the redlined versions are included in Attachment 3.

Attachment 3 is Planning Commission Resolution Bill No. 13-001 adopted on May 21, 2013 that recommends approval of ZOA13-001 (Ordinance Bill No. 13-016) to the City Council. Exhibits to Ordinance Bill No. 13-016 show the proposed amendments to the zoning ordinance in redline.

**ZOA13-006 Zoning Ordinance Amendment – Creation of the R-4 Zone**  
**ZC13-001 Zoning Map Amendment – Designation of R-4 Zoned Parcels**

ZOA13-006 is scheduled for the Planning Commission meeting of June 4, 2013 and ZC13-001 for the Planning Commission meeting of June 18, 2013. Therefore, the attached red-lined ordinance amendment and map changes are in draft form and subject to change upon the review of Planning Commission, and subsequently to City Council.

State housing element law (Government Code Section 65583) requires cities to maintain an inventory of land suitable for residential development. Sites within this inventory may be used to meet a city's low income Regional Housing Needs Allocation (RHNA) if zoned for more than 30 dwelling units (dus) per acre. The Housing Element of the Hemet General Plan includes a listing (Table 11.1) and a map (Figure 11.1) of the 21 vacant parcels identified for designation as Very High Density Residential (VHDR: 30 – 45 dus/acre) to meet the City's RHNA. The VHDR designation and the 21 HDR designated sites were approved through the General Plan update process in 2012.

Subsequent to a comprehensive General Plan update, state law grants cities two years to bring its zoning ordinance and zoning map into compliance with the updated General Plan. ZOA13-006 and ZC13-001 are components of that zoning consistency process. ZOA13-006 establishes a R-4 (Very High Density) zone that corresponds to the VHDR designation of the General Plan (Attachment 4). ZC13-001 establishes R-4 zoning on the 21 parcels designated as VHDR on the General Plan Land Use Map (Attachment 5); however, only four of those parcels are located within an ALUP Compatibility Zones as shown in Table 3. Attachment 5 maps the parcels.

<b>Proposed R-4 Zoned Properties within an ALUP Land Use Compatibility Zone</b>			
<b>APN</b>	<b>Current Use</b>	<b>ALUP Zone</b>	<b>Site No. on Figure 11.1 (Attachment 5)</b>
464-270-002	Vacant	Area III (Moderate Risk)	4
464-270-005 (portion of site)	Vacant	Area III (Moderate Risk)	5
442-060-046	Vacant	Area III (Moderate Risk)	16
448-120-011	Vacant	Area III (Moderate Risk)	17

**Public Noticing**

It is City policy to publish a 10-day notice of public hearing in the Press Enterprise newspaper for citywide amendments. The notice for ZOA13-001 was published April 25, 2013 and for ZOA13-006 on May 24, 2013. ZC13-001 has not yet been noticed; therefore, no address labels are included with this submission.

**Conclusion**

The purpose of the City-initiated zoning ordinance and zoning map amendments submitted herein to the ALUC is solely to bring those two documents into compliance with the General Plan and to meet state housing element requirements. The General Plan was deemed consistent with the Hemet-Ryan ALUP by the ALUC on January 12,

2012; therefore, ZOA13-001, ZOA13-006, and ZC13-001 would also be consistent with the ALUP.

Please feel free to contact me if you have any questions or would like additional information. A City representative will attend the ALUC meeting in July to address any issues or respond to questions from the Commissioners, regarding the proposed consistency zoning actions.

Sincerely,



Deanna Elliano, Community Development Director  
City of Hemet

### ATTACHMENTS

1. Zoning and aerial maps of the C-M zoned parcels within an ALUP Compatibility Zone.
2. Zoning and aerial maps of the A zoned parcels within an ALUP Compatibility Zone.
3. ZOA13-001: Planning Commission Resolution Bill No. 13-011

Exhibit A: Proposed City Council Ordinance Bill No. 13-016

*Exhibit A1:* Proposed addition of Division 4 to Article X (Special Housing Classifications) to establish applicability and supplemental development standards for emergency shelters.

*Exhibit A2:* Proposed amendment to Section 90-892 (Permitted Uses) of Article XXVI (Commercial Zones) to permit existing emergency shelters by-right in the C-1 (Neighborhood Commercial) zone and new emergency shelters by conditional use permit in the C-M (Commercial-Manufacturing) zone.

*Exhibit A3:* Proposed amendment to Section 90-192 (Permitted Uses) of Article VII (Agricultural Zones) to permit farmworker housing as a component of an agricultural use by-right in the A (Agriculture), A-1-C (Light Agriculture), and A-2-C (Heavy Agriculture) zones

*Exhibit A4:* Proposed amendment to Article XVI the Small Lot Residential Zone, Section 90-501 (Purpose) and Section 90-513 (Covenants and Conditions) to remove the restriction of senior-only housing from this zone.

*Exhibit A5:* Proposed amendment to Article XXXI the Senior Housing Overlay Zone, Title, Section 90-1082 (Permitted Uses) and Section 90-1084 (Applicability) to remove zone references, regulate signage, and add a requirement to identify and display on the zoning map the locations of senior housing developments.

4. ZOA13-006: Draft redlined amendments to Article XIII Multiple Family Zones of the Hemet Municipal Code Chapter 90 (Zoning) creating the R-4 (Very High Density) zone and associated updates.
5. ZOA13-001: Figure 11.1 Vacant Multi-Family Sites of the Hemet General Plan showing the sites that will be zoned R-4 as part of the zoning consistency process.



**ARTICLE XIII. - MULTIPLE-FAMILY ZONES**

- Sec. 90-381. - Purposes.
- Sec. 90-382. - Zones established.
- Sec. 90-382383. - Permitted uses.
- Sec. 90-383384. - Reserved.
- Sec. 90-384385. - General requirements.
- Sec. 90-385386. - Site development requirements.
- Sec. 90-386387 - Senior residential projects.
- Secs.90-388—90-420. - Reserved.

**Sec. 90-381. - Purposes.**

(a) ~~In addition to the overall purposes stated in section 90-1, the residential zones are established to provide properly located family living areas based on a wide range of population densities in conformity with the general plan to protect residential properties from noise, odors, smoke, dirt, vibration, glare, fire, explosion, noxious fumes, unsightliness and other hazards or objectionable influences; to protect residential properties from congestion and nuisances caused by commercial and industrial traffic; to ensure adequate privacy, light, air and usable open space for each dwelling unit; and to provide areas for institutional uses that require a residential environment and for public and semipublic facilities needed to serve the residential uses. The multiple-family zones provide areas for low-medium to very high density residential uses with a variety of housing types where adequate public facilities and services exist with the capacity to serve development. Commonly maintained on-site recreational facilities and open space are typically required to serve the more concentrated residential population.~~

(b) The multiple family zones implement the low medium density to very high density residential designations of the General Plan. The designations provide for multiple family housing with allowable densities that range from 5 to 45 dwelling units per acre.

**Sec. 90-382. - Zones Established**

(a) R-2 two-family(Low-Medium Density) zone: To provide for the development of low to medium density multiple-family residential uses. Provides for the development of low to medium density multiple-family residential uses with density not-to-exceed 8 dwelling units per acre. Typical housing units may include detached or attached single family homes, duplexes, or other low-medium density housing types. The R-2 zone is

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consistent with the Low Medium Density Residential (LMDR) designation of the General Plan.

e

(b) R-3 multiple-family (Medium-High Density) zone: To provide for the development of medium density multiple-family residential uses. Provides for the development of medium to high density multiple-family residential uses with density not-to-exceed 25 dwelling units per acre. Typical housing units may include townhouse, condominiums, cluster development, apartments, or residential care facilities. R-3 development is typically located near commercial nodes, school sites, parks, and other activity centers. The R-3 zone is consistent with the Medium Density Residential (MDR) and High Density Residential (HDR) designations of the General Plan.

(c) R-4 (Very High Density) zone: Provides for the development of high to very high density multiple-family residential uses with density not-to-exceed 45 dwelling units per acre. Typical housing units may include townhouses, condominiums, apartments, or residential care facilities that integrate functionally and aesthetically with nearby transit corridors, commercial centers, parks, bike trails, and other transportation and recreational systems. The R-4 zone is consistent with the Very High Density Residential (VHDR) designation of the General Plan.

(Ord. No. 1552, § 2, 1-28-97)

**Sec. 90-382383. - Permitted uses.**

In the R-2 and R-3 and R-4 zones, permitted and conditionally permitted uses shall be as listed within the "Land Use Matrix."

MULTIPLE-FAMILY RESIDENTIAL LAND USE MATRIX				
X=Not Permitted Use P=Permitted Use C=Conditionally Permitted Use (CUP)				
A=Administrative Use (AUP) SGHP=Small Group Home Permit				
ZONE				REFERENCE
	R-2	R-3	R-4	Additional or Explanatory Regulations or Requirements
<b>A.</b>	<b>Agricultural Uses</b>			
1.	Poultry (except turkeys, geese and guinea fowl) chinchillas, hamsters, rabbits and other small animals (see section 90-188 for additional	P	P	

	requirements)				
<b>BA.</b>	<b>Residential Uses</b>				
1.	Apartment, condominium or similar residential unit (see section 90-985(n) for additional requirements) Accessory Dwelling Unit	PC	CP	P	
2.	b. >12 clients Mobile Home Parks	C	X	X	Article XX and Title 25 of the California Government Code
3.	Duplexes and/or two single-family homes on the same lot Multi-Family Housing including duplexes, condominiums, apartments, or similar residential units*	C	C		
	a. Senior	P	P	P	90-387 and 90-1081
	a-b. Two family dwellings	P	P	X	
	b-c. Multiple family dwellings	P	P	P	
4.	a. Small licensed residential care facility Single-Family detached condominiums	P	P	X	
5.	b. Large group home (ten or fewer occupants) Single-Family Homes	AP	AP	X	
	c. Large group home (11 or more occupants)	C	C		
<b>B.</b>	<b>d. Small group home Residential - Other</b>	SGHP	SGHP		
61.	Home occupations subject to the requirements of section 90-72	P	P	P	90-72
72.	Animal keeping (see section 90-77	P	P	P	90-77
8-3.	Mobile home park Residential Accessory Uses and Structures	CP	CP	P	90-386

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<u>9.C.</u>	Single-family residential dwelling unit including manufactured housing, prefabricated housing, and mobile homes built after 1986 when installed on permanent foundations when in accordance with section 90-315(a). <u>Care Uses</u>	<u>P</u>	<u>P</u>		
<u>401.</u>	Rented room (a maximum of one room) within an existing single-family dwelling <u>Assisted Living Facility</u>	<u>CP</u>	<u>CP</u>	<u>C</u>	
<u>41-2.</u>	Travel-trailer park <u>Boarding houses or Congregate Care Facilities</u>	<u>C</u>	<u>C</u>	<u>X</u>	Section 90-261
<u>42-3.</u>	Accessory dwelling unit (including "granny flat" and "second unit") in accordance with subsection 90-385(g) <u>Child or Adult Day Care Facility</u>	<u>PC</u>	<u>PC</u>	<u>C</u>	
<u>24.</u>	Convalescent hospital <u>Group Homes and Small Licensed Care Facilities</u>	<u>G</u>	<u>G</u>		
<u>3.</u>	Environmental cleanup and treatment systems (subject to a temporary use permit, see section 90-73 a. <u>Small, licensed residential care facilities</u> )	<u>P</u>	<u>P</u>	<u>X</u>	<u>Article X</u>
<u>4.</u>	Home for the aged <u>b. Large group homes (10 or fewer occupants)</u>	<u>CA</u>	<u>CA</u>	<u>X</u>	<u>Article X</u>
<u>5.</u>	Home or center for mentally, emotionally or physically <u>c. Large group homes (11 or more occupants) handicapped persons</u>	<u>C</u>	<u>C</u>	<u>X</u>	<u>Article X</u>
<u>6.</u>	Hotel or motel <u>d. Small group home</u>	<u>XSGHP</u>	<u>GSGHP</u>	<u>X</u>	<u>Article X</u>
<u>7-D.</u>	<u>Parking lot Education, Public Assembly, and</u>	<u>X</u>	<u>G</u>		

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	<b>Recreation uses</b>				
8-1.	Nursing home Auditoriums, Meeting Halls, and Conference Facilities - Public and Private	CG	CG	C	
9-2.	Rest-home Churches, places of worship	C	C	C	
10-3.	Recycling facility - nonpermanent (subject to a temporary use permit, see section 90-73) Commercial recreation facilities	CP	CP	C	
11	Sanitarium, Indoor	GX	C	C	
12	Plant nurseries, wholesale and/or retail (signing and parking shall comply with articles XXVI and XL; growing shall be incidental to the retail/wholesale use; container growing may be permitted but shall not exceed 49 percent of the area devoted to plant display; no field growing is allowed) <u>b.</u> Outdoor (golf courses, lawn bowling, basketball courts)	C	C	C	
<b>D.</b>	<b>Recreation and Open Space Uses</b>				
1-4.	Cemetery, crematorium, columbariums and related facilities Community Centers	CG	CG	C	
2-5.	Game court, lighted (with ten-foot high court fencing) Cultural institutions	CG	CG	C	
3-6.	Golf course, country club and/or driving range Educational facilities - private and public	G	G		
4.	Lodge hall for civic, social or fraternal organizations <u>a.</u> Academic (Grades K-12)	CG	CG	C	

5.	Recreation center, park, playground, unlighted game court (with ten-foot high court fencing) racquetball center, swim clubb. Colleges/Universities	<u>CP</u>	<u>CP</u>	<u>C</u>	
6.	Skating rink, outdoorsc. Commercial schools	<u>CG</u>	<u>CG</u>	<u>C</u>	
<b>E.</b>	<b>Miscellaneous Uses</b>				
1-7.	Church, temple synagogue, or other religious facility including, but not limited to, parish house, convent, parsonage, monastery, religious school Libraries and museums	<u>CG</u>	<u>CG</u>	<u>C</u>	
2-8.	Flood control facilities including, but not limited to, detention and retention basins, flood control channelsParks	<u>P</u>	<u>P</u>		
3.	Museuma. Active	<u>PG</u>	<u>PG</u>	<u>P</u>	
4.	School or college including, but not limited to, art, business, cosmetology, craft, dance, music, professional, technical and tradeb. Passive	<u>PG</u>	<u>GP</u>	<u>P</u>	
5-E.	Public facilities and utilities including, but not limited to, electrical substations, transmission substations, city facilities, libraries and public officesService Uses	<u>G</u>	<u>G</u>		
<b>F.</b>	<b>Accessory Uses</b>				
1.	Accessory structures and uses located on the same site as a permitted useHealth and Fitness Centers	<u>P</u>	<u>P</u>		
2.	Accessory structures and uses located on the same site as a conditional usea. Small	<u>PG</u>	<u>GP</u>	<u>P</u>	

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	- 2,000 sq. ft. or less				
3.	Antennas for microwave, cellular phones, and the like. Large - Over 2,000 sq. ft.	<u>CX</u>	<u>CX</u>	<u>X</u>	
4.2.	Satellite dish antennas				
	a. <39 inches in diameter when ground or roof mounted meeting the requirements of subsection 90-184.A. Bed and Breakfast Inns	<u>CP</u>	<u>CP</u>	<u>C</u>	
	b. >39 inches but less than eight feet in diameter when ground or roof mounted meeting the requirements of subsection 90-184.A.b. Motels and Hotels	<u>PX</u>	<u>PX</u>	<u>X</u>	<u>90-898</u>
<b>F.</b>	<b>Transportation, Communication, and Infrastructure Uses</b>				
1.	Parking Facilities	<u>P</u>	<u>P</u>	<u>P</u>	Article XL
2.	Satellite dish antennas	<u>P</u>	<u>P</u>	<u>P</u>	
3.	Solar Energy Systems (non-commercial) (serving the development)	<u>P</u>	<u>P</u>	<u>P</u>	
4.	Transit Stop Shelter	<u>P</u>	<u>P</u>	<u>P</u>	
5.	Utility facility	<u>C</u>	<u>C</u>	<u>C</u>	
6.	Wireless Telecommunication Facility				
	a. Minor Facility	<u>C</u>	<u>C</u>	<u>C</u>	Article XLVI
	b. Major Facility	<u>X</u>	<u>X</u>	<u>X</u>	Article XLVI
<b>G.</b>	<b>Government Uses</b>				
1.	Government Facilities	<u>C</u>	<u>C</u>	<u>C</u>	
2.	Public Safety Facility	<u>C</u>	<u>C</u>	<u>C</u>	

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(Ord. No. 1552, § 2, 1-28-97; Ord. No. 1622, § 1, 5-23-00; Ord. No. 1657, § 1, 2-12-02; Ord. No. 1684, § 1—5, 5-27-03; Ord. No. 1782, § 1(Exh. A), 7-10-07; Ord. No. 1798, § 2(c)(Exh. C), 5-27-08; Ord. No. 1852, § 4(Exh. C), 6-12-12)

**Sec. 90-383384. - Reserved.**

**Sec. 90-384385. - General requirements.**

- (a) No person shall construct any multiple family building or structure, or relocate, rebuild or significantly enlarge or modify any existing multiple family building or structure, until a Site Development Review Plan to review the site design and architecture has been approved by the Community Development Director or Planning Commission pursuant to Article XLI.
- (b) All multiple family development projects shall comply with the adopted City's Design Guidelines for Multiple Family Residential uses.
- (c) Prior to the construction of any building or structure a building permit shall be required in accordance with the latest city-adopted Uniform California Building Code, and shall meet all Hemet Municipal Code and applicable State and Federal Code requirements.
- (d) Developments projects established within the boundaries of the Hemet-Ryan Airport Land Compatibility Zones shall be in accordance with the adopted Airport Land Use Plan.
- (e) Whenever a commercial or rental unit business is conducted, a city business license is required pursuant to Chapter 18 of the Hemet Municipal Code. The owners or agent of all existing and proposed rental units shall be required to register with the City as a non-owner occupied residential rental unit.
- (f) The following are minimum requirements, unless otherwise noted, and shall apply to all land, buildings, and structures in their respective zones. All area dimensions are in square feet, unless otherwise noted. All linear dimensions are in feet, unless otherwise noted.

A. MULTIPLE-FAMILY ZONE MINIMUM DEVELOPMENT STANDARDS				
	ZONE	R-2	R-3	R-4
1.	Density (maximum units/gross acre)	4-8	2525	45
2.	Net lot area	6,000	8,0001 acre	2 acres
4.	Lot width	60	100	100
5.	Lot depth	100	150	150
6.	Front yard setback to a building or structure other than a garage or carport	20	25	25
7.	Front yard setback to a garage or carport	25	25	25
8.	Rear yard setback*	One story = 10 feet Two story = 15 feet 40	One story = 10 feet Two story = 20 feet Three story = 30	One story = 10 feet Two story = 20 feet Three story



			feet	or more = 50 feet
9.	Side yard setback*			
	a. Interior side, corner and reverse corner	5 feet for each story	5 feet for each story	5 feet for each story
	b. Street side	10 <u>Landscaped</u>	15 <u>Landscaped</u>	15 <u>Landscaped</u>
10.	Lot coverage (15 percent of the remaining area shall be in live landscaping)	50	60	60
11.	Building Separation (primary structures and accessory buildings)	See Section 90-386(e)	See Section 90-386(e)	See Section 90-386(e)
12.	Habitable building and structure height (see section 90-385- section 90-386 C. for exceptions)	30 (two stories)	45 (three stories)	55 (four stories)
13.	Floor area (interior)			
	a. Studio	550 sq. ft.	550 sq. ft.	550 sq. ft.
	b. One bedroom	750 sq. ft.	750 sq. ft.	750 sq. ft.
	c. Two bedroom	900 sq. ft.	900 sq. ft.	900 sq. ft.
	d. Three bedroom	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.
14.	Parking required	See Article XL	See Article XL	See Article XL
15.	Signing permitted	See Article XXXV	See Article XXXV	See Article XXXV
16.	Open space			
	a. Common	250 sq. ft.	250 sq. ft.	250 sq. ft.
	b. Private	100 - 150 sq. ft. (see Section 90-386(f)(1)b.1)	100 - 150 sq. ft. (see Section 90-386(f)(1)b.1)	100 - 150 sq. ft. (see Section 90-386(f)(1)b.1)
17.	Landscaping	See Section 90-386(f)(2)	See Section 90-386(f)(2)	See Section 90-386(f)(2)

\*Additional setbacks may be required per Section 90-386(i) and (j)

(Ord. No. 1552, § 2, 1-28-97; Ord. No. 1581, § 2, 2-24-98)

### **Sec. 90-385386. - Site development requirements.**

#### *(a) Measurement of yards.*

- (1) A required yard or other open space around an existing or proposed building shall not be used to meet a required yard or other open space for any other building on an adjoining lot or building site.
- (2) Garage doors shall not, when open or being opened, project beyond any lot line.

#### *(b) Building projections into yards.*

- (1) Cornices, eaves, belt courses, sills, canopies, chimneys, bay windows or other similar architectural features may extend or project into a required yard of the

zone up to two (2) feet, six (30-6) inches. In no case shall the projection be closer than three (3) feet from another structure or property line.

- (2) Open, unenclosed porches, platforms or landing places not covered by a roof or canopy, which do not extend above the level of the first floor of the building, may extend or project into any required front, side or rear yard, or into a court, six (6) feet. A 42-inch high openwork railing may be installed or constructed on any such porch, platform or landing space.

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- (3) Open, unenclosed stairways or balconies, not covered by a roof or canopy, may extend or project into a required rear yard three (3) feet, and such balconies or stairway may extend into a required front yard not more than the required exit dimension.

In no case shall the projection be closer than three (3) feet from another structure or property line.

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- (4) Fire escapes may extend or project into any required yard four (4) feet; provided however, that at least a ~~30~~ three (3) feet-inch clearance to the property line is maintained.

- (5) The director may allow additions to an existing, legally constructed structure, sited in accordance with the laws and setbacks in effect at the time of the construction, within the currently required front, side, and/or rear setback. The building addition or the sum of all additions shall not exceed 50 percent of the floor area of the existing-original structure. For additions in the front yard, the building shall occupy no more than 25 percent of the lineal frontage of the existing building. The director shall deny any addition when it has been determined to be harmful to the health and safety of the resident or the area. In no case shall any addition be closer than 15 feet to the ultimate street right-of-way. The addition shall not exceed the coverage requirements of the zone.

- (c) *Height exceptions.* Structures permitted above a specified height limit may be erected as follows: Structures or walls for the housing of elevators, stairways, tanks, ventilating fans or similar structures, skylights, towers, steeples, flagpoles, chimneys, smokestacks, wireless masts, radio and television masts, water tanks, silos or similar structures, provided that no roof structure, as listed in this subsection, or any space above the height limit specifically prescribed for particular zones, shall be allowed or used for the purpose of providing usable floor space in excess of that reasonably required to maintain

such structures and shall not be used for signage. The maximum area that can utilize the height exception is limited to ten (10) percent of the roof area.

(d) *Accessory buildings.*

- (1) Accessory structures shall meet the required setbacks of the zone in which they are located. Except that, accessory structures less than 120 square feet in area and less than eight feet in height which are not permanently affixed to the ground may be located as close as three feet to interior side or rear property lines. In no instance shall any accessory structure be placed closer to the front property line than the principal structure.
- (2) The total area of all accessory structures shall not exceed 50 percent of the floor area of the principal structure. Except that, on lots larger than one acre, accessory structures may be constructed in excess of 50 percent of the principal structure upon review by the ~~planning commission~~ Community Development Director.
- (3) Accessory structures shall not exceed the height of the principal structure.
- (4) Accessory structures shall be architecturally compatible with the principal structure, except that:
  - a. For accessory structures under 120 square feet, compatibility shall be limited to the structures' primary color;
  - b. For accessory structures over 120 square feet, compatibility shall include the structures' primary color and construction materials; and
  - c. For portable carports and/or RV covers, compatibility shall be limited to the structures' primary color.
- (5) Where Community Development ~~planning commission~~ Director review is required, the ~~planning commission~~ Community Development Director shall review the project and shall either approve it as submitted, approve it subject to conditions, or deny it based on the following criteria. The accessory structure: a) is otherwise consistent with the regulations of the zone in which it is located; b) is not detrimental to the public health, safety and welfare particularly that of adjacent properties; and c) does not detract from the residential character of the surrounding neighborhood.

(6) All accessory structures shall be screened to the maximum intent possible with landscaping, fencing, or combination thereof, so as to minimize visual impacts from adjacent rights-of-way and from adjoining properties.

(e) *Placement of buildings in the R-2, R-3 and R-4 zones.* Placement of buildings shall be as prescribed in ~~section 90-344~~ section 90-385, except that there shall be a minimum distance between buildings ~~used for human habitation~~ as follows:

Minimum Distance Between Buildings (in feet)			
Adjacent Condition	Stories In Structure		
	1 story to 1 story	1 story to 2 stories	2 story to 3 stories
Wall to wall	10	10	10
Wall to window	10	15	15
Window to window	15	15	20
Patio or Balcony	15	15	20

(f) —

(g)(f) Open space and recreational facilities in the R-2, R-3 and R-4 zones, the following minimum open space and recreational facility requirements shall apply:

(1) *Required area.* Each new apartment project of three or more units shall provide the following usable open space; which shall be exclusive of the front yard setback:

a. *Common open space.*

1. A minimum of 250 square feet of common open space shall be provided for each dwelling unit. Living space shall include but not be limited to areas set aside for sleeping, eating, cooking and sanitation in each dwelling unit. Common open space shall have no dimension less than 25 feet. A minimum of 1,000 square feet of common open space shall be required for any project. Common open space shall be planned and located so that the maximum number of units derives benefit by being adjacent to common open space areas.

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2. The design and orientation of open space shall be oriented to take advantage of available sunlight and should be sheltered from the noise and traffic of adjacent streets.

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b. *Private open space.*

1. Generally. An average of 150-125 square feet of private open space shall be provided per unit, with a minimum dimension of seven feet. The following minimum private open space shall be provided for each unit type:

i. One-bedroom or studio: 100 square feet.

ii. Two or more-bedroom: 150 square feet.

2. *Ground floor space.* The patio area shall be completely enclosed on all sides by a minimum 42-inch up to a six-foot high decorative fence or masonry wall.

3. *Above ground floor space.* Private balconies or lanais shall have at least one exterior side open above railing height.

(2) *Minimum open space improvements.* The common open space shall be improved as indicated in this subsection:

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Common Open Space Development Standards

Minimum Open Space Improvement

Number of Units in Development

Minimum Open Space Improvement	Number of Units in Development				
	3-25	26-50	51-100	100-200	200 or more
Landscaping with automatic sprinklers	Yes	Yes	Yes	Yes	Yes
Trees per dwelling unit (at least one-third up to one-half of the trees shall be in the open areas. Trees shall be a mix of 24-inch box and 15-gallon size)	1.0000	1.0025	1.5025	1.5050	1.7575
Walkways (at least five (5) feet wide, euvalinearcurvilinear preferred)	Yes	Yes	Yes	Yes	Yes
Sitting areas (shall be located adjacent to walkways and shaded by trees and/or shade facility)	Yes	Yes	Yes	Yes	Yes
Shade facilities (minimum of ten (10) feet by ten (10) feet)	Yes	Yes	Yes	Yes	Yes
Barbecue facilities (at a rate of one (1) grill or pit per ten	Yes	Yes	Yes	Yes	Yes

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(10) units)					
Court areas including, but not limited to basketball (full or half) and tennis courts, shuffleboard, horseshoe pits, putting greens and spas	N/A	N/A	Yes	Yes	Yes
Children's play area including, but not limited to swings, slides and bars	N/A	Yes	Yes	Yes	Yes
Pool areas	N/A	N/A	N/A	a	b
Recreation building	N/A	N/A	N/A	c	c

Footnotes:

a. *At least one-third of the common open space shall be in one or more pool areas, with the pool area having no dimension less than 75 feet.*

b. *At least one-half of the common open space shall be in one or more pool areas, with the pool area having no dimension less than 100 feet.*

c. *Recreational buildings are optional, and may be located in the common open space areas. The buildings will be a minimum of 1,000 square feet in size, up to a maximum of 2,500 square feet. Total square footage of all buildings shall not exceed ten percent of the required common open space, or 7,500 square feet, whichever is smaller. If recreational buildings are proposed, the amount of required common open space may be reduced by two square feet for every one square foot of building provided.*

~~(2)(3)~~ Adjustments. The director may make adjustments with regard to the type of facilities required where when alternate facilities are provided which are of specific benefit to the type of occupancy anticipated.

~~(h)(g)~~ Parking in the R-3 and R-4 zones, except for parking lots. The following minimum requirements for parking shall apply:

- (1) No offstreet parking area shall be located facing or adjacent to a required front yard, except garages for the placement of residential units.

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- (2) Parking is discouraged adjacent to a side street frontage, however if parking is placed adjacent to a side street frontage, trees, shrubs, and berms shall be installed in sufficient quantity and size to visually screen vehicles and carport or garage structures.

~~(h)~~ (h) *Service and refuse areas.* All service areas, ~~areas~~, refuse collection areas and trash bins shall conform with the setback requirements and shall be completely screened by a solid fence or wall, or shall be enclosed within a building in accordance with the adopted standards of the city.

~~(i)~~ (i)

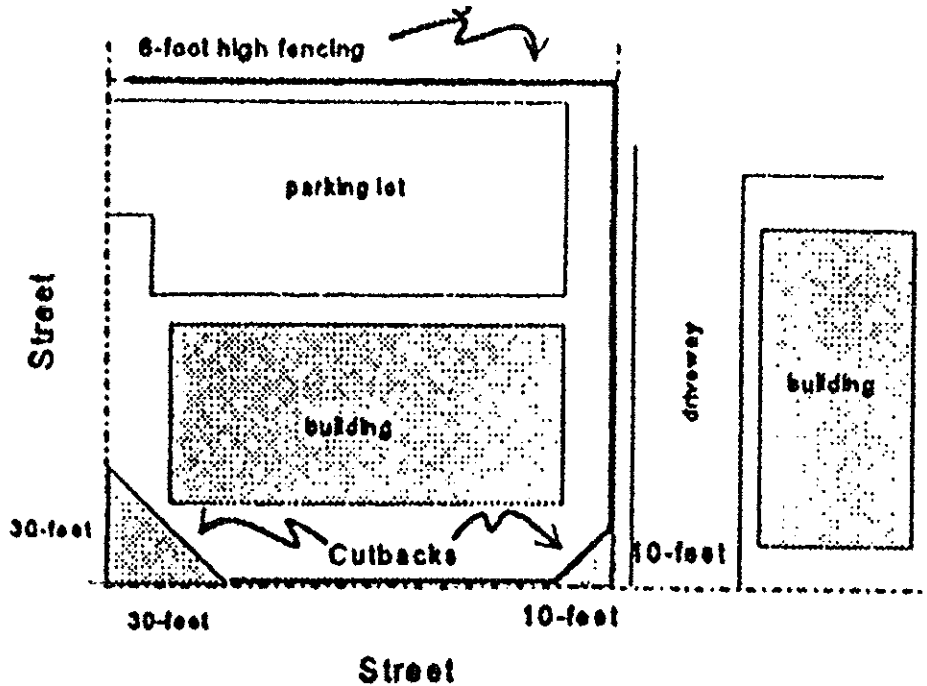
~~(i)~~ (i) *Walls, fencing, screening and landscaping.* This section provides for the regulation of location and height of walls, fencing, screening and landscaping so as to allow the enjoyment of the use of property and for the safety of persons using sidewalks and streets related to the property.

- (1) *Fencing generally.* Walls, fences, screening and hedge planting up to a maximum of six feet in height from the highest finished grade may be permitted in any required yard, or along the edge of any yard.

- a. Walls, fences, screening or hedge plantings in any required front yard shall be a maximum of 42 inches in height when measured from the adjacent sidewalk or street, unless expressly permitted by other applicable sections of this chapter.
- b. A wall, fence or hedge up to six feet in height may be located parallel to the edge of the sidewalk on the street side yard adjacent to the lot, whether the sidewalk area is monolithic or has a planted parkway.
- c. On corner lots the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The corner cutback shall be defined by a line on a horizontal plane connecting two points along the front and street side property lines and forming a triangle. These points shall be measured 30 feet back from the intersection of the prolongation of the front and street side property lines.
- d. On lots where the driveway is adjacent to the rear yard of a neighboring lot the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The cutback lines shall be determined by measuring from the projection of the coterminous front and rear



property line ten feet along the inside edge of the sidewalk and ten feet back from the street connecting the two points forming a 45-degree triangle.



Corner Cutback Lines

- (2) *Wall and landscape buffer for yards adjoining certain uses.* When a site adjoins a single-family zone, or a site general planned for low density single-family use, a solid masonry wall six feet in height shall be located adjoining the property line, except adjoining a required front yard; and an area at least five feet in depth adjoining the property line shall be landscaped with live plant material, including trees. Where a carport or garage is placed within three feet of a property line adjoining a single-family zone or a site general planned for low density single-family use, no landscaped buffer is required.
- (3) *Block walls.* Block walls or opaque fencing or landscaping materials used for screening purposes shall not be placed within any required front yard or street side yards. Block walls or opaque fencing may be used in other locations.

- (4) *Swimming pool fencing.* Swimming pools shall be entirely enclosed by buildings, fences or walls. The fence or wall shall be at least a minimum of five feet above grade level immediately adjacent thereto, and shall be equipped with self-latching gates or doors, with the latching device not less than four feet above the ground. Prior to filling the pool the required fencing must be in place and approved by the city building department.
- (5) *Security fencing.* Nothing in this section shall be deemed to set aside or reduce the requirements established for security fencing by either local, state or federal law, or by safety requirements of the board of education. A fence or wall shall be constructed along the perimeter of all areas considered by the director to be dangerous to the public health and safety. The height of fence or wall in excess of six feet in height shall be as determined by the director in relation to the danger or hazard involved. Such fence or wall may be required when a use requires a permit, or at the discretion of the director, according to the danger or hazard involved.
- (6) For multiple-family or high density developments such as duplexes, apartments, condominiums, mobile home parks, convalescent homes or similar residential uses, perimeter fencing may be permitted within yard setbacks up to a maximum of six feet in height. Greater fence heights for security reasons may be allowed when the fencing is for security reasons and meet the requirements of section 90-385(i)(5). In all cases the following requirements shall be met:
- a. There shall be at least eight units.
  - b. Fencing shall be wrought iron, tubular steel, or similar materials in combination with masonry no higher than 42 inches in height and wrought iron designed and located in a manner which does not hinder surveillance activities of the police.
  - c. The color of wrought iron shall be either black, white or beige. Any other color requires approval by the director.
  - d. Pilasters shall be up to 18 inches square, and the distance between pilasters shall be at least eight feet edge to edge for the main run of the fence.

- e. Gates shall provide emergency access with the installation of a Knox box system or other similar method approved by the fire department.
- f. Access shall be provided for essential city services, including but not limited to refuse pickup.
- g. A means of access to visitor parking spaces, such as call boxes, shall be provided to the public.
- h. Intersection and driveway visibility is maintained by limiting opaque fencing, including pilasters, to 42 inches in height within cutback areas.
- i. Adequate area for vehicle stacking at the entrance(s) and exit(s) of the development shall be provided and approved by the city traffic engineer.
- j. Concertina, razor, barbed wire, electrified or chainlink materials are expressly prohibited.
- k. A minimum of five feet of live landscaping shall be planted between the curb and fence line (i.e., within the parkway), to soften the appearance of the fence.
- l. Fencing constructed in accordance with this section shall obtain appropriate building permits and inspections. Plans shall be submitted to the building department for review and approval by all affected departments prior to the issuance of permits. The project shall meet applicable requirements of the I.C.B.O. Uniform Building Code, Uniform Fire Code, and related codes.

(7) *For recreational vehicle storage.* Fences for recreational vehicle storage shall be six-foot solid walls (no wood permitted). An additional five feet of fence height may be permitted, consisting of chainlink or wire or any combination thereof, placed on top of the solid wall but not exceeding a total height of 11 feet.

(8) *Landscaping.* Where landscaping is required by this chapter, it shall consist predominantly of plant materials, except for necessary walks and drives. Planted areas, where prescribed, shall be landscaped exclusively with live plant materials. Required landscaping shall be installed in accord with landscaping standards approved by the planning commission, and shall be of types and sizes prescribed in the standards. All screening and landscaping shall be permanently

maintained in an orderly condition. Plant materials shall be watered, weeded, pruned and replaced as necessary to screen or ornament the site.

- (1) When a church, school or college, or public facilities are adjacent to an A or R zone a solid six-foot masonry wall shall be constructed on the adjoining A or R zone property line. A ten-foot landscaped area adjacent to the wall shall also be installed and maintained on the church side of the wall. The landscaping shall consist of plant material, including a minimum 15-gallon evergreen trees planted on 20-foot centers.

(h)(j) Buffer with adjacent uses. All multi-family projects shall provide adequate buffering to adjoining or adjacent uses. This can be accomplished through implementation of the following:

- (1) Grade levels shall be maintained at an equal or lower level than adjacent uses unless there are unique topographical features.
- (2) When adjoining a single family residential use a minimum landscape setback of 20 feet in addition to the five feet per story required under ~~section 90-384~~ section 90-385.
- (3) When the adjacent land use is other than single family residential, the minimum landscape setback shall be ten feet in addition to the five-foot per story required under ~~section 90-384~~ section 90-385 of the zoning ordinance.

(m)(k) Lighting. All on-site lighting shall be shielded to prevent off-site glare.

- (1) All outdoor lighting shall be designed to illuminate uses, while minimizing light trespass into neighboring areas.
- (2) The candlepower of outdoor lighting shall be the minimum required for safety purposes.
- (3) Light for safety purposes shall be provided at entryways, along walkways, between buildings, and within parking areas.
- (4) All lights shall be directed, oriented, and shielded downward to prevent light from shining onto adjacent properties, onto public rights-of-way, and into driveway areas in a manner that would obstruct drivers' vision.

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(5) Light sources shall not be located in required buffer areas, except those required to illuminate pedestrian walkways.

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(n)(l) Laundry facilities. Common laundry facilities shall be provided for multi-family projects, unless provided in individual units, at a minimum ratio of one washing machine/dryer for every ten units. Laundry facilities shall be located on each floor unless elevators are provided.

~~m~~

(e)(m) Accessory dwelling units - including "granny flats" and "second units". Accessory dwelling units shall be permitted in R-2, and R-3 and R-4 zones subject to the following procedures and criteria.

(1) Procedures. An accessory dwelling unit:

- a. Shall be permitted ministerially without discretionary review; and
- b. Shall be approved only if the unit meets all of the criteria listed in subsection ~~90-315~~ 90-386(d)(2).

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(2) Criteria. ~~Notwithstanding subsection 90-315(a),~~ An accessory dwelling unit shall meet all of the following criteria.

- a. An accessory dwelling unit shall only be located on a lot that has a net lot area equal to or greater than 130 percent of the minimum net lot area of the zone in which it is located.
- b. —
- c. ~~An accessory dwelling unit shall only be located and maintained on a lot with an existing owner occupied single family residence. At such time as the principal dwelling unit is no longer owner occupied, the use of the accessory dwelling unit as a separate dwelling unit shall cease.~~
- d. ~~c. An accessory dwelling unit shall not be permitted on a lot with more than one existing dwelling unit.~~
- e. d.
- f. ~~No more than one accessory dwelling unit shall be permitted on a single lot.~~
- g. b. The floor area of an accessory dwelling unit shall not exceed 30 percent of the floor area of the principal dwelling unit.

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~~h.c.~~ f. The lot upon which an accessory dwelling unit is to be located shall comply with all standards of the zone in which it is located.

~~i.d.~~ g. An accessory dwelling unit shall be architecturally compatible with the principal dwelling unit. Compatibility shall be based on the architectural style, construction materials, and primary color, of the principal dwelling unit.

~~j.e.~~ h. An accessory dwelling unit shall not exceed the height of the principal dwelling unit.

~~k.f.~~ i. An accessory dwelling unit shall comply with the required setbacks of the zone in which it is located. In addition to the required setbacks, a second unit shall not be located closer to the front property line than the principal dwelling unit.

~~l.g.~~ j. The floor area of a second unit shall be subject to the limitation of allowable total area of accessory structures for the lot on which it is located as specified in subsections ~~90-315(d) and 90-385 90-386(de)~~.

~~m.h.~~ k. An accessory dwelling unit shall provide ~~one~~ parking space per bedroom in a garage or carport. Said parking space(s) shall be in addition to spaces required for the principal dwelling unit and shall otherwise meet the requirements of Hemet Municipal Code, Chapter 90, Article XL.

~~n.~~ l. The applicant for an accessory dwelling unit shall be the owner of the principal dwelling unit.

~~o. m.~~

~~An accessory dwelling unit may not be metered separately from the principal dwelling unit for gas, electricity, and water/sewer services and may not be sold separate and apart from the principal dwelling unit.~~

~~p. n.~~

~~q.~~ Prior to the issuance of a building permit for an accessory dwelling unit, a covenant of restriction to run with the land, shall be recorded which specifies that the use of the accessory dwelling unit as an independent dwelling unit may continue only as long as the conditions on the lot remain in compliance with the criteria listed in this section and the accessory dwelling unit may not be sold separate and apart from the principal dwelling unit.

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~~f. g.~~

i. An accessory dwelling unit shall not cause the level of traffic, water, or sewer service to drop below the minimum standards established in the city's general plan.

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e. j. p This section shall not validate any existing ~~illegal-unpermitted~~ accessory dwelling unit. An application for an accessory dwelling unit may be submitted to convert an ~~illegal-unpermitted~~ accessory dwelling unit to a conforming ~~legal-accessory~~ dwelling unit; however, the standards and requirements for said conversion shall be the same as for a newly proposed accessory dwelling unit.

e  
**Sec. 90-385387. – Senior Residential Projects.**

The following development standards shall be applied to ~~apartment, condominium or similar residential units for senior residential projects permitted within the R-2, R-3 and R-4 zones.~~ In the event that specific development standards are not set forth below, the standards contained in Section 90-385 and 90-386 shall apply.

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(1) Density. Density shall be within the density limitations of the applicable zone. Density bonuses shall be allowed as permitted by Government Code §65915 et seq; and Article VI. of the Hemet Municipal Code;

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(4)(2) Floor area. The interior floor area of the individual senior housing units may be reduced below the minimum floor area per unit types required in Section 90-385 provided that additional square footage is allocated to common area activity centers or facilities. In no case shall a one-bedroom units be less than 460 square feet or a two-bedroom unit be less than 690 square feet;

(2)(3) Accessibility. Dwelling units shall be constructed with Americans with Disabilities Act compliant features in accordance with State and Federal accessibility requirements;

(3)(4) Parking. Parking requirements shall be subject to the Hemet Municipal Code Article XL;

(4)(5) Occupancy. The occupancy of all dwelling units within an approved senior-only housing development shall be secured by appropriate conditions, covenants, and restrictions (CC&Rs) recorded against the property and provided to the City prior to the issuance of Building Permits;

(6) Open space reduction. Senior-only housing developments may request a reduction in private and common open space required per unit pursuant to this Article, provided that compensating alternative indoor, recreational or outdoor open space amenities is approved by the Community Development Director or the Planning Commission as a component of the Site Development Review;

(7) Wall and landscape buffer for yards adjoining certain uses. Where a site adjoins a single family zone or a site general planned for low-density single family use, a solid masonry wall six feet in height shall be located adjoining the property line, except adjoining a required front yard; and an area at least five feet in depth adjoining the property line shall be landscaped with live plant materials, including trees. Where a carport or garage is placed within three feet of a property line adjoining a single family zone or a site general planned for low density single family use, no landscape buffer is required;

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(5)(8) Recreational facilities. An indoor recreation building or space shall be provided for each senior development project based on the following:

a. For developments of 20 units up to 100 units, a minimum of 1,200 square feet, or 25 square per unit, whichever is greater;

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b. For developments with 100 or more units, a minimum of 1,600 square feet, or ten square feet per unit, whichever is greater, to a maximum requirement of 4,000 square feet;

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c. The recreation building shall provide the following uses: kitchen, library, dining and game playing area, restrooms and conversation and lounging areas. An outdoor patio and recreation area shall be provided in addition to these uses.

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(9) Elevators. Any project two stories in height or greater shall be furnished with an elevator large enough to accommodate a gurney, which shall be accessible to all units higher than the first floor.

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(Ord. No. 1552, § 2, 1-28-97; Ord. No. 1581, § 2, 2-24-98; Ord. No. 1657, § 1, 2-12-02; Ord. No. 1675, 10-8-02; Ord. No. 1684, § 1-5, 5-27-03; Ord. No. 1782, § 2(Exh. B), 7-10-07; Ord. No. 1783, § 1, 7-10-07)

Secs. 90-386388—90-420. - Reserved.



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FOOTNOTE(S):

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<sup>(105)</sup> *Editor's note— Ordinance No. 1552, § 2, adopted January 28, 1997, reorganized the residential zones by deleting §§ 90-381—90-393 and adding §§ 90-381—90-385. Formerly, such sections pertained to R-2 two-family zone and derived from Ord. No. 1217; Ord. No. 1229, §§ 21600—21612 of the 1984 Code; Ord. No. 1520, § 1, 5-23-95.*

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.1

**HEARING DATE:** August 15, 2013

**CASE NUMBER:** ZAP1061RI13 – Tavaglione Construction and Development, Inc., Joe Tavaglione (Representative: Rick Engineering, Robert Stockton)

**APPROVING JURISDICTION:** City of Riverside

**JURISDICTION CASE NO.:** P13-0038 (Rezoning), P13-0441 (Design Review)

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the Rezoning and Design Review, subject to the conditions included herein for the Design Review and that the new zoning incorporates the appropriate Airport Protection Overlay Zone suffix (-AP-D), which refers to the site's location within the Riverside Municipal Airport Influence Area.

**PROJECT DESCRIPTION:** City of Riverside Case No. P13-0038 is a proposal to change the zoning of a 0.32-acre (net area) parcel from R-1-7,000-SP – Single Family Residential and Specific Plan (Magnolia Avenue) Overlay Zones to the MU-N-SP – Mixed Use-Neighborhood and Specific Plan (Magnolia Avenue) Overlay Zones to allow for the conversion of an existing single-family residence into a live/work unit. Case No. P13-0441 is a proposal to convert the existing single family residence on this property to a live/work unit, also involving removal of an existing garage and construction of outdoor parking on the same 0.32-acre area. A live/work unit is a residential occupancy that includes cooking space and sanitary facilities in conformance with City building standards and adequate working space accessible from the living area that is reserved for, and regularly used by, one or more persons residing therein. The business activity occupying the live/work unit may utilize employees who do not reside in the unit, provided that at least one of the full-time workers resides therein.

**PROJECT LOCATION:** The proposed project is located on the east side of Adams Street, southerly of Magnolia Avenue, and northerly of Briarwood Drive, approximately 7,850 feet southerly of the easterly terminus of Runway 9-27 at Riverside Municipal Airport.

**LAND USE PLAN:** 2005 Riverside Municipal Airport Land Use Compatibility Plan

- a. Airport Influence Area: Riverside Municipal Airport
- b. Land Use Policy: Airport Compatibility Zones D and E
- c. Noise Levels: Below 55 CNEL from aircraft

## ANALYSIS:

Non-Residential Intensity: Non-Residential intensity in Airport Compatibility Zone D is restricted to an average of 100 people per acre. Airport Compatibility Zone E does not restrict intensity. The parcel is approximately 0.32-acres. Based on this acreage, a total population of 32 would be permitted on-site.

The proposed conversion of the existing approximately 1,400 square foot single family residence to a live/work unit would at maximum allow for small scale retail, personal service, and office uses within the building. Currently, a beauty and skin care business is anticipated for the existing building. Based on the floor plan, only 839 square feet is proposed for business use. However, even if the entire 1,400 square foot building were dedicated to retail use, the intensity would not exceed 23 people, based on the Building Code method and 1 person per 30 square feet for retail uses, with the 50% reduction. Use of the Parking Space Method with an assumption of 2 persons per vehicle would indicate a population intensity of 10 people on-site, based on the 5 parking spaces proposed. Both the Building Code and Parking Space Method calculations are consistent with the average intensity criteria. In this case, the single-acre intensity limit of Zone D is not relevant, because the total allowable occupancy based on the average intensity limit is lower, as the site is smaller than one acre in area.

The proposed MU-N-SP zone would allow for retail, office, and similar scale commercial development. Development of this type is not expected to exceed the intensity criteria for Zone D if additional structures were to be developed in the future pursuant to the development standards of the proposed MU-N-SP zone. However, as added assurance, staff is recommending a condition requiring ALUC review of any new habitable nonresidential structure on the site.

Residential Density: Residential density within Airport Compatibility Zone D is limited to less than 0.2 dwelling units per acre or greater than 5.0 dwelling units per acre and Airport Compatibility Zone E does not restrict residential density. The project proposes the retention of one dwelling unit on 0.32 acres, for a density of 3.125 dwelling units per acre. However, existing dwelling units are not subject to ALUC density criteria, and no additional dwelling is proposed. Furthermore, the existing dwelling unit is located primarily in Zone E. Therefore, the proposed project is consistent with the residential density criteria of Airport Compatibility Zones D and E.

The proposed MU-N-SP zone would allow for residential uses up to 10 dwelling units per acre. Allowance for additional dwelling units on the site would be consistent with Zone D, as density would increase to 6 units per acre or more.

Open Area: Compatibility Zone D requires 10% of area within major projects (10 acres or larger) to be set aside as open land that could potentially serve as emergency landing areas. Since the project site is less than ten acres, this criterion is not applicable.

Noise: The site is located within the area subject to average aircraft noise levels below 55 CNEL. As such, no special measures to mitigate aircraft-generated noise are required.

PART 77: Not applicable as no new structures are proposed.

Airport Overlay: In conjunction with adoption of its new General Plan, the City of Riverside amended its zoning ordinance to provide for Airport Protection Overlay Zones within the Airport Influence Areas of airports for which Compatibility Zones based on the “A through E” system utilized in the 2004 Riverside County Airport Land Use Compatibility Plan have been established. While the land uses permitted by the proposed MU-N-SP zone are consistent with a location in Compatibility Zones D and E, application of the Airport Protection Overlay Zone suffix is recommended in order to assure that the ultimate development will comply with Compatibility Zone D intensity limitations. This would further the objectives of promoting the continued operations of Riverside Municipal Airport and maintaining public awareness of its proximity. The Airport Protection Overlay Zone suffix for Zone D should be applied to the whole parcel as the most restrictive Compatibility Zone located on the parcel (MU-N-SP-AP-D).

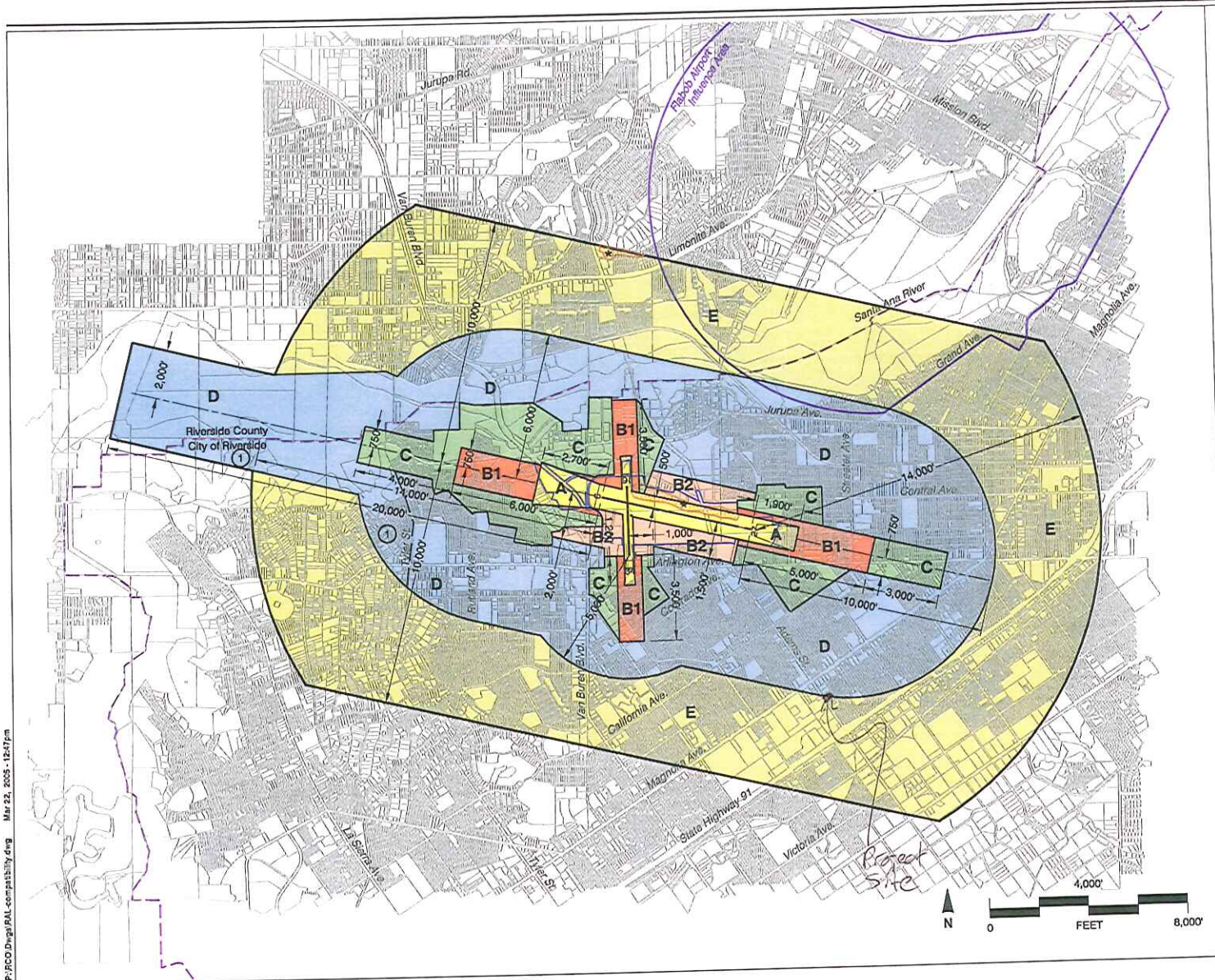
#### **CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, composting operations, construction and demolition debris facilities, and incinerators.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise-sensitive outdoor nonresidential uses and hazards to flight.

3. The attached notice shall be provided to all potential purchasers of the property and all potential tenants of the building, and shall be recorded as a deed notice.
4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. Prior to final inspection approval of the proposed additional parking spaces, the City of Riverside shall apply zoning incorporating the Airport Protection Overlay Zone (MU-N-SP-AP-D) to the entire parcel.
6. The City of Riverside shall either prohibit establishment of any new uses of the following types on the property (within or outside the structure with an address of 3683 Adams Street), or shall require Airport Land Use Commission review of such uses:  
  
Arcades, assemblies of people, bars, bed and breakfast inns, brewpubs, day care centers, restaurants, schools, and the following temporary uses: car shows and vapor recovery operations.
7. The City of Riverside shall require Airport Land Use Commission review of any new nonresidential structures on the site.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
  - Height Review Overlay Zone

**Boundary Lines**

- Airport Property Line
- City Limits

**Note**

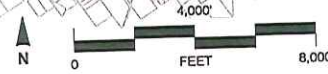
Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RL2 for special exceptions to the Table 2A criteria.

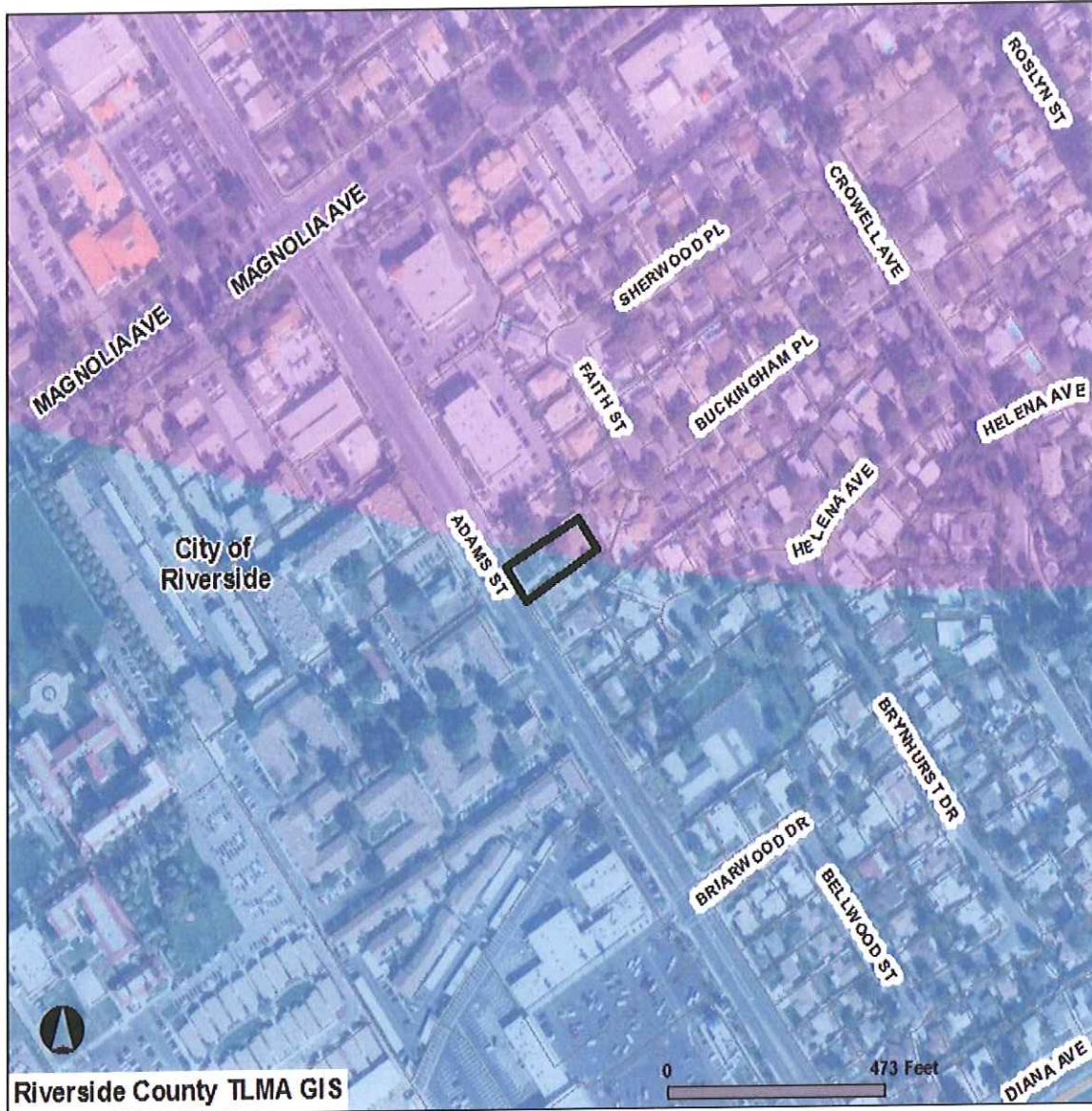
Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document  
 (Adopted March 2005)

Map RI-1

**Compatibility Map**  
 Riverside Municipal Airport



RIVERSIDE COUNTY GIS



Selected parcel(s):  
231-090-046

**AIRPORTS**

- SELECTED PARCEL
- INTERSTATES
- HIGHWAYS
- PARCELS
- AIRPORT INFLUENCE AREAS
- COMPATIBLTY ZONE D
- COMPATIBLTY ZONE E

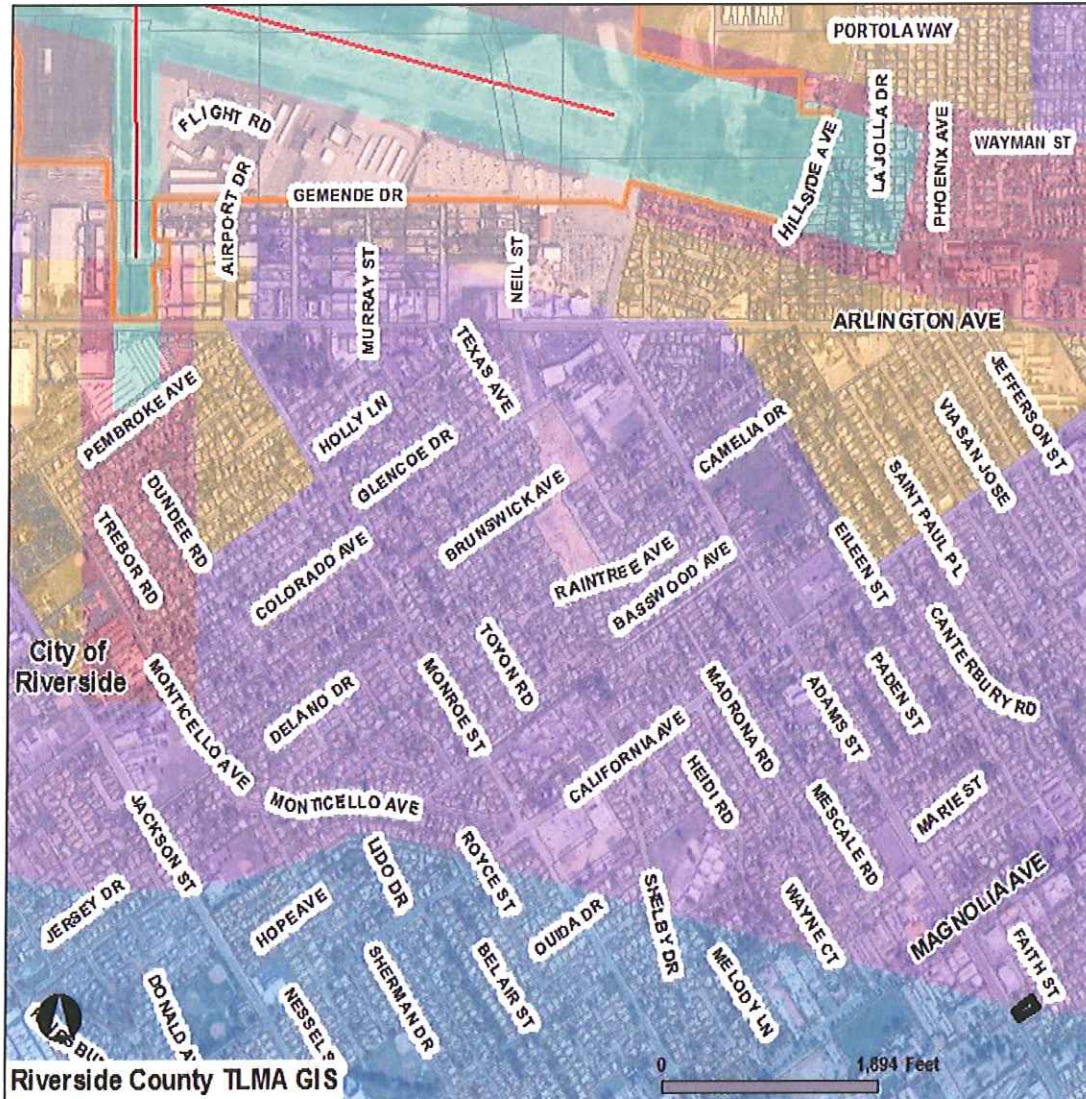
**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130624



RIVERSIDE COUNTY GIS



Selected parcel(s):  
231-090-046

**AIRPORTS**

- |                       |                         |                      |                      |
|-----------------------|-------------------------|----------------------|----------------------|
| SELECTED PARCEL       | INTERSTATES             | HIGHWAYS             | PARCELS              |
| AIRPORT RUNWAYS       | AIRPORT INFLUENCE AREAS | AIRPORT BOUNDARIES   | COMPATIBILITY ZONE A |
| COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2   | COMPATIBILITY ZONE C | COMPATIBILITY ZONE D |
| COMPATIBILITY ZONE E  |                         |                      |                      |

**\*IMPORTANT\***  
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Version 130624

RIVERSIDE COUNTY GIS




Selected parcel(s):  
231-090-046

LEGEND

 SELECTED PARCEL  
 CITY

 INTERSTATES

 HIGHWAYS

 PARCELS

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RIVERSIDE COUNTY GIS



Selected parcel(s):  
231-090-046

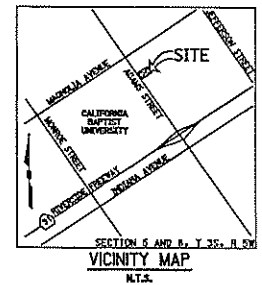
LEGEND

- SELECTED PARCEL
- N INTERSTATES
- N HIGHWAYS
- PARCELS
- CITY

**\*IMPORTANT\***  
 Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130624



**APPLICANT/OWNER/DEVELOPER**

JOE TAYAGLON  
3405 ARLEINGTON AVENUE  
RIVERSIDE, CA 92506  
PHONE (951) 504-4400  
FAX (951) 504-1143

**BENCHMARK**

CITY OF RIVERSIDE BENCHMARK (25-42, ELEVATION=101.87)  
BRASS DISK STAMPED "101" IN A MONUMENT WELL AT THE  
INTERSECTION OF JEWELL STREET AND MARQUA AVENUE.

**ASSESSOR'S PARCEL NUMBER**

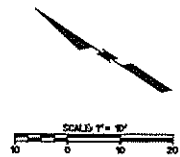
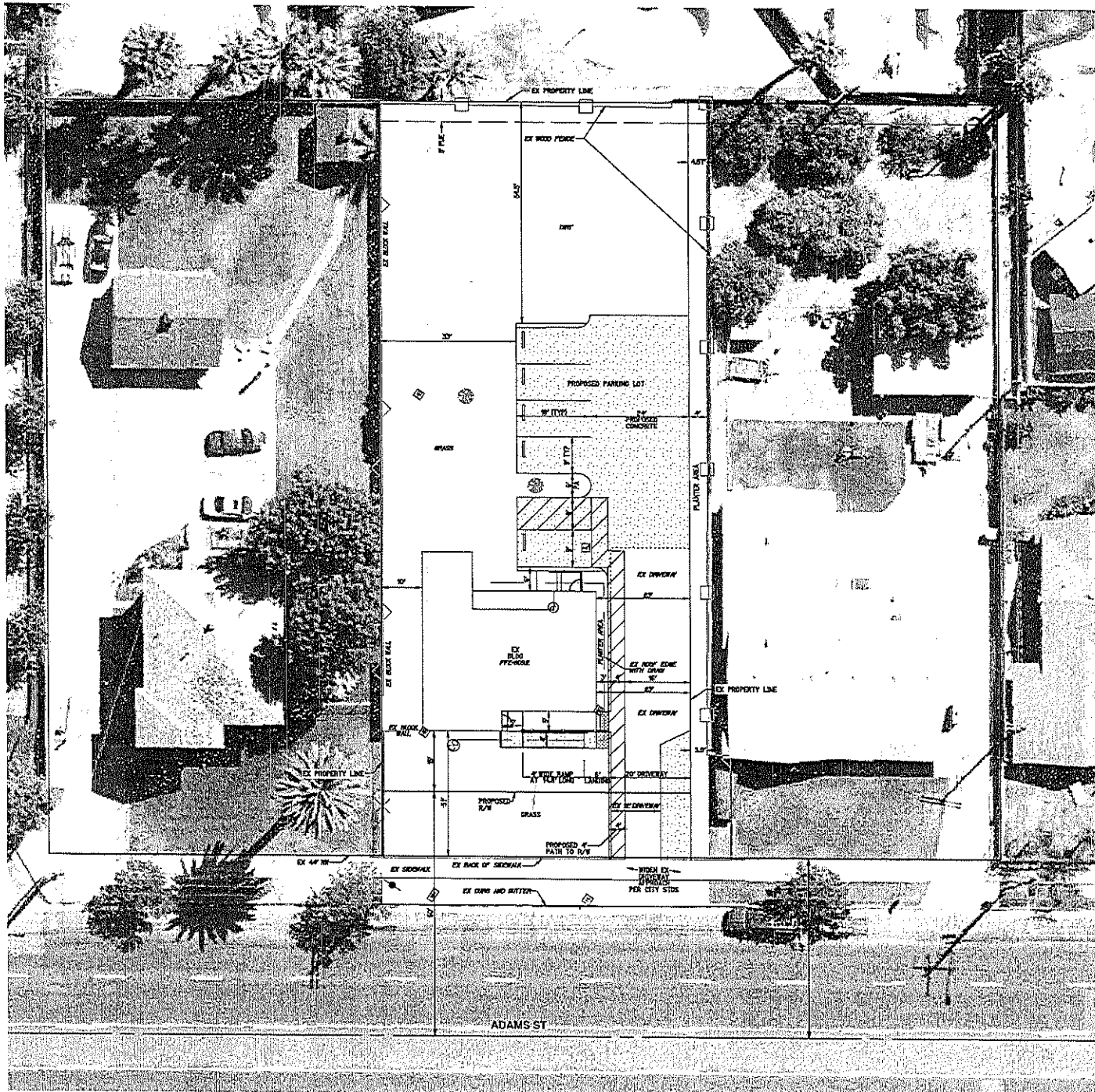
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**ENGINEER/CONTACT PERSON**

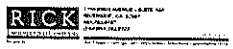
REX ENGINEERING COMPANY  
1110 DINA AVENUE SUITE 100  
RIVERSIDE, CA 92507  
PHONE (951) 782-0707  
FAX (951) 782-0707  
ATTN: ROBERT A. STOCKTON

**LEGEND**

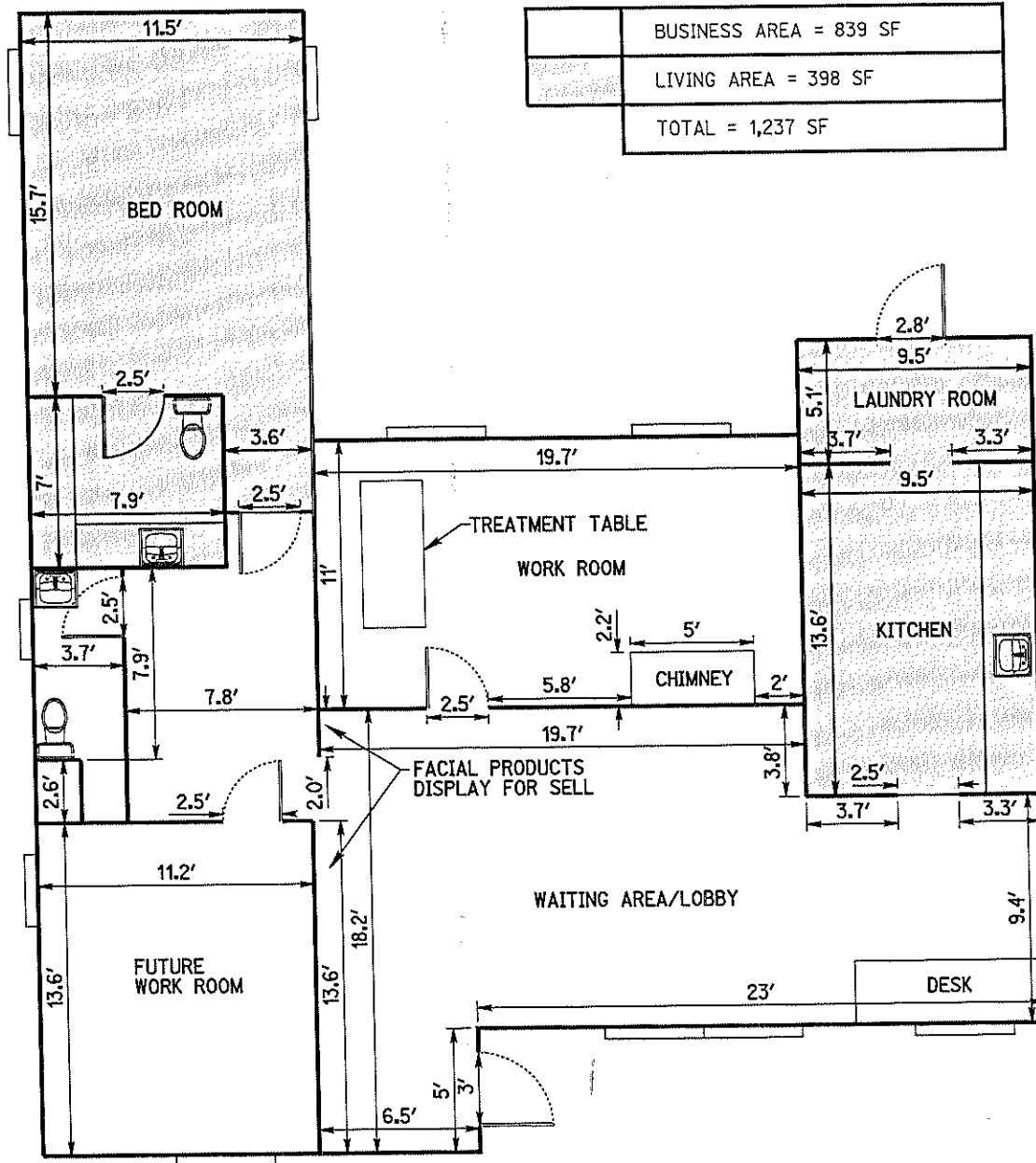
- PROPOSED AC PAVEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED WALL
- PROPOSED FENCE
- PROPOSED CONCRETE
- ADA PATH OF TRAVEL
- DIRECTION OF FLOW
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING TELEPHONE VAULT
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING FIRE SERVICE MAIN
- EXISTING STORM DRAIN
- EXISTING FENCE
- EXISTING CONCRETE
- EXISTING PCC CURB
- EXISTING PCC CURB AND GUTTER
- EXISTING WALL
- EXISTING RETAINING WALL



PRELIMINARY SITE PLAN  
3683 ADAMS ST  
RIVERSIDE CA







BUSINESS AREA = 839 SF
LIVING AREA = 398 SF
TOTAL = 1,237 SF

**Kitchen** Any room used, intended or designed to be used, for cooking or the preparation of food.  
(Ord. 6966 §1, 2007)

**19.910.130. "L" Definitions.**

**Laboratory** A building or portion of a building that contains facilities for testing and analysis of a product, person, animal or portion thereof.

**Landscaping** Landscaping includes but is not limited to grasses, ground cover, trees, shrubs and/or other planting, decorative rock or bark.

**Legislative** A land use decision that applies to an entire zoning district or a large number of individuals or properties or that establishes or modifies policy or procedure.

**Lighted sign** See sign, lighted.

**Live/work unit** A residential occupancy, by a single housekeeping unit, or one or more rooms or floors in a building that includes: (1) cooking space and sanitary facilities in conformance with City building standards; and (2) adequate working space accessible from the living area, reserved for, and regularly used by, one or more persons residing therein. See *definitions in the Downtown Specific Plan and the Design Guidelines*.

**Loading space** An off-street space or berth on the same lot with a building, or contiguous to a group of buildings, for the temporary parking of a commercial vehicle while loading or unloading merchandise or materials and which abuts upon a street, alley or other appropriate means of access.

**Lodging house** See boarding house.

**Logo** A graphical symbol that represents a concept, idea, or identifier.

**Lot** A legally recognized parcel of land abutting on one or more streets. See *definitions in the Title 18 and the General Plan*.

**Lot area** The total horizontal area within the lot lines of a lot, excluding any street or right of way area, except that in the RA-5 Zone, "lot area" includes that portion of the adjoining street or streets measured from the street centerline or centerlines.

## Chapter 19.335

## LIVE/WORK UNITS

**19.335.010 Purpose.****19.335.020 Applicability and Permit Requirements.****19.335.030 Site Location, Operation and Development Standards.****19.335.010 Purpose.**

The purpose of regulating live/work units is to ensure compatibility of such uses with surrounding uses and properties and to avoid any impacts associated with such uses. (Ord. 6966 §1, 2007)

**19.335.020 Applicability and Permit Requirements.**

Live/Work units, as defined in Article X (Definitions), are permitted as set forth in Article V, Base Zones and Related Use and Development Provisions and the Downtown Specific Plan subject to the requirements contained in this Chapter. (Ord. 6966 §1, 2007)

**19.335.030 Site Location, Operation and Development Standards.**

- A. The Downtown Specific Plan has special requirements for ground floor frontage on Mission Inn Avenue, Main Street and University Avenue.
- B. All living space within the live/work unit needs to be contiguous with, and an integral part of, the working space, with direct and internal access between the two areas.
- C. Access to individual units shall be from common access areas, corridor or hallways. In some locations, when more than one unit is proposed within a single building, each live/work unit needs to be separated from the other units in the building.
- D. Minimum floor area requirements are established in the Downtown Specific Plan and Article V (Base Zones and Related Use and Development Provisions). In the Mixed Use Zones specifically review Section 19.120.060 (Development Standards of the Mixed Use Zones).
- E. At least one of the full-time workers of the live/work unit needs to reside in the unit. The residential area shall not be rented separately from the working space. The business activity occupying the live/work unit may utilize employees in addition to residents as necessary. (Ord. 6966 §1, 2007)



# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m. and by appointment on Fridays from 8:30 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 15, 2013

TIME OF HEARING: 9:30 A.M.

### CASE DESCRIPTION:

ZAP1061RI13 – Tavaglione Construction and Development, Inc./Joe Tavaglione (Representative: Rick Engineering/Robert Stockton) - City of Riverside Case Nos. P13-0038 (Rezoning) and P13-0441 (Design Review). Case No. P13-0038 is a proposal to change the zoning of a 0.32-acre (net area) parcel located on the east side of Adams Street, southerly of Magnolia Avenue, and northerly of Briarwood Drive from R-1-7,000-SP – Single Family Residential and Specific Plan (Magnolia Avenue) Overlay Zones to the MU-N-SP – Mixed Use-Neighborhood and Specific Plan (Magnolia Avenue) Overlay Zones to allow for the conversion of an existing single-family residence into a live/work unit. The Commission may further recommend rezoning the parcel from R-1-7,000-SP to MU-N-SP-AP-D or a split designation of MU-N-SP-AP-D and MU-N-SP-AP-E. Case No. P13-0441 is a proposal to convert the existing single family residence on this property to a live/work unit, also involving removal of an existing garage and construction of outdoor parking on the same 0.32-acre area. A live/work unit is a residential occupancy that includes cooking space and sanitary facilities in conformance with City building standards and adequate working space accessible from the living area that is reserved for, and regularly used by, one or more persons residing therein. The business activity occupying the live/work unit may utilize employees who do not reside in the unit, provided that at least one of the full-time workers resides therein. (Zones D and E of Riverside Municipal Airport Influence Area)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Brian Norton of the City of Riverside Planning Department, at (951) 826-2308.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1061R13

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application July 8, 2013  
 Property Owner Joe Tavaglione Phone Number (951) 684-4420  
 Mailing Address Tavaglione Construction and Development, Inc.  
3405 Arlington Avenue  
Riverside, Ca 92506

Agent (if any) Robert Stockton Phone Number (951) 782-0707  
 Mailing Address Rick Engineering Company  
1770 Iowa Avenue, Suite 100  
Riverside, Ca 92507

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 3683 Adams Street  
Riverside, Ca  
 Assessor's Parcel No. 231-090-046 Parcel Size 0.32 Acres  
 Subdivision Name \_\_\_\_\_ Zoning R-1-7000 Single  
 Lot Number Parcel 2, Record of Survey, Bk. 38, Pg. 69 Classification Family Residential

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use R-1-7000-SP  
 (describe) \_\_\_\_\_  
 \_\_\_\_\_

Proposed Land Use MU-N-SP-Mixed Use  
 (describe) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 1 Parcel, Exist 1 Story House  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 1 Bldg. Finish Floor Elev. ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 809.2 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)**

Date Received	_____	Type of Project
Agency Name	City of Riverside-Planning Department 3900 Main Street, Riverside, Ca 92504	<input type="checkbox"/> General Plan Amendment
Staff Contact	Brian Norton	<input checked="" type="checkbox"/> Zoning Amendment or Variance
Phone Number	(951) 826-2308	<input type="checkbox"/> Subdivision Approval
Agency's Project No.	P13-0441	<input type="checkbox"/> Use Permit
		<input type="checkbox"/> Public Facility
		<input type="checkbox"/> Other _____

**ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	
Airport(s) Nearby	_____	
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A <input type="checkbox"/> B1 <input type="checkbox"/> B2 <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Open Land Requirement Met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Height Acceptable?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes <input type="checkbox"/> No

Special Conditions Describe: \_\_\_\_\_

Supplemental Criteria Review

Noise \_\_\_\_\_

Safety \_\_\_\_\_

Airspace Protection \_\_\_\_\_

Overflight \_\_\_\_\_

**ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	
ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	_____	
	_____	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	
	_____	
	_____	
	_____	